

When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don't turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

**TOWN OF BAY HARBOR ISLANDS
PLANNING AND ZONING BOARD**

April 23, 2014

FINAL AGENDA

CALL TO ORDER: Set for 6:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

1. Request for approval for a new single family home "Alfonso Karam" located at 9530 W. Broadview Drive, Lots 72-73 of Block 23. The owner is proposing a new 2 story home approximately 7,090 sq.ft. with a three car garage and a covered and opened terrace. The residence will have 5 bedrooms , 1 media room, 1 library/studio, 6 full bathrooms and 3 half bathrooms. Enclosed please find the site plan and elevations. (Item #1A)

** Staff Review:* Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks pending the submittal of a new survey after the elimination of the Unity of Title.

ADJOURNMENT

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

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**TOWN OF BAY HARBOR ISLANDS
PLANNING AND ZONING BOARD**

April 23, 2014

FINAL AGENDA

ITEM NUMBER: 1.

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DESCRIPTION:

Request for approval for a new single family home "Alfonso Karam" located at 9530 W. Broadview Drive, Lots 72-73 of Block 23. The owner is proposing a new 2 story home approximately 7,090 sq.ft. with a three car garage and a covered and opened terrace. The residence will have 5 bedrooms , 1 media room, 1 library/studio, 6 full bathrooms and 3 half bathrooms. Enclosed please find the site plan and elevations. (Item #1A)

RECOMMENDED ACTION:

Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks pending the submittal of a new survey after the elimination of the Unity of Title.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Marante

ATTACHMENTS

1.	Site Plan & Elevations	KARAMSitePlan4.23.14.pdf
2.	Staff Review	KaramStaffReport4.23.14.pdf

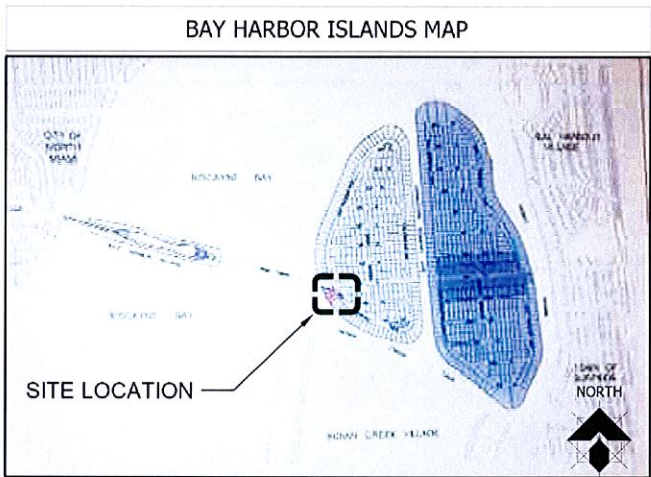
Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

PROPOSED NEW 2 STORY RESIDENCE

9530 WEST BROADVIEW DRIVE
TOWN OF BAY HARBOR ISLANDS, FLORIDA 33154

DRAWING INDEX	
TP	TITLE PAGE, SITE DATA AND LOCATION MAP
S1	CERTIFIED SURVEY
S2	TREE SURVEY
C-1	DRAINAGE PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE PLANTING DETAILS
L-3	TREE SURVEY
A-0	ARCHITECTURAL SITE PLAN
A-1	FIRST FLOOR PLAN
A-2	SECOND FLOOR PLAN
A-3	ROOF PLAN
A-4	SOUTH AND NORTH ELEVATIONS
A-5	WEST AND EAST ELEVATIONS
A-6	COLORS SITE PLAN
A-7	COLORS SOUTH AND NORTH ELEVATIONS
A-8	COLORS WEST AND EAST ELEVATIONS

SITE DATA	
LEGAL DESCRIPTION: LOTS 72 AND 73 BLOCK 23, OF BAY HARBOR ISLAND A SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, PAGE 5, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.	
TOTAL SITE AREA:	26,249 SF
EXISTING ZONING:	RD
OPEN SPACE:	84.1%
LOT COVERAGE:	15.8%
TOTAL PERVIOUS AREA:	16,763 SF
TOTAL IMPERVIOUS AREA:	9,486 SF
PERCENTAGE OF IMPERVIOUS AREA:	36%



DONALD A. FISCHER ARCHITECT
10888 NW 17th Place Coral Springs, FL 33071
Tel. 954-236-1986 Fax 954-796-4843
Email: dafisch7@aol.com

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Email: dafisch7@aol.com

NEW SINGLE FAMILY RESIDENCE
BAY HARBOR RESIDENCE
9530 WEST BROADVIEW DRIVE
BAY HARBOR, FLORIDA 33154

DATE: DECEMBER, 2013
2014.03.20 DRC SUBMITTAL
2014.04.02 DRC SUBREVISED

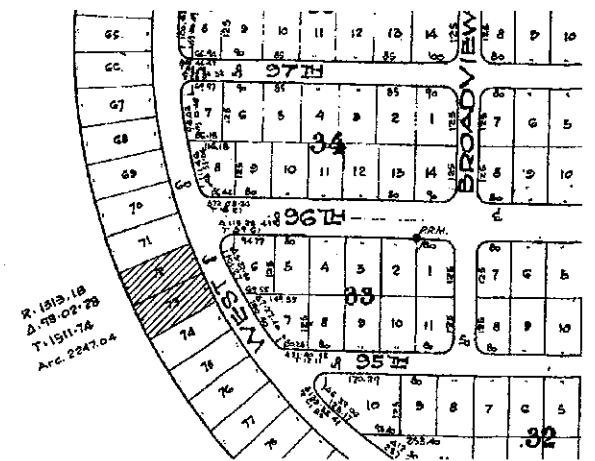
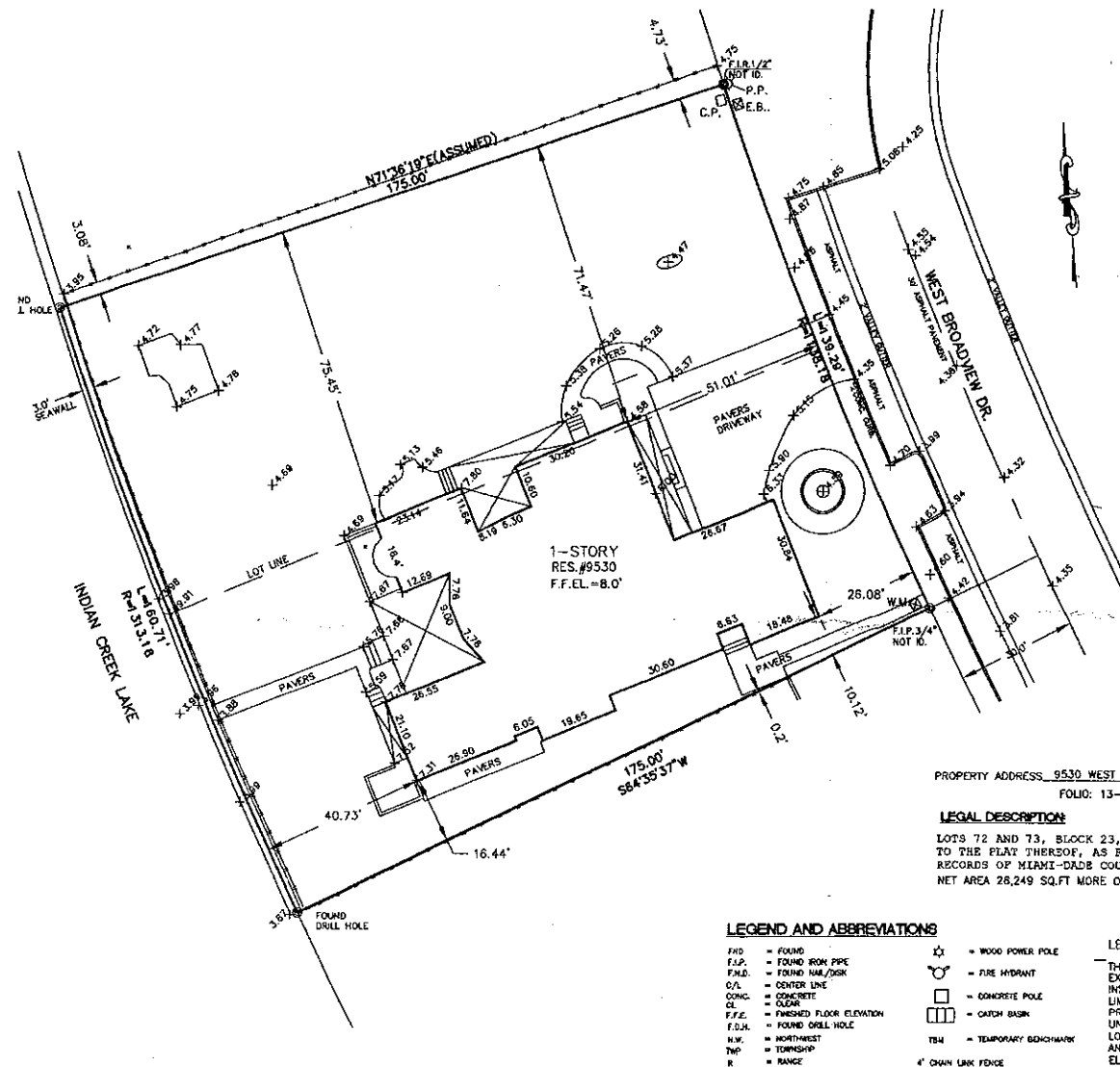
PROJECT No.
7513-09
DONALD A. FISCHER
Lic. No. AR 0008312



SHEET No. TP

BOUNDARY SURVEY
SCALE: 1"=20'

PAGE 1 OF 1
JOB No. CH-013070



LOCATION SKETCH - N.T.S.

PROPERTY ADDRESS: 9530 WEST BROADVIEW DR., BAY HARBOR, FL 33154

FOLIO: 13-2227-001-4530

LEGAL DESCRIPTION

LOTS 72 AND 73, BLOCK 23, OF BAY HARBOR ISLAND A SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
NET AREA 28,249 SQ.FT MORE OR LESS

LEGEND AND ABBREVIATIONS

- FND - FOUND
- F.L.P. - FOUND IRON PIPE
- F.M.D. - FOUND W.M./D.M.
- C.O. - CENTER LINE
- C.O.C. - CONCRETE
- C.L. - CURB
- F.F.E. - FINISHED FLOOR ELEVATION
- F.D.H. - FOUND DRILL HOLE
- N.W. - NORTHWEST
- T.M. - TEMPORARY MARK
- R - RANGE
- W.P. - WOOD POWER POLE
- F.H. - FIRE HYDRANT
- C.P. - CONCRETE POLE
- C.B. - CATCH BASIN
- T.M. - TEMPORARY MARK
- C.L.F. - CHAIN LINK FENCE

LEGAL NOTES

THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP. EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD. LEGAL DESCRIPTIONS PROVIDED BY CLIENT. THE LIABILITY OF THIS SURVEY IS LIMITED TO THE COST OF THE SURVEY. UNDERGROUND ENCROACHMENTS, IF ANY, ARE NOT SHOWN. THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS AND/OR UNDERGROUND IMPROVEMENTS OF ANY NATURE. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN. IF SHOWN, ELEVATIONS ARE REFERRED TO N.G.V.D. OF 1929. FENCE OWNERSHIP NOT DETERMINED.

CERTIFIED TO:

Alfonso Karam Dib and Mariana Diaz De Karam
R & S International Law Group LLP
Old Republic National Title Insurance Company
Chenow Mortgage Group Corp., d/b/a CMG
Capital

ELEVATION INFORMATION:

BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY DATED OR REVISED ON 8/11/2009. THE HEREIN DESCRIBED PROPERTY IS SITUATED WITHIN ZONE AE.
BASE FLOOD ELEVATION 8.0' COMMUNITY 120837 PANEL NUMBER 12086C0144 SUFFIX
BENCHMARK A-17 ELEVATION 7.67 N.G.V.D.1929

LAND SURVEYING INC.
5951 N.W. 151 STREET SUITE 210
MIAMI LAKES, FL 33074
PH(305) 823-3220 FAX: 305 823-9808

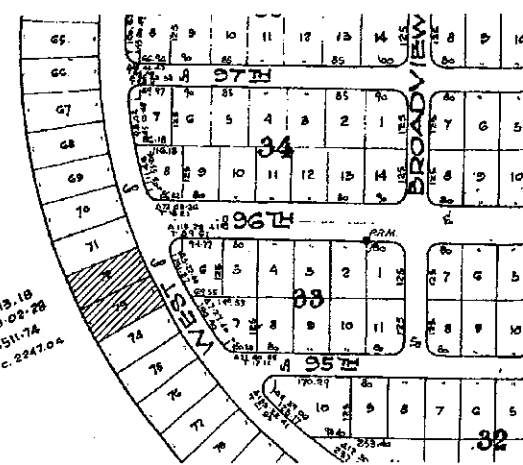
CARLOS A. HERNANDEZ
LAND SURVEYOR AND MAPPER NO. 5718
STATE OF FLORIDA
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RARE SEAL OF A
FLORIDA LICENSED SURVEYOR AND MAPPER

REVISIONS:	UP-DATED	DATE:	FEB. 11, 2014
THIS SURVEY WAS PERFORMED		DATE:	JULY 16, 2013

51

SCALE: 1" = 20'

JOB No. CH-014013



LOCATION SKETCH -N.T.S.

PROPERTY ADDRESS 9530 WEST BROADVIEW DR., BAY HARBOR, FL 33154

FOLIO: 13-2227-001-4530

LEGAL DESCRIPTION:

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No	NAME	HEIGHT	DIA.	SPREAD
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17	Pink Trumpet	25'	8"	15'
18	Cluster (5) Palms	25'	6"	20'
19	Queen Palm	20'	36"	20'
20	Bottle brush	12'	9"	15'
21	Pygmy Palms (3)	6'	6"	6'
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29	Pygmy Palms (3)	6'	6"	6'
30	Pygmy Palms (3)	6'	6"	6'
31	Pygmy Palms (3)	6'	6"	6'
32	Pygmy Palms (16)	6'	6"	6'
33	Flax Tail Palm	25'	20"	8'
34	Archid Tree	15'	6"	15'
35	Orange Tree	18'	6"	15'
36	Gratia	13'	12"	20'

LEGEND AND ABBREVIATIONS

FND	= FOUND		= WOOD POWER POLE
FND.P	= FOUND RICH PIPE		= FIRE HYDRANT
F.M.D.	= FOUND MAIL/DOZ		= CONCRETE POLE
C/L	= CENTER LINE		= CATCH BASIN
CONG. CL	= CONCRETE		
F.C.	= CLEAR		
F.F.E.	= FINISHED FLOOR ELEVATION		
F.D.M.	= FOUND DRILL HOLE		
N.W.	= NORTHWEST		
TWP	= TOWNSHIP		
R	= RANGE		

4" CHAIN LINK FENCE

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CERTIFIED TO:

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 BASE FLOOD ELEVATION 8 COMMUNITY 120537 PANEL NUMBER 12086C0144 SUFFIX L
 BENCHMARK A-17 ELEVATION 2.57 N.G.V.018129

 LAND SURVEYING INC.

5951 N.W. 151 STREET Suite 210
MIAMI LAKES, FL 33014
PH (305) 823-3220. FAX: 305 823-9880

Q. Hu

CARLOS A. HERNANDEZ

NOT VALID WITHOUT THE SIGNATURE AND THE CREDENTIALS OF A
FLORIDA LICENSED SURVEYOR AND MAP

REVISIONS:

DATE: _____

THIS SURVEY WAS PERFORMED

DATE: SEP 18 1961

5-2



ALTERNATE "B"



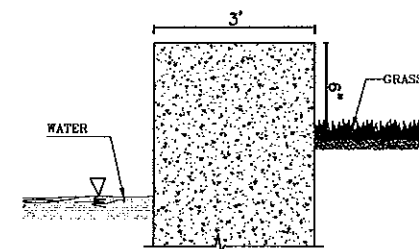
TYPE OF GRATES & INLETS TO BE COORDINATED WITH ENGINEER
& LANDSCAPE ARCHITECT

PIPE MATERIAL MAY BE PVC, ADS, NDS, OR APPROVED EQUAL

AREA DRAIN DETAIL



N.T.S.



NOTE:
PROPOSED GRADE SHALL BE 6"
BELOW SEAWALL CAP.

CROSS SECTION A-A
N.T.S

$$1/8'' = 1'-0''$$

Szauer Engineering

Civil Engineers

Civil Engineers
5070 W Palmetto Park Road, No. 15399

Boca Raton, FL 33433

Certificate of Authorization Number 30129

Reviews:

50% DESING

Client: EALING CONSTRUCTION

Project: BAY HARBOR - KARAM SPEC

9530 W BROADVIEW DR. BAY HARBOR ISLAND FL.

Plan Description:

DRAINAGE PLAN

Seab

[Signature] 4/9/14

FLA. REG. P.E. # 62579

Designed by: JORGE M. SZAUER

Drawn by: YSABEL JIMENEZ

JORGE M. SZAUER

Date: FEBRUARY. 26 . 2014

Scale: _____

Job #5.

Sheet:

C-1

of Sierra

FIRST FLOOR PLAN A/C	3380 SF
SECOND FLOOR AC	<u>3700 SF</u>
TOTAL LIVING	7090 SF
COVERED PATIO	455 SF
GARAGE	767 SF
2ND FLOOR BALCONIES	347 SF
ROOFTOP DECK	<u>2300 SF</u>
TOTAL	10959 SF

DONALD A FISCHER ARCHITECT
10889 NW 17th Place Coral Springs, FL 33071
Tel. 954-235-1986 Fax 954-796-4843
Email: dafisch7@aol.com

NEW SINGLE FAMILY RESIDENCE
BAY HARBOR RESIDENCE
9530 WEST BROADVIEW DRIVE
BAY HARBOR, FLORIDA 33154

DATE: DECEMBER, 2013

PROJECT No. FS13-09
DONALD A. FISCHER
Lic. No. AR 0008318



SHEET No. 151

PLANTING NOTES

SPECIES AND SIZE shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, 1942 edition. All nursery stock shall be in accordance with Grades and Standards for Nursery Plants Parts I & II, latest edition published by the Florida Department of Agriculture and Consumer Services. All plants not otherwise specified as being Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly knit plant, so trained or favored in its development that first appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry.

GENERAL REQUIREMENTS

All plants shall be freshly dug, sound, healthy, vigorous, well branched, and free of disease and insect eggs and larvae, and shall have adequate root systems. Trees for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscapes Architect. Where any requirements are omitted from the plant list, the plants furnished shall be normal for the variety. Plants shall be pruned prior to delivery only upon the approval of the Landscapes Architect.

SOIL

Planting soil for use in preparing backfill for plant pits shall be added at a rate of seventy-five (75%) percent to twenty-five (25%) percent existing soil. This soil mix shall be used in all plant pits except Sabal palms which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil or loamy character. It shall contain forty (40) to fifty (50) percent decomposed organic matter and shall be free from heavy clay, stones, lime, plants, roots or other foreign materials or noxious grasses (such as Bermuda or nut grass) and noxious weeds. It shall not contain toxic substances which may be harmful to plant growth.

COMMERCIAL FERTILIZER

Two fertilizer shall be used in all types of plantings, except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. This fertilizer shall be delivered to the site in the original unopened bags, each bearing the Manufacturer's statement of analysis, and shall meet the following requirements: sixteen (16%) percent nitrogen, seven (7%) percent phosphorus, twelve (12%) percent potassium, plus iron. Tablet fertilizer ("Agriform" or equal) in 21 gram size shall meet the following requirements: twenty (20%) percent nitrogen, ten (10%) percent phosphorus, five (5%) percent potassium.

The two fertilizers will be applied at the following rates:

PLANT SIZE	16-7-12	"AGRIFORM" TABLET (21 Grams)
1 gal.	1/4 lb.	1
3 gal.	1/3 lb.	2
7-15 gal.	1/2 lb.	4
1'-6" caliper	2 lbs./1" caliper	2 1/1" caliper
6" and larger	3 lbs./1" caliper	2 1/1" caliper

"Florida East Coast Palm Special" will be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk caliper unless otherwise specified.

MULCH

Mulch material shall be three (3) inches of shredded NON CYPRESS mulch (sterilized and free of seeds) or approved equal, moistened at the time of application to prevent wind displacement.

SUBSTITUTIONS

No substitutions of plant material types or size will be allowed without written consent of the Landscapes Architect. B&B material will not be accepted as substitute for container grown material unless previously approved. Alternate substitutions shall be indicated in bid.

CONTAINER GROWN STOCK

All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are sold. The plants shall have tops which are good quality and in a healthy growing condition.

An established container grown plant shall be grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container.

MISC. NOTES

All plant material, unless specified as being Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry.

All plant material and sod shall have an automatic irrigation system providing 100% coverage. - Maintain positive drainage away from residence.

All plant material shall be planted, fertilized and mulched as per the Plant Details and Plant Specifications noted on this plan. Landscapes Contractor shall research plans and contact appropriate agencies to determine location of utilities and obstructions prior to commencing work. Any utilities or unanticipated obstructions shall be reported immediately to the Landscapes Architect.

Landscapes Contractor will be responsible for obtaining all necessary permits, licenses, inspections, and insurance as required by the State and local agencies.

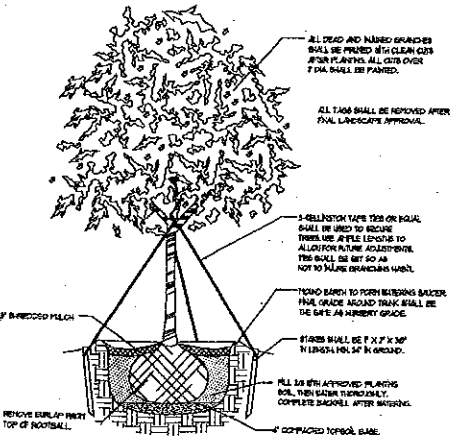
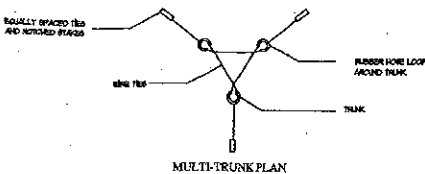
NEW PLANTING LIST

KEY	QTY	DESCRIPTION	SIZE
CN	4	Green Malayon Coconut	8' GW
PAU	1	Parrotia Palm	14-16' OA mald
MP	4	Simpson Stopper	12' OA std.
TAB	2	Yellow Tabebuia	14' OA
WB1	1	Foxtail Palm	14' OA triple
RE	2	Lady Palm	7 GAL.
CR	100	Small Leaf Chuscia	7 GAL.
POD	18	Podocarpus 'nudi'	7 GAL.
VG	35	Var. Ginger	3 GAL.
AG	25	Agapanthus	3 GAL.
SEN	18	Saxif Plant	3 GAL.
BEG	40	Begonia 'alba'	3 GAL.
IC	110	Rex Crenata	3 GAL.
FG	40	Glossy Leaf Ficus	3 GAL.
CFR	8	Conyine 'Boleus'	3 GAL.

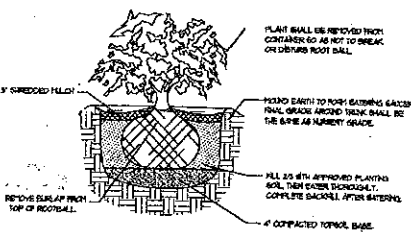
NOTES:

SOD 'Empire' Zoysia as noted, staggered joints

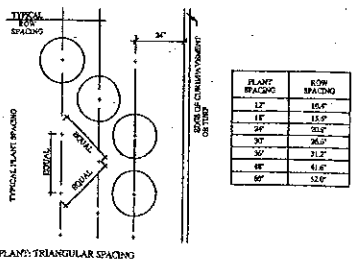
PLANTING DETAILS



PLANTING AND STAKING DETAIL-UP TO 6" CALIPER



SHRUB PLANTING DETAIL



PLANT TRIANGULAR SPACING

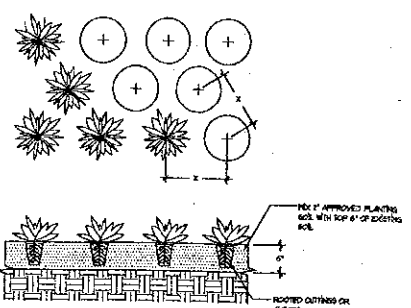
LANDSCAPE LIGHTING LEGEND

SYMBOL	FIXTURE DESCRIPTION	MOUNTING
○	OUTDOOR GARDENS CAT NO. DM36P 20 W. PATHWAY LIGHT IN COPPER FIN. ON 12" STAKE	12" STAKE
△	KICHLER LIGHTING MODEL B152AZT 12.4 WATT 35 DEG. MEDIUM ACCENT LT. ARCH. BRONZE FIN.	6" IN GROUND STAKE

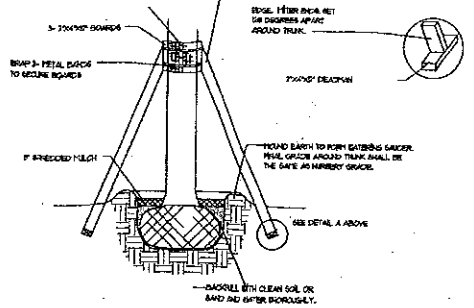
ELECTRICAL CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF LANDSCAPE LIGHTING.

ELECTRICAL CONTRACTOR TO INCLUDE ALL HARDWARE, WIRING, J-BOXES AND TRANSFORMERS IN SCOPE OF INSTALLATION.

NO LIGHTING SUBSTITUTIONS SHALL BE ACCEPTED WITHOUT THE PRIOR WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.



PLANTING DETAIL-GROUND COVER BEDS



PLANTING AND STAKING DETAIL-PALMS

NEW SINGLE FAMILY RESIDENCE
BAY HARBOR RESIDENCE
9530 WEST BROADVIEW DRIVE
BAY HARBOR, FLORIDA 33154

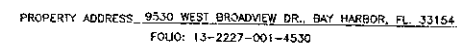
DATE: DECEMBER, 2013

PROJECT No. FS13-09

DONALD A. FISCHER
LA. No. 48000000



SHEET No. L-2



LEGAL DESCRIPTION:
LOTS 72 AND 73, BLOCK 23, OF BAY HARBOR ISLAND A SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

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10	Black Olive	25'	6"	15'
11	Avocado	18'	18"	20'
12	Queen Palm	20'	12"	8'
13	Black Olive	40'	20"	25'
14	Queen Palm	30'	8"	6'
15	Black Olive	40'	20"	25'
16	Black Olive	40'	20"	25'
17	Pink Trumpet	25'	8"	15'
18	Duster: (5) Palms	25'	6"	20'
19	Queen Palm	20'	36"	20"
20	Bottle brush	12'	8"	15'
21	Pygmy Palms (3)	6'	6"	6'
22	Pink Trumpet	12'	4"	10'
23	Pygmy Palms (3)	6'	6"	6'
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25	Pygmy Palms (3)	6'	6"	6'
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35	Groffed Tree	15'	6"	15'
36	Calathea	15'	12"	20'

Remove #30, 31, 34 + 35

NEW SINGLE FAMILY RESIDENCE
BAY HARBOR RESIDENCE
9530 WEST BROADVIEW DRIVE
BAY HARBOR, FLORIDA 33154

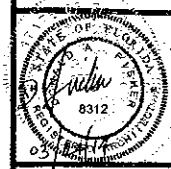
NEW SINGLE FAMILY RESIDENCE

DONALD A FISCHER ARCHITECT
10889 NW 17th Place Coral Springs, FL 33071
Tel. 954-235-1986 Fax 954-786-4843
Email: dafisch7@aol.com

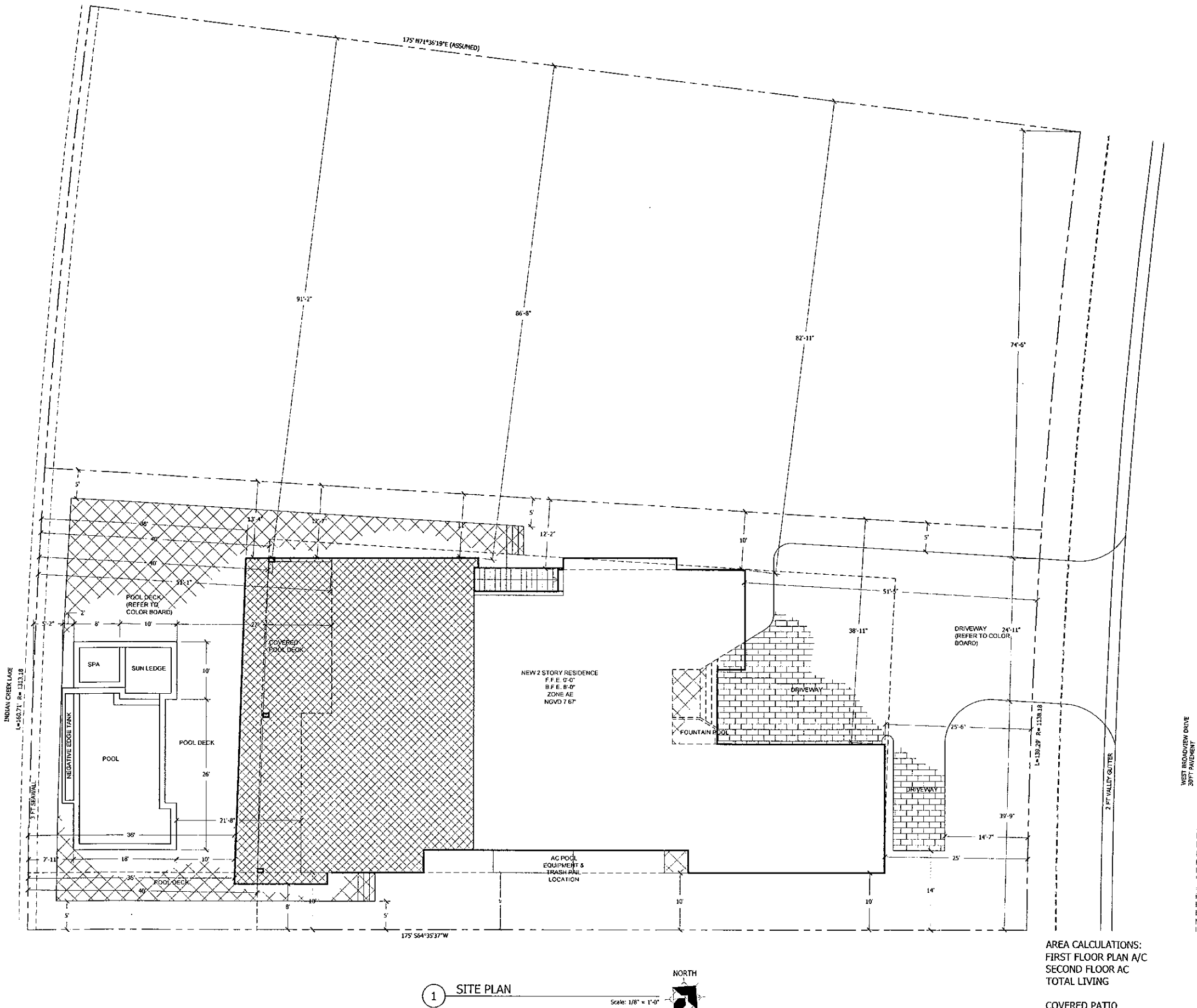
DATE: DECEMBER, 2013

PROJECT No.
FS13-09

DONALD A. FISCHER
Lic. No. AR 0008312



SHEET No. L-3



1 SITE PLAN

Scale: 1/8" = 1'-0"



AREA CALCULATIONS:
FIRST FLOOR PLAN A/C
SECOND FLOOR AC
TOTAL LIVING

COVERED PATIO
GARAGE
2ND FLOOR BALCONIES
ROOFTOP DECK

3390 SF
3700 SF
7090 SF

455 SF
767 SF
347 SF
2300 SF

NEW SINGLE FAMILY RESIDENCE
BAY HARBOR RESIDENCE
9530 WEST BROADVIEW DRIVE
BAY HARBOR, FLORIDA 33154

DATE: DECEMBER, 2013
2014.03.20 DRC SUBMITTAL
2014.04.02 DRC SUBREVISED
2014.04.06 DRC SUBREVISED

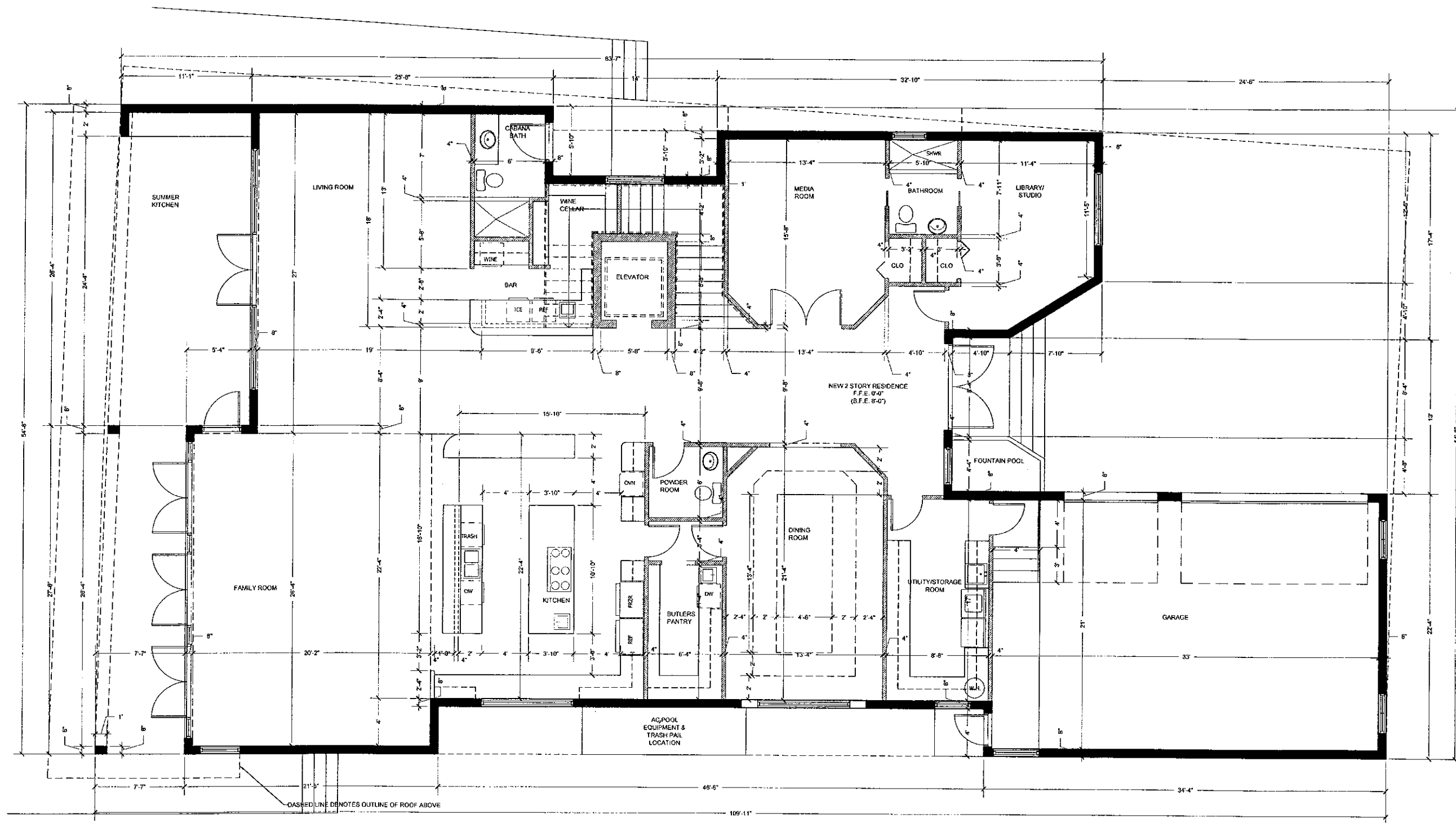
PROJECT No. FS13-09
DONALD A. FISCHER
Lic. No. AR 0008312



SHEET No. A0

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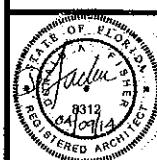


1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

NEW SINGLE FAMILY RESIDENCE
BAY HARBOR RESIDENCE
9530 WEST BROADVIEW DRIVE
BAY HARBOR, FLORIDA 33154

DATE: DECEMBER, 2013
2014.03.20 DRC SUBMITTAL
2014.04.02 DRC SUB REVISED

PROJECT No.
FS13-09
DONALD A. FISCHER
Lic. No. AR 0006312



SHEET No. A1

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Scale: 1/4" = 1'-0"

NEW SINGLE FAMILY RESIDENCE
BAY HARBOR RESIDENCE
9530 WEST BROADVIEW DRIVE
BAY HARBOR , FLORIDA 33154

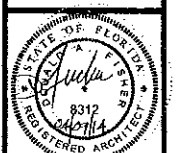
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DATE: DECEMBER 2013
2014.03.20 DRC SUBMITTAL
2014.04.02 DRC SUB. REVISED

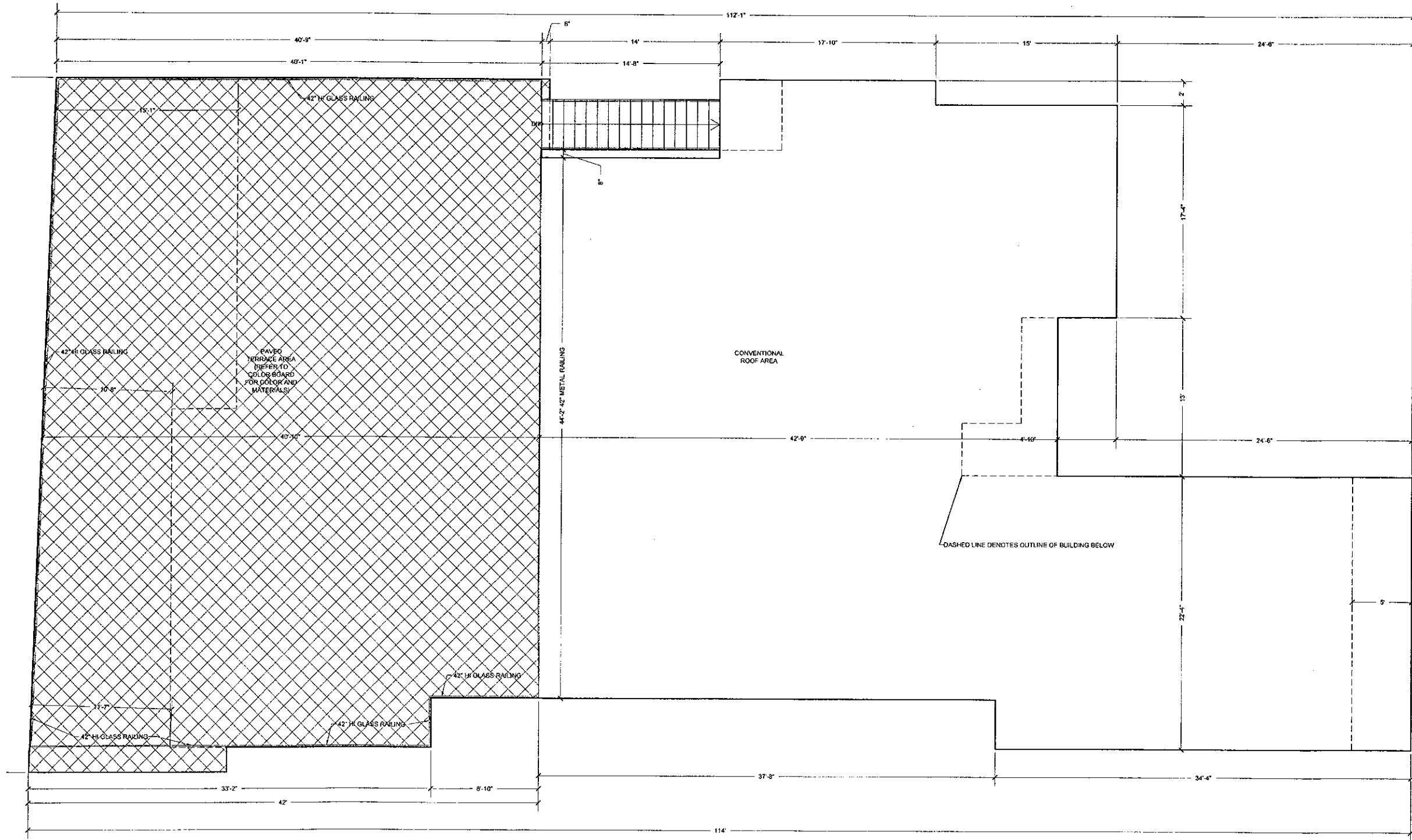
PROJECT No.
FS13-09

DONALD A. FISCHER
Lic. No. AR 0008312



SHEET No. A2

C:\Users\joesnow\Documents\Fischer Projects\Bay Harbor\2013-009 Bay Harbor 2014-02-17.dwg



1 ROOF PLAN
Scale: 1/4" = 1'-0"

NEW SINGLE FAMILY RESIDENCE
BAY HARBOR RESIDENCE
9530 WEST BROADVIEW DRIVE
BAY HARBOR , FLORIDA 33154

DATE: DECEMBER, 2013
2014.03.20 DRC SUBMITTAL
2014.04.02 DRC SUB REVISED

PROJECT No.
FS13-09
DONALD A. FISCHER
Lic. No. AR 000812

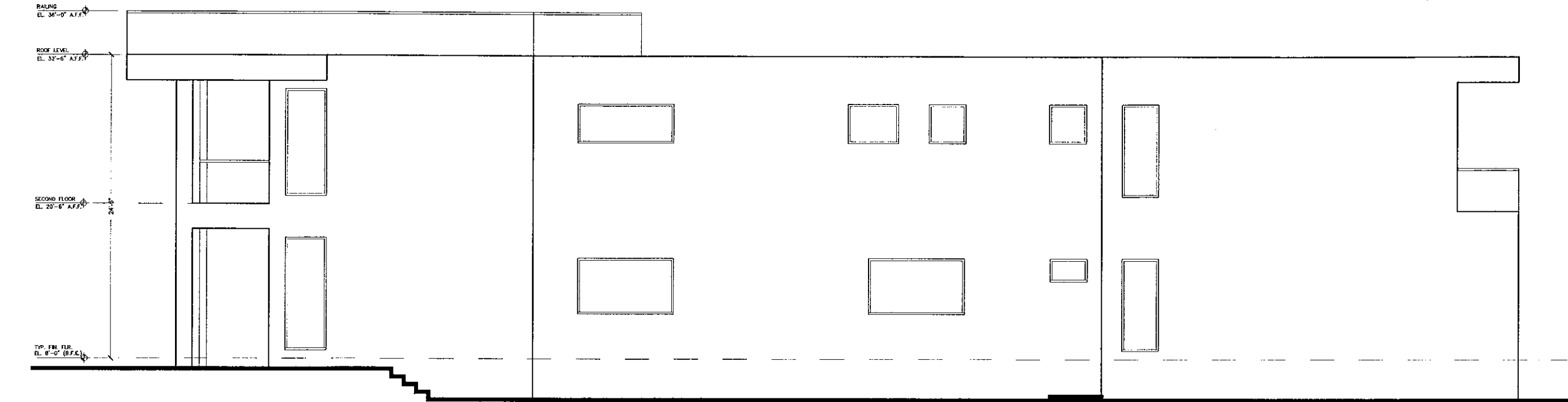


SHEET No. A3

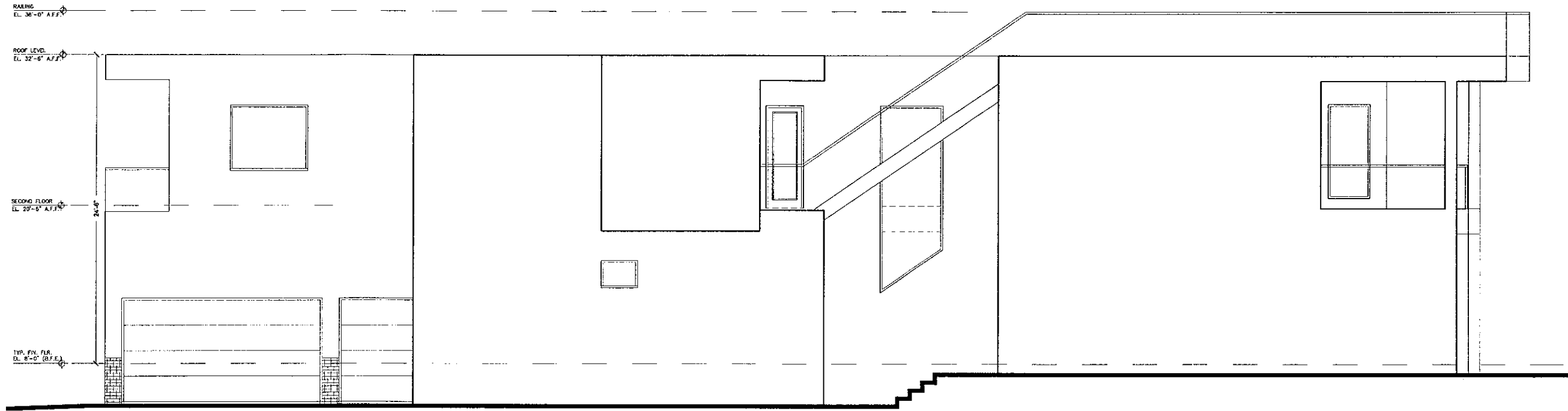
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1 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



1 NORTH ELEVATION
Scale: 1/4" = 1'-0"

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NEW SINGLE FAMILY RESIDENCE
BAY HARBOR RESIDENCE
9530 WEST BROADVIEW DRIVE
BAY HARBOR, FLORIDA 33154

DATE: DECEMBER, 2013
2014.03.20 DRC SUBMITTAL
2014.04.02 DRC SUB-REVISED
2014.04.06 DRC SUB-REVISED

PROJECT No.
FS13--09

DONALD A. FISCHER
Lic. No. AR 0006392

STATE OF FLORIDA
DONALD A. FISCHER
8812
2014-04-14
REGISTERED ARCHITECT

SHEET No. A4



NEW SINGLE FAMILY RESIDENCE

BAY HARBOR RESIDENCE

9530 WEST BROADVIEW DRIVE
BAY HARBOR, FLORIDA 33154

DATE: DECEMBER, 2013

2014.03.20 DRC SUBMITTAL

2014.04.02 DRC SUB REVISED

PROJECT No.
FS13-09

DONALD A. FISCHER
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SHEET No. A5

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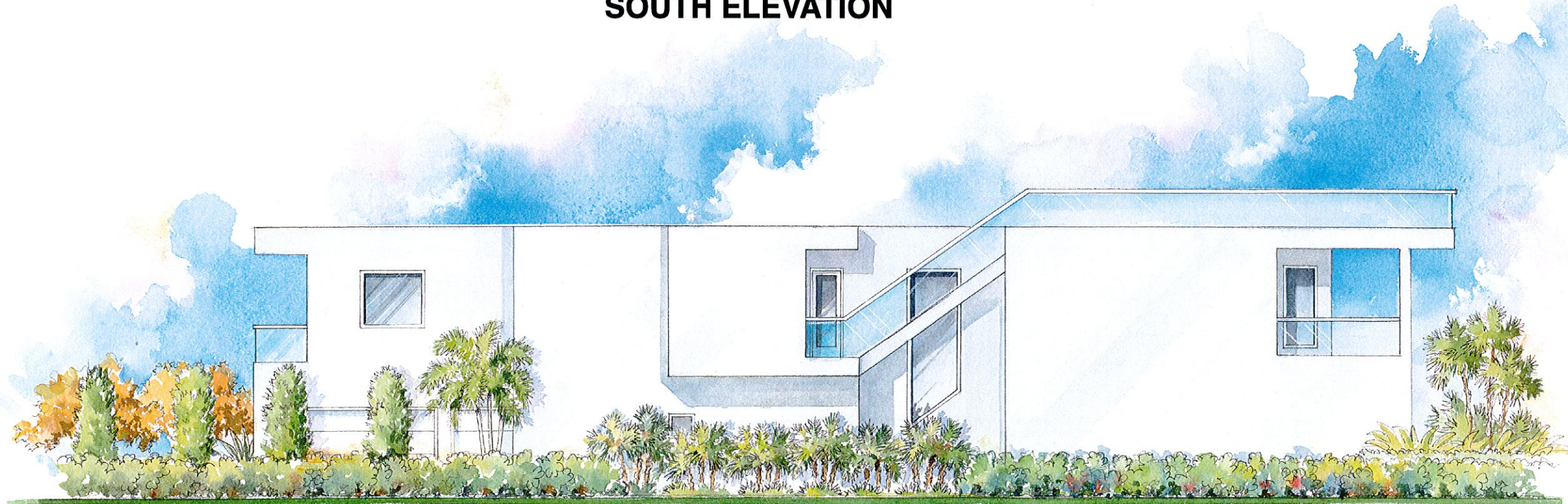
NEW SINGLE FAMILY RESIDENCE

DONALD A FISCHER ARCHITECT

SHEET No. **A-6**



SOUTH ELEVATION



NORTH ELEVATION

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 Email: dafisch7@aol.com

NEW SINGLE FAMILY RESIDENCE
BAY HARBOR RESIDENCE
 9530 WEST BROADVIEW DRIVE
 BAY HARBOR, FLORIDA 33154

DATE:

PROJECT No.

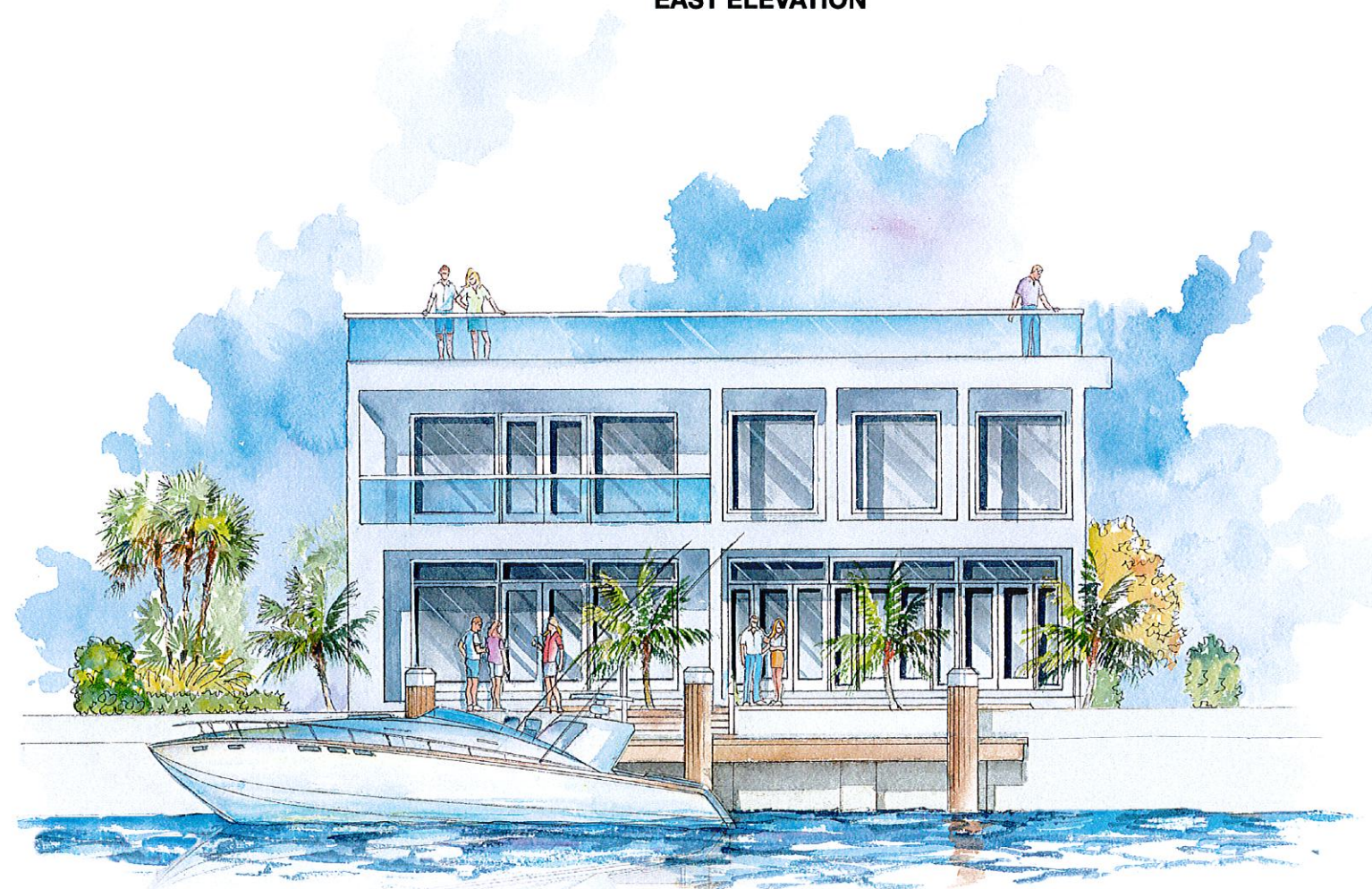
DONALD A. FISCHER
 Lic. No. AR 0008312



SHEET No. **A-7**



EAST ELEVATION



WEST ELEVATION

DONALD A FISCHER ARCHITECT
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NEW SINGLE FAMILY RESIDENCE
BAY HARBOR RESIDENCE
 9530 WEST BROADVIEW DRIVE
 BAY HARBOR, FLORIDA 33154

DATE:

PROJECT No.

DONALD A. FISCHER
 Lic. No. AR 0008312



SHEET No. **A-8**

**TOWN OF BAY HARBOR ISLANDS
COMMUNITY DEVELOPMENT
MEMORANDUM**

To: Town of Bay Harbor Islands
Ayanidys J. Martinez, Building and Zoning Supervisor

From: Scott D. Marks *SDM*
MMPA Consultant Town Planner

Date: April 17th, 2014 (**Revised**)

Subject: Proposed Single-Family Residence
Applicant – Alfonso Karam
9530 West Broadview Drive
Bay Harbor Islands Acct. No.: BP2014-105
MMPA Acct. No.: 01-0702-0987

RECOMMENDED ACTION

MMPA recommends the submitted site plan and architectural plans (dated 04/09/14) be **APPROVED** by the Planning and Zoning Board for the construction of a new single-family house at 9530 West Broadview Drive.

GENERAL PROJECT INFORMATION

Land Use Designation:	L – Low Density Residential
Zoning District:	RD Single-Family District
General Location:	9530 West Broadview Drive
Legal Description:	Lots 72 & 73, Block 23, "Bay Harbor Island" according to the plat thereof, as recorded in Plat Book 46, at Page 5 of the Public records of Miami-Dade County.

PROJECT DESCRIPTION

The project architect, Donald A. Fischer, as agent for the property owner, Alfonso Karam, has submitted an application for the construction of a new single-family residence on a waterfront lot located at 9530 West Broadview Drive. The proposed 2-story home has approximately 7,090 square feet of A/C living space with a three-car garage and a covered and open terrace. The residence will have five (5) bedrooms, one (1) media room, one (1) library/studio, six (6) full bathrooms and three (3) half bathrooms. The overall height of the structure will be just under 25

feet above Base Flood Elevation which is the maximum height allowed for a flat-roofed waterfront residence within the RD Single-Family District. There is a rooftop deck with a railing height of forty-two (42) inches which is under the maximum allowable height. The application proposes a large driveway on the street side of the property and a pool and spa with pool deck on the water side of the property. The plans do not indicate how the pool will be fenced. An extensive landscaping is proposed that meets and exceeds the Town Landscape Code and Miami-Dade County Landscape Code requirements including for the use of native and drought tolerant plant materials.

The Historical Structure Survey for the Town of Bay Harbor Islands indicates that the existing structure was built in 1947 and is a Masonry Vernacular (classical revival) design. The existing structure is to be demolished. The new single-family residence is a modern architectural design.

PROJECT HISTORY

The applicant previously submitted an initial set and several revised sets of plans that were reviewed by MMPA for consistence with the Town Code. Comments were given to the applicant each time and the current submitted plans are reflective of all requested changes.

COMPREHENSIVE PLAN / ZONING

Comprehensive Plan – The property has a Future Land Use Map (FLUM) designation of “Low Density Residential”. The maximum allowable base density is six (6) DUA. The proposed use and density of the property would be consistent with the applicable FLUM designation of the property.

Land Development Regulations / Zoning Code –The property has a Zoning Classification of RD Single Family Zoning District. The proposed use and density of the property is consistent with this zoning classification. The following Zoning and Planning sections of the Code apply to this proposal: Section 23-3 (Use Regulations RD Single-Family District), Section 23-9 (Minimum Size of Living Units), Section 23-10 (Minimum Size of Building Lot), Section 23-11(A) (Land Development Regulations RD Single-Family Area) and Section 23-12 (Land Development Regulations General Provisions). In addition, the Town has separate regulations for landscaping, driveways and building material regulations.

PLATTING

The site will not require re-platting, as the site is currently platted as described above under the legal description.

SITE PLAN COMMENTS

The current site and architectural plans submitted for a new house at 9530 West Broadview Drive meet or exceed all Town Land Development and Landscape Code requirements. The applicant previously submitted plans that were reviewed and commented on by MMPA and all previous comments and issues have been addressed by the current plans.

The property currently consists of two full lots and appears to have a Unity of Title. The applicant has now indicated to the Town that they intend to eliminate the Unity of Title. This would be

permitted as the site consists of two full lots (72 & 73); subject to the proposed improvements being located on one full lot and meeting all Code requirements. The current survey and plans submitted for the proposed single-family home do not show a dimension to indicate that the lot line (between lots 72 and 73) shown on the proposed plans is in the correct location. According to Page 46 of the Miami-Dade County Plat Book, both lots were originally platted at 69.645 feet in width at the street, 80.345 feet in width at the water and 175 feet in depth. While the survey and proposed plans submitted do not show a dimension to indicate the location of the lot line between lots 72 and 73, scaling the plans appears to reflect the lot line in the correct location as it was originally platted. After the Unity of Title is eliminated, the applicant will need to submit a new survey to the Town, showing the dimensions of the lots are as originally platted. Additionally, all proposed improvements must be contained on one lot and must meet all minimum Code requirements (setbacks, landscaping, etc.) for the Town to approve the elimination of the Unity of Title.