

There is a three (3) minute time limit for each speaker during public comment. Your cooperation is appreciated in observing the three (3) minute rule. When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you do not turn off your cell phone or pager and it rings, you will be asked to leave the council chambers.

**TOWN OF BAY HARBOR ISLANDS
MORRIS N. BROAD COMMUNITY CENTER
1175 95TH STREET
BAY HARBOR ISLANDS, FL 33154**

DESIGN REVIEW BOARD

**September 1, 2026
7:00 PM**

FINAL AGENDA

CALL TO ORDER: Set for 7:00 p.m.

PLEDGE OF ALLEGIANCE:

ROLL CALL:

1. Request for approval for exterior modifications for “Volare Miami LLC” located at 1130 102 Street, Lot 5 of Block 6. The owner is proposing to renovate the facade with a smooth stucco finish and installation of decorative stucco bands. Paint the exterior of the building and remove and relocate the existing exterior lights fixtures and install new sconces. Enclosed please find the proposed plan and elevation.

** Staff Review:* The design meets the Town Code and was approved by Lorrainia Belle, Town Planner.

ADJOURNMENT:

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Design Review Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AGENDA ITEM REPORT

September 1, 2026

ITEM NUMBER: 1.

ITEM: Request for approval for exterior modifications for “Volare Miami LLC” located at 1130 102 Street, Lot 5 of Block 6. The owner is proposing to renovate the facade with a smooth stucco finish and installation of decorative stucco bands. Paint the exterior of the building and remove and relocate the existing exterior lights fixtures and install new sconces. Enclosed please find the proposed plan and elevation.

DESCRIPTION:

RECOMMENDED ACTION:

The design meets the Town Code and was approved by Lorraine Belle, Town Planner.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Martinez
 Ayanidys Martinez

ATTACHMENTS

1.	BHI-DRB Staff Report- 1130 102 St
2.	1130 102 Street DRB Set 9.1.2026

Town of Bay Harbor Islands, FLORIDA
Design Review Board
ADVISORY BOARD AGENDA ITEM REPORT

AGENDA ITEM NO. 1

MEETING DATE: 09/01/2026

Prepared By: Lorrainia Belle
Address: 1130 102nd Street

SUBJECT:

Project # SPR26-000004

A public hearing to consider an application for a Facade Remodel to allow for exterior renovations including smooth stucco refinishing, installation of decorative stucco bands, exterior repainting, replacement of exterior light fixtures, and installation of new permeable pavers, located at 1130 102nd Street, identified with parcel identification number 13-2227-001-1290.

1. BACKGROUND/HISTORY

Issue Statement: The The applicant, CMVA Development LLC, is requesting Design Review Board (DRB) approval for a facade remodel of an existing single-family residence located at 1130 102nd Street, Bay Harbor Islands, Florida. The proposed scope of work includes the following:

1. Facade renovation includes smooth stucco refinishing and installation of decorative stucco bands.
2. Exterior repainting of the facade.
3. Removal and relocation of existing exterior light fixtures and installation of new sconces as shown on the photometric plan.

No structural work, changes to building footprint, height, occupancy, egress, or fire-rated assemblies are proposed. Furthermore, no modifications to utilities, drainage structures, or underground piping are included in this permit application. All improvements are cosmetic and surface-level only, with the exception of the new permeable pavers.

Recommended Action: Staff recommend that the Design Review Board consider approval of the proposed facade remodel for the property at 1130 102nd Street, subject to all staff-recommended conditions.

Property Description: The subject property is a nonwaterfront lot located at 1130 102 Street, developed with an existing 4-story apartment building. The lot is legally described as Lot 5, Block 6, of "Bay Harbor Island." The proposed improvements are confined to the exterior surfaces of the existing structure and its immediate surroundings.

2. ANALYSIS

The proposed scope of work involves a cosmetic renovation of the existing residential building. This project is fundamentally different from the previously reviewed redevelopment project and is characterized by its non-structural, surface-level nature.

Design Review Considerations:

The proposed design aims to enhance the facade's aesthetic appeal through the application of a smooth stucco finish and decorative stucco bands, which will give the building a cleaner, more modern look. The exterior repainting will further refresh the building's appearance. The removal and replacement of existing exterior light fixtures with new wall sconces is intended to modernize the exterior lighting. A detailed photometric plan has been prepared to demonstrate compliance with the Town's lighting standards.

Zoning and Land Use:

The property is located within the RM-2 (Multiple Family) Zoning District and has a Future Land Use Map (FLUM) designation of MH (Medium-High Density Residential). The maximum allowable base density is 34 dwelling units per acre (DUA).

Parking and Access:

The proposed scope of work does not alter the existing parking arrangements or access to the property. The only change to the site is the installation of new permeable pavers in the driveway area, which will improve stormwater management and provide a surface-level enhancement.

Platting:

Re-platting of the site will not be required, as it is already platted as outlined in the legal description above.

Neighborhood Compatibility:

The proposed facade remodel is consistent with the character of the neighborhood, which features a mix of residential properties. The improvements are cosmetic and will enhance the appearance of the property without altering its scale or massing. The new color scheme, stucco finish, and updated lighting are expected to be compatible with surrounding properties and contribute positively to the streetscape.

Future Land Use Map Designation:

The property is designated as Commercial on the Future Land Use Map (FLUM); however, the existing use of the property is multi-family residential and is consistent with the Medium-High Density Residential category. The maximum allowable base density is 34 dwelling units

per acre (DUA). The property is existing and no changes to the use, density, or intensity are proposed.

Conclusion:

The proposed facade remodel at 1130 102nd Street is a cosmetic, surface-level renovation that is consistent with the property's existing use and zoning designation. The project will enhance the aesthetic quality of the property and is compatible with the surrounding neighborhood. Subject to DRB approval of the architectural design and final details, the project meets the criteria for approval.

Applicable Code Sections:

The following sections of the Land Development and Zoning Code are applicable to this proposal:

- Section 23-4 (Use Regulations for RM-1 and RM-2 Multiple Family Districts),
- Section 23-10. (Minimum size of building site)
- Section 23-11. (Land development regulations)
- In addition to these provisions, the Town has separate regulations that must be followed, ensuring compliance with all requirements outlined in the Town Code.

Review criteria. The Design Review Board shall not approve unless the Board finds that the following criteria have been met: (Section 5-23.1)

- 1) The plan for the proposed structure or project is in conformity with good design and in general, contributes to the image of the town as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas, and high quality.*
- 2) The proposed structure or project is not, in its exterior design and appearance, of inferior qualities such as to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.*
- 3) The exterior building components and exterior architectural features shall have attractive and cohesive architectural character.*
- 4) The orientation, appearance, and design of exterior architectural features of new and existing buildings and structures, and/or modifications to existing buildings and structures, shall indicate sensitivity to and shall be compatible with the streetscape and adjacent property, not detract from the appearance of surrounding properties, and create or maintain view corridors.*
- 5) Landscaping and paving materials shall ensure a cohesive relationship with and enhancement of the overall site plan design.*
- 6) Buffering materials shall ensure that headlights from vehicles, noise, light, and mechanical equipment are adequately shielded from public view, adjacent properties, and sidewalks.*
- 7) The proposed structure is in conformity with standards of this Code and other applicable ordinances in so far as the location and appearance of the buildings and structures are involved.*

- 8) *The proposed structure or project is consistent with other actual and proposed developments in the general area, considering the following additional criteria:*
- a. Site layout, orientation, location of structures and relationship to one another and to open spaces, and topography.*
 - b. Harmonious relationship with existing and proposed adjoining developments, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted.*
 - c. Maximum height, area, setbacks, and overall masks as well as parts of any structure (buildings, walls, screens, towers, or signs) and effective concealment of all mechanical equipment.*
 - d. Building design, materials, and colors to be sympathetic with surroundings.*
 - e. Harmony of materials, colors, and composition of low sides of a structure which are visible simultaneously.*
 - f. Consistency of composition and treatment. The choice of materials and their usage shall be conducive to regular maintenance and durability, given the town's location to surrounding saltwater bodies.*
 - g. Location and type of planting with due regard for climatic conditions, preservation of specimens and landmark plantings upon a site, and proper irrigation to insure maintenance of all plant materials.*
 - h. Design and appropriateness of signs, as well as interior and exterior lighting of signs.*
 - i. Graphics, as understood in architectural design.*
 - j. The design review board shall not have jurisdiction over the number, types or layout of interior rooms or spaces in single-family homes or two-family homes.*

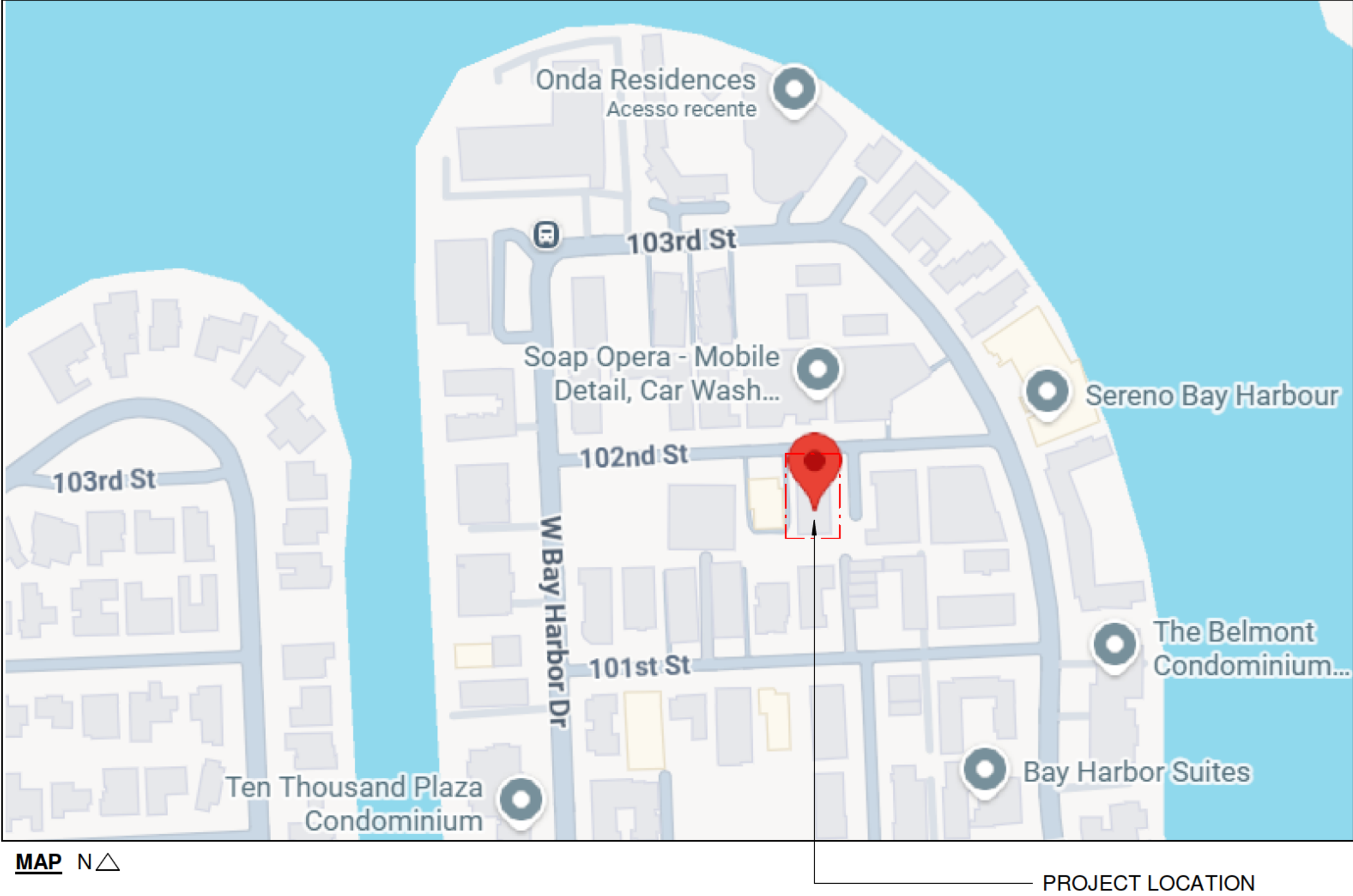
3. RECOMMENDATION

Staff recommends that the Design Review Board approve the Facade Remodel application for the property at 1130 102nd Street, subject to the following conditions:

- 1. All work shall be completed in substantial conformance with the plans and materials submitted and approved by the Design Review Board.
- 2. Any substitutions of specified materials (including stucco finish, paint color, light fixtures, or pavers) shall be subject to review and approval by the Town prior to installation.
- 3. The new exterior lighting shall be installed in accordance with the approved photometric plan to ensure compliance with applicable lighting standards.
- 4. All work shall comply with the Town's Building Code and any other applicable regulations.

FACADE RENOVATION

1130 102nd St, Bay Harbor Islands, FL 33154



APPLICABLE CODES

- FLORIDA BUILDING CODE – BUILDING (FBC-B) – 2023 (8TH EDITION)
- FLORIDA BUILDING CODE – EXISTING BUILDING (FBC-EB) – 2023 – LEVEL 1 ALTERATION
- FLORIDA ENERGY CONSERVATION CODE – 2023
- NATIONAL ELECTRICAL CODE (NEC) – 2020 (NFPA 70)
- MIAMI-DADE COUNTY AND TOWN OF BAY HARBOR ISLANDS ORDINANCES

DESIGN PARAMETERS

- WIND LOAD: ULTIMATE WIND SPEED (VULT) = 170 MPH (RISK CATEGORY II)
- WIND EXPOSURE CATEGORY: D

COMPONENTS & CLADDING

DESIGN WIND PRESSURES (PSF)
(INCLUDES EXPOSURE CATEGORY D FACTOR = 1.47)

ZONE 1:
+34.3 PSF / –61.5 PSF

ZONE 2:
+34.3 PSF / –85.1 PSF

ZONE 3:
+34.3 PSF / –84.7 PSF

ZONE 4:
+45.9 PSF / –49.7 PSF

ZONE 5:
+45.9 PSF / –61.5 PSF

DRAWING INDEX				
	DESCRIPTION	SHEET NO.	SHEET NAME	REVISION
1	GENERAL NOTES	G0.1	COVER SHEET	1
2	ARCHITECTURAL	A1.1	FLOOR PLAN	1
3	ARCHITECTURAL	A1.2	ELEVATIONS	
4	CIVIL	C.01	SITE PLAN	1



OCCUPANCY CLASSIFICATION:
R RESIDENTIAL

CONSTRUCTION TYPE:
TYPE VB

SCOPE OF WORK

1. REMOVAL OF APPROXIMATELY 1,400 SF OF EXISTING ASPHALT AT THE FRONT PARKING AREA.
2. INSTALLATION OF NEW CONCRETE GRASS-BLOCK PERMEABLE PAVERS IN THE PARKING AREA.
3. FAÇADE RENOVATION INCLUDING SMOOTH STUCCO REFINISHING AND INSTALLATION OF DECORATIVE STUCCO BANDS.
4. EXTERIOR REPAINTING OF THE FAÇADE.
5. REMOVAL AND RELOCATION OF EXISTING EXTERIOR LIGHT FIXTURES AND INSTALLATION OF NEW SCONCES AS SHOWN.
6. NO STRUCTURAL WORK IS INCLUDED IN THIS PERMIT.
7. NO CHANGES TO BUILDING FOOTPRINT, HEIGHT, OCCUPANCY, EGRESS, OR FIRE-RATED ASSEMBLIES.
8. NO MODIFICATION TO UTILITIES, DRAINAGE STRUCTURES, OR UNDERGROUND PIPING.
9. ALL IMPROVEMENTS ARE COSMETIC AND SURFACE-LEVEL ONLY, EXCEPT FOR THE NEW PERMEABLE PAVERS.
10. GALVANIZED HORIZONTAL METAL GATE ORNAMENTAL (TYP.)

FACADE
REMODEL –
RESIDENTIAL

1130 102ND
STREET, BAY
HARBOR
ISLANDS,
FLORIDA 33154

OWNER

REVISIONS:

DESCRIPTION	DATE
Rev. 01	01-14-2026

SIGNED:

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G0.1

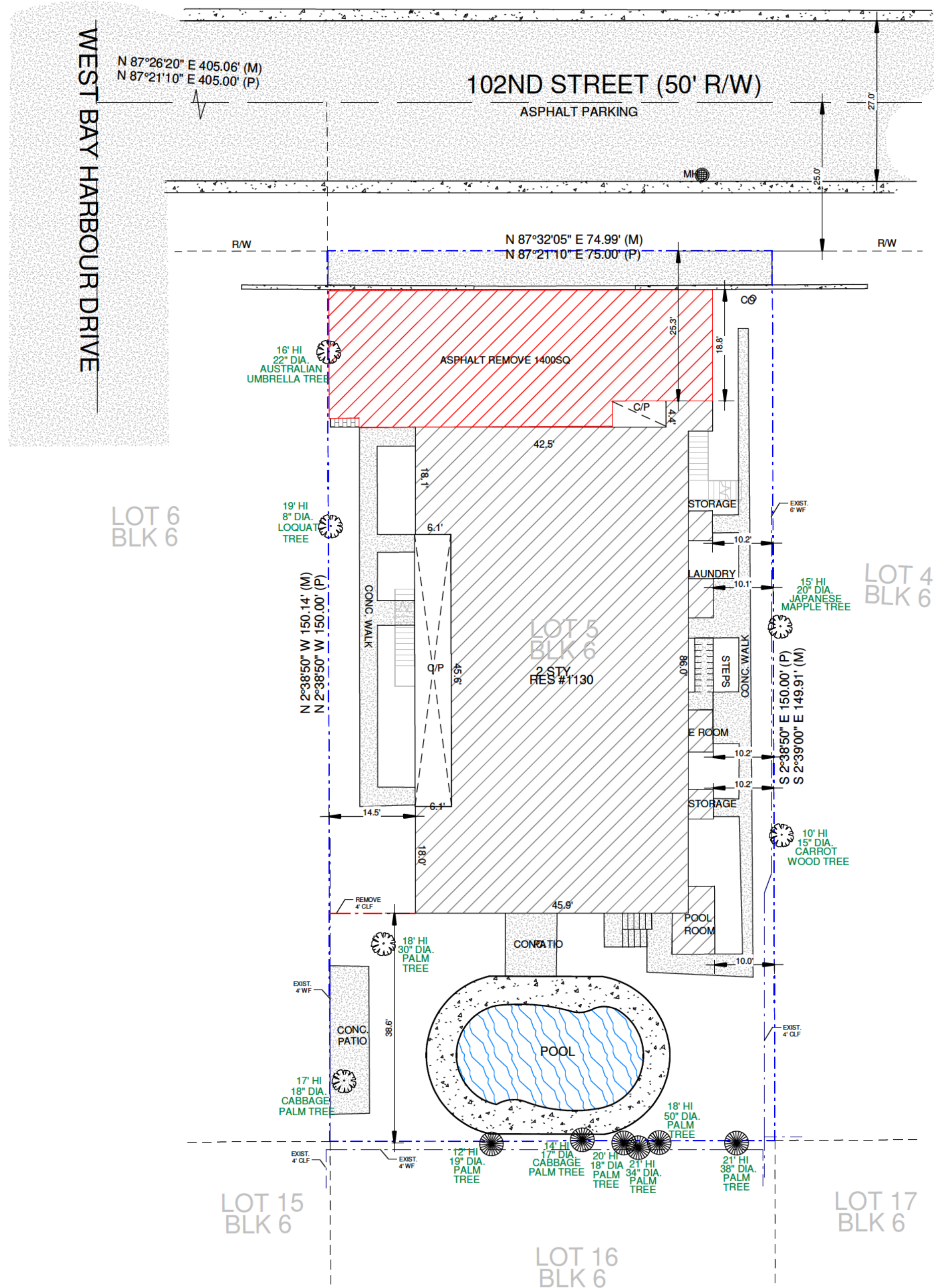
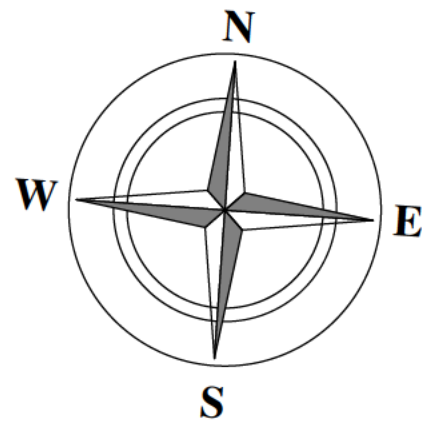
COVER SHEET

DATE: 11-25-2025

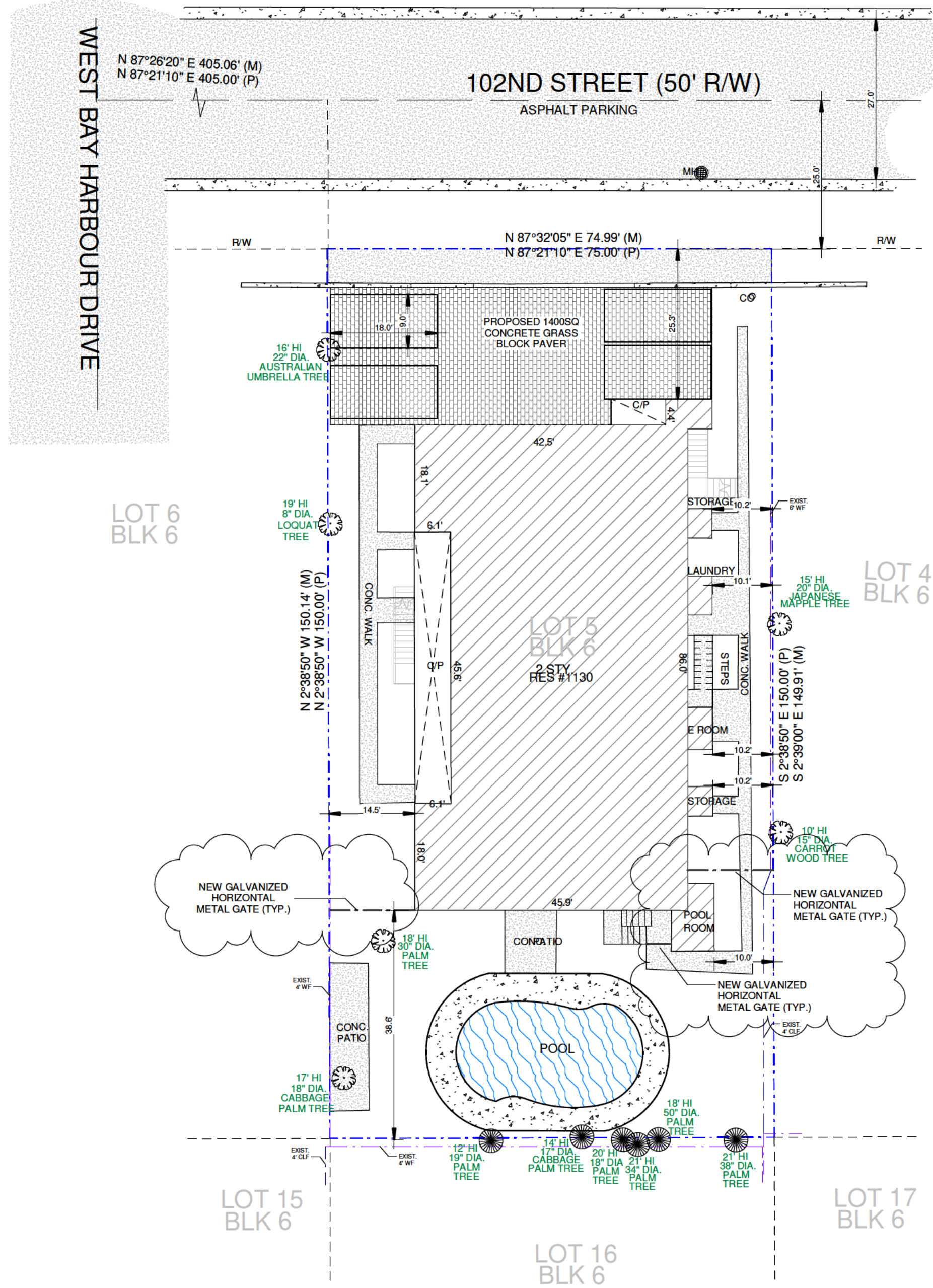
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SCALE: AS INDICATED

PAGE SIZE ARCHD



1 SITE PLAN EXIST/DEMO
1/16" = 1'-0"



2 SITE PLAN
1/16" = 1'-0"

SITE PLAN GENERAL NOTES

1. Scope includes removal of approximately 1,400 SF of existing asphalt and installation of concrete grass-block permeable pavers as shown.
2. No changes to parking layout, stall dimensions, access, building footprint, or site setbacks.
3. Concrete grass-block pavers shall be installed over a 4"-6" compacted limestone base per manufacturer specifications.
4. This improvement increases pervious surface area. Existing drainage pattern shall remain unchanged.
5. No grading modifications are proposed except to maintain positive drainage away from structures.
6. No modification to existing utilities, stormwater structures, drainage pipes, or underground systems.
7. Contractor shall field-verify all elevations and ensure that no ponding occurs after installation.
8. Existing pool, deck, building, and landscape areas remain unchanged.
9. All work shall comply with Miami-Dade County Paving and Drainage Standards and applicable sections of the FBC-B 2023.

NOTE:

NEW GALVANIZED ORNAMENTAL METAL GATES WITH HORIZONTAL MEMBERS. POSTS: 2 1/2" x 2 1/2".

HORIZONTAL MEMBERS: 2" x 1", SPACED AT 2" O.C.

NO STRUCTURAL DESIGN OR CALCULATIONS PROVIDED FOR GATES.

GATES ARE NON-STRUCTURAL SITE ELEMENTS.

OWNER

REVISIONS:

DESCRIPTION	DATE
Rev. 01	01-14-2026

SIGNED:

JEFFREY M. SANON,
State of Florida,
Professional Engineer,
License No. 70946

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C.01

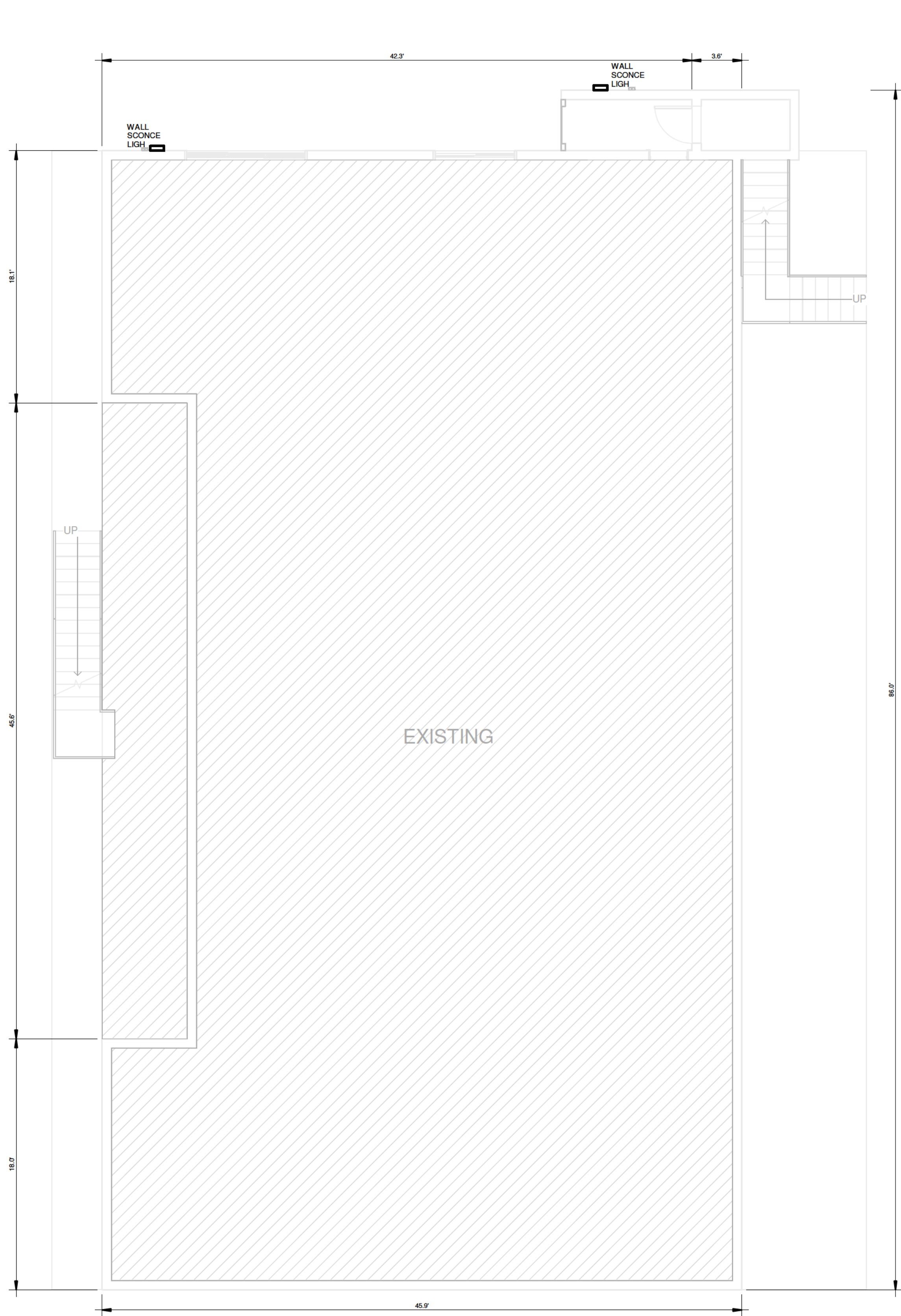
SITE PLAN

DATE: 11-25-2025

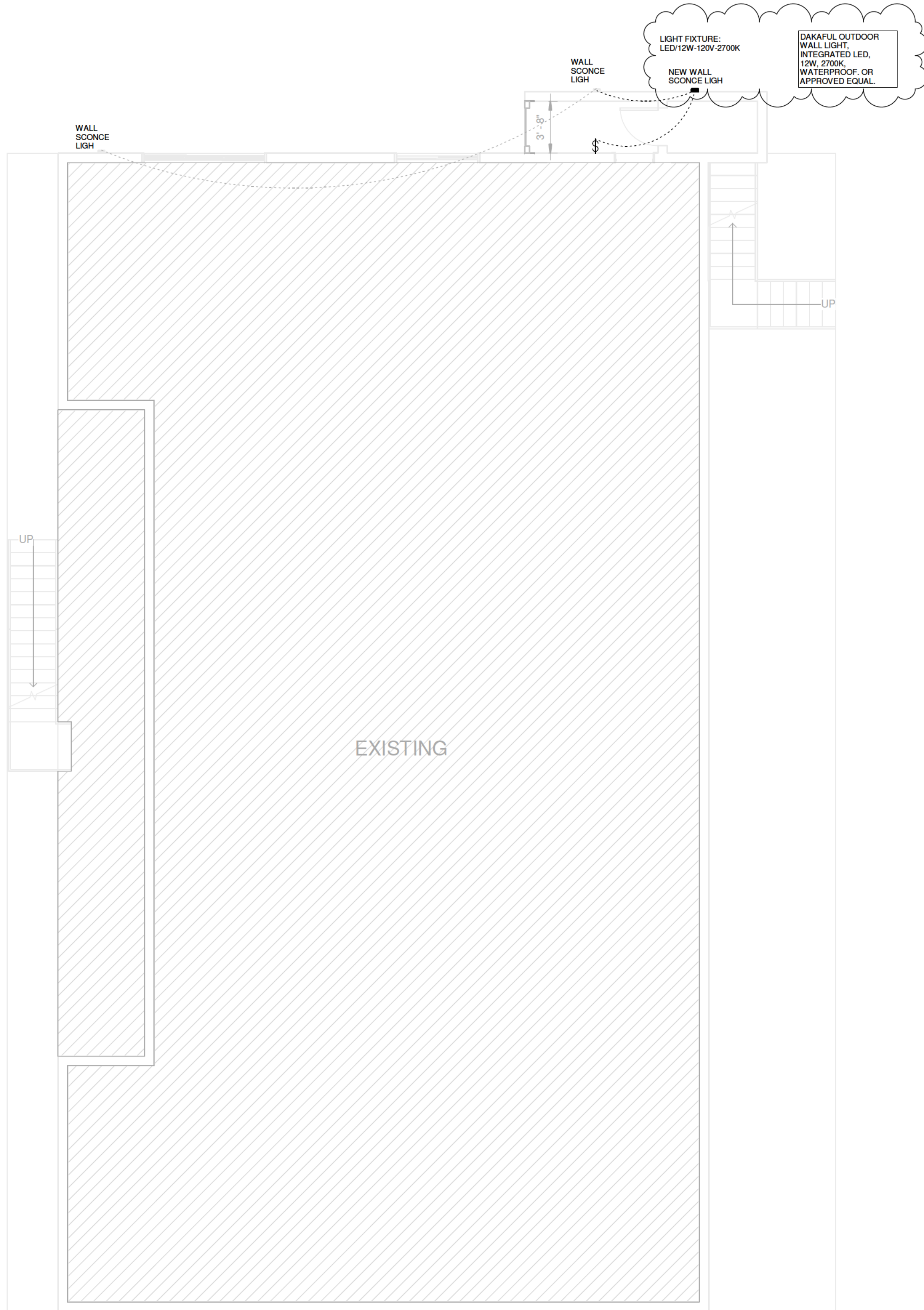
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PAGE SIZE ARCHD



1 EXISTING FLOOR PLAN
3/16" = 1'-0"



2 PROPOSED FLOOR PLAN
3/16" = 1'-0"

EXTERIOR LIGHTING GENERAL NOTES

- Existing exterior light fixtures shall be removed and relocated as shown on elevations and floor plan.
- No new electrical circuits shall be added. All relocated fixtures shall reuse existing wiring routed within the wall.
- All exterior penetrations shall be sealed per FBC-B 1403.2.
- All exterior fixtures shall be UL-listed for wet locations and installed per NEC 410 and NEC 250.
- Contractor shall submit cut sheets of selected fixtures for approval prior to installation.
- No structural elements, headers, lintels, or load-bearing components are modified.

FLOOR PLAN LEGEND	
<u>CONSTRUCTION</u>	
	EXISTING REMAIN
	DEMOLITION
	PROPOSED
<u>WALL TYPES</u>	
	NON-RATED PARTITION

FACADE
REMODEL –
RESIDENTIAL

1130 102ND
STREET, BAY
HARBOR
ISLANDS,
FLORIDA 33154

OWNER

REVISIONS:

DESCRIPTION	DATE
Rev. 01	01-14-2026

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A1.1

FLOOR PLAN

DATE:	11-25-2025
DRAWN BY:	Taiane Dalcin
SCALE:	AS INDICATED
PAGE SIZE	ARCHD

DESCRIPTION	DATE

JEFFREY M. SANON,
State of Florida,
Professional Engineer,
License No. 70946

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Digitally signed by
Jeffrey M Sanon
Date: 2025.12.02
16:11:53 -05'00'



A1.2

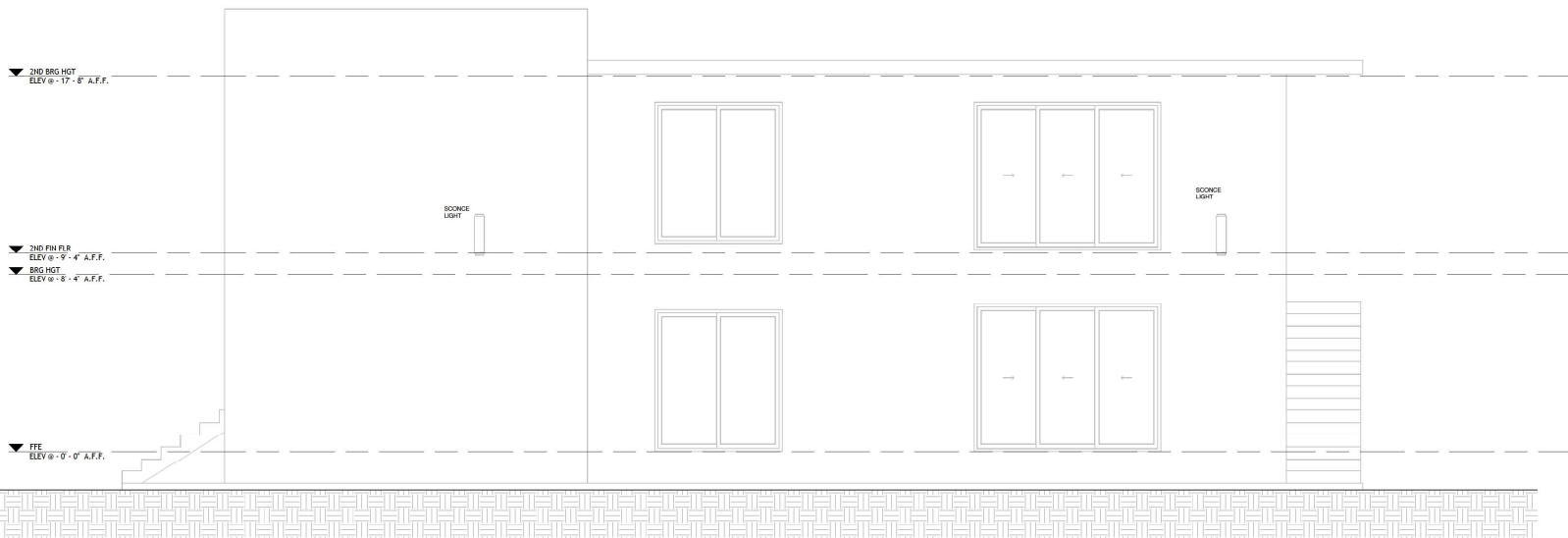
ELEVATIONS

DATE: 11-25-2025

DRAWN BY: Talane Dalcin

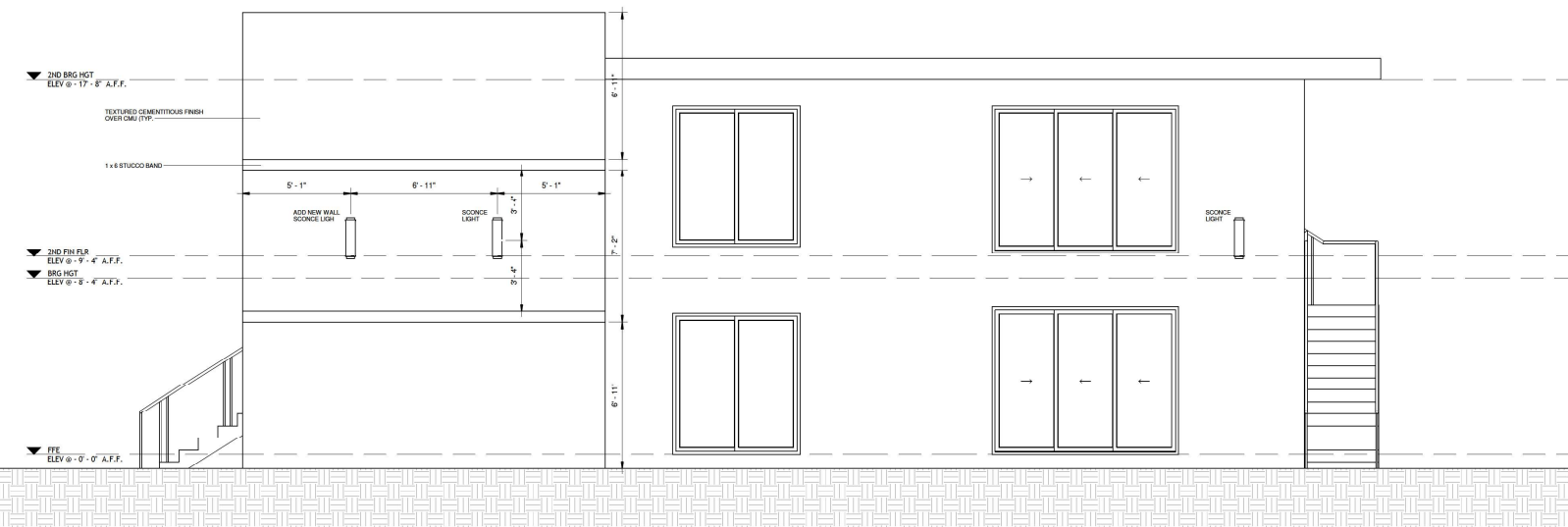
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PAGE: SIZE: ARCH/PU



1 FRONT - EXISTING

3/8" = 1'-0"

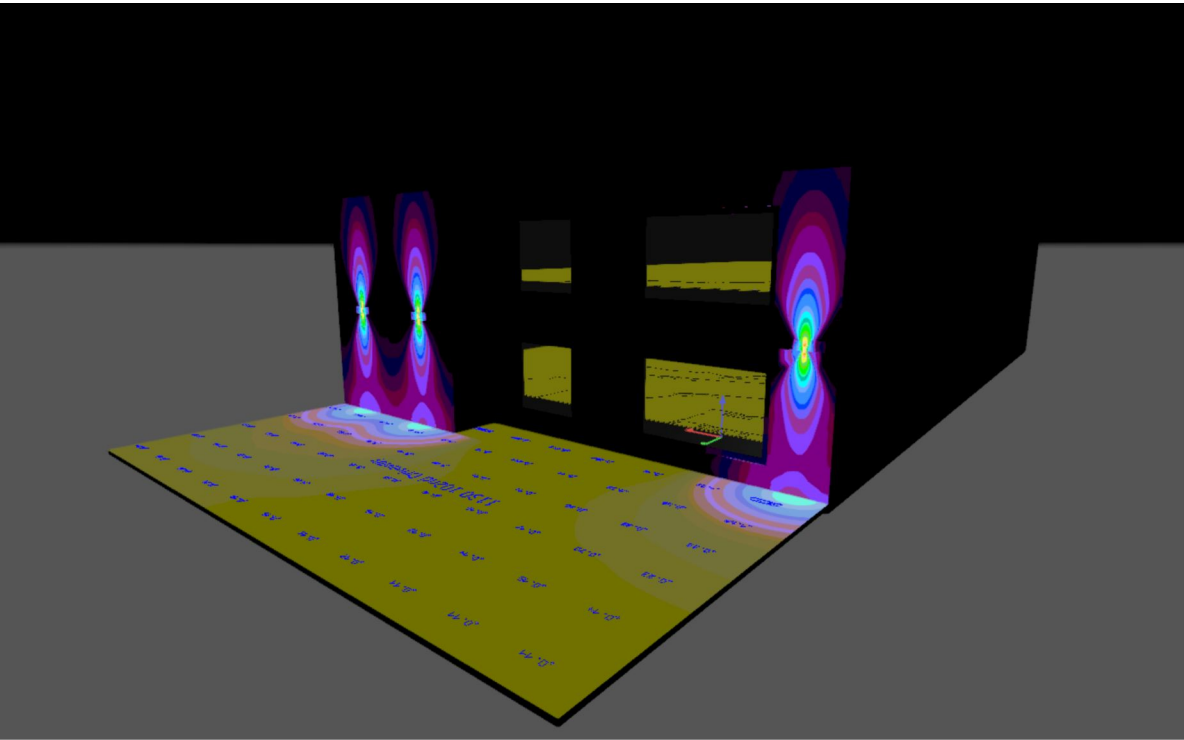


2 FRONT - PROPOSED

3/8" = 1'-0"

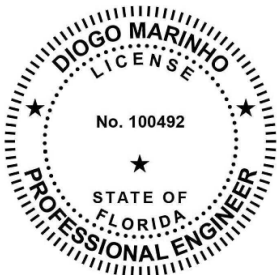
FLOOR PLAN LEGEND

CONSTRUCTION
EXISTING REMAIN
DEMOLITION
PROPOSED
WALL TYPES
NON-RATED PARTITION



Exterior Remodeling 1130 102nd St Bay Harbor, FL 33154

Object
1130 102nd St Bay Harbor, FL
33154



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Product data sheets

Vision Lighting - Freedom 30W Up/Down External Wall Mount Pillar Light (1x 6

(CITIZEN CLU028-1202C4-303M2M2 350mA)jÁ2PCS)

Site 1

1130 102nd Driveway

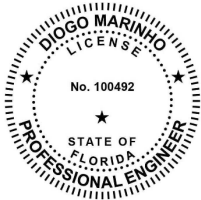
Luminaire layout plan7

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Calculation objects / Light scene 1 10

Working plane (1130 102nd Driveway) / Light scene 1 / Perpendicular 12

illuminance (adaptive)



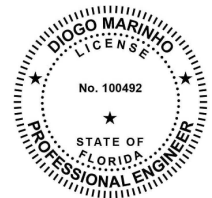
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Contacts

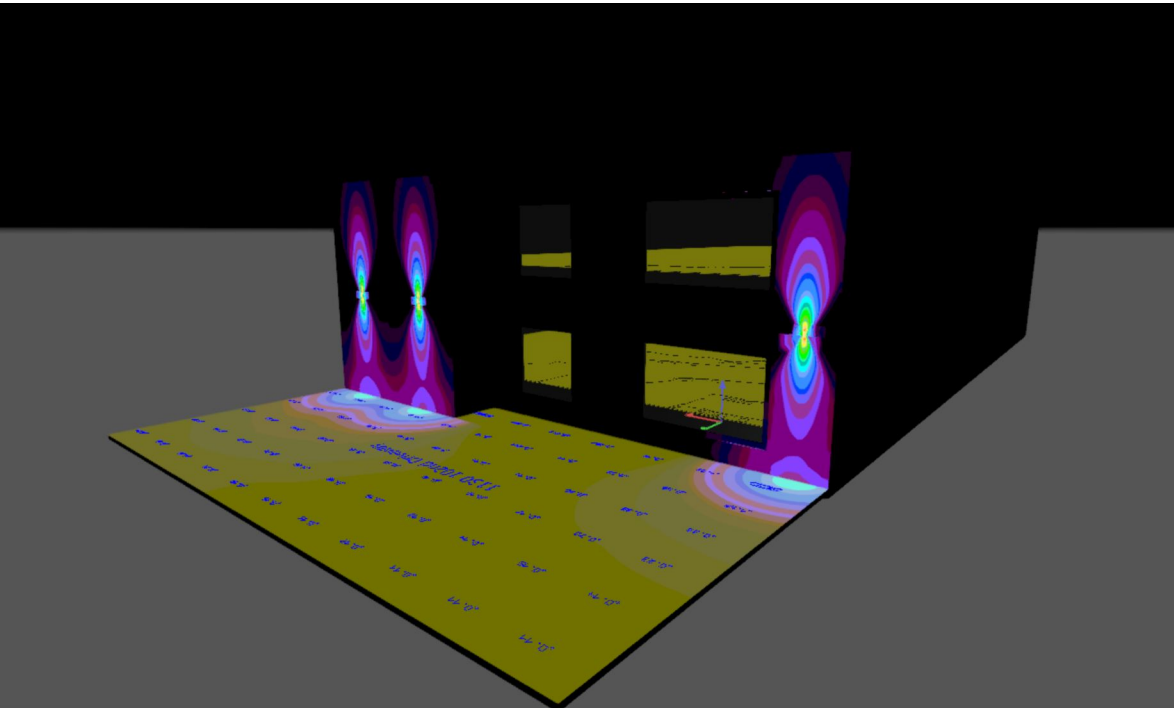


CMVA Development LLC
601 N Federal Hwy Hallandale
Beach, FL 33009

T 954 856-1817
tg@cmvadev.com



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Description

This photometric plan has been prepared to evaluate the exterior lighting conditions for the proposed driveway improvements at 1130 102nd Street, Bay Harbor Islands, Florida.

The lighting analysis was performed using DIALux evo based on the photometric (IES) data provided by the luminaire manufacturer. The calculations represent maintained horizontal illuminance levels at finished grade and are intended to demonstrate compliance with applicable lighting design practices and local permitting requirements.

Luminaire locations, mounting heights, aiming, and fixture specifications are shown on this plan. Illuminance values are expressed in foot-candles (fc) unless otherwise noted.

The contractor shall install all luminaires in accordance with the manufacturer's recommendations and the approved construction documents. Any substitution of luminaires shall require equivalent or better photometric performance and may require resubmission of the photometric calculations for review and approval.

CMVA Development LLC
601 N Federal Hwy Hallandale
Beach, FL 33009

T 954 856-1817
tg@cmvadev.com

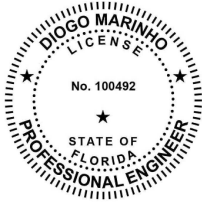


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Luminaire list

Φ_{total} 7482 lm	P_{total} 90.6 W	Luminous efficacy 82.6 lm/W
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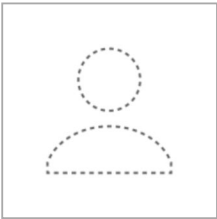
pcs.	Manufacturer	Article No.	Article name	P	Φ	Luminous efficacy
3	Vision Lighting	WXP80-30W-24D24	Freedom 30W Up/Down External Wall Mount Pillar Light	30.2 W	2494 lm	82.5 lm/W



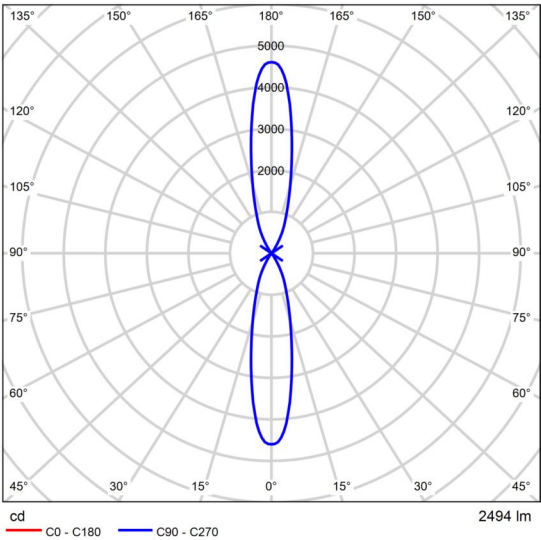
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Product data sheet

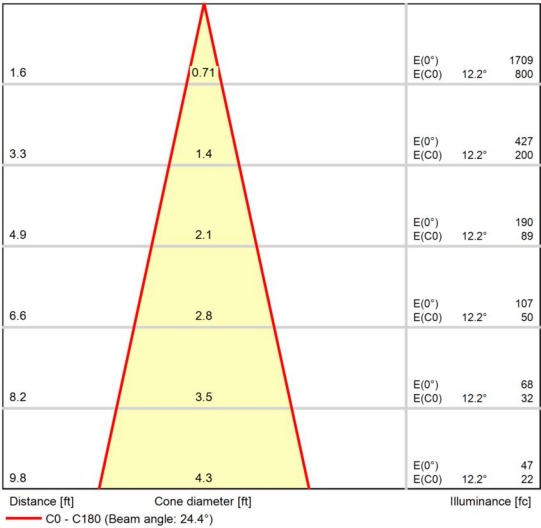
Vision Lighting - Freedom 30W Up/Down External Wall Mount Pillar Light



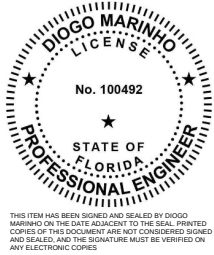
Article No.	WXP80-30W-24D24
P	30.2 W
Φ_{Lamp}	–
$\Phi_{Luminaire}$	2494 lm
η	–
Luminous efficacy	82.5 lm/W
CCT	3000 K
CRI	100



Polar LDC

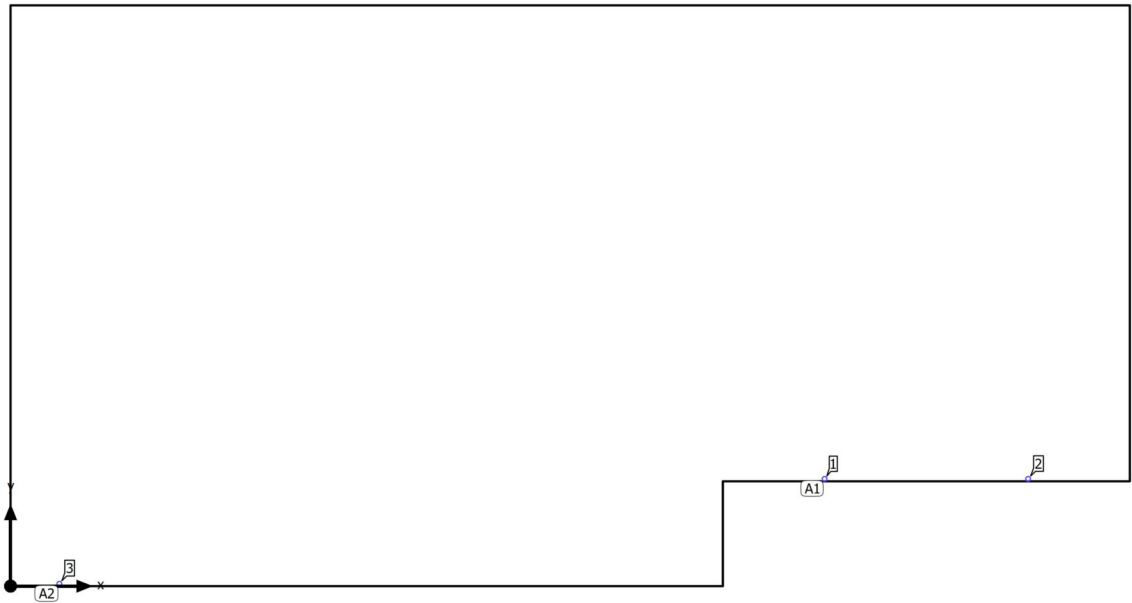


Cone diagram



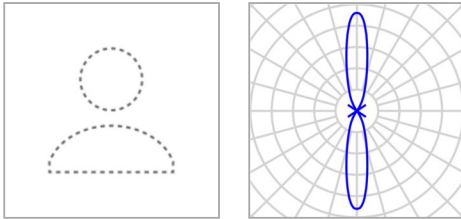
1130 102nd Driveway

Luminaire layout plan



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1130 102nd Driveway

Luminaire layout plan

Manufacturer	Vision Lighting	P	30.2 W
Article No.	WXP80-30W-24D24	$\Phi_{\text{Luminaire}}$	2494 lm
Article name	Freedom 30W Up/Down External Wall Mount Pillar Light		
Fitting	1x (CITIZEN CLU028- 1202C4-303M2M2 350mA) _j Á2PCS		

2 x Vision Lighting Freedom 30W Up/Down External Wall Mount Pillar Light

Type	Line arrangement	X	Y	Mounting height	Luminaire
1st luminaire (X/Y/Z)	33.382 ft / 4.398 ft / 9.500 ft	33.382 ft	4.398 ft	9.500 ft	1
X-direction	2 pcs., Centre - centre, 8.345 ft	41.727 ft	4.398 ft	9.500 ft	2
Arrangement	A1				

1 x Vision Lighting Freedom 30W Up/Down External Wall Mount Pillar Light

Type	Line arrangement	X	Y	Mounting height	Luminaire
1st luminaire (X/Y/Z)	2.000 ft / 0.098 ft / 9.500 ft	2.000 ft	0.098 ft	9.500 ft	3
X-direction	1 pcs., Centre - centre, Distances not equal				
Arrangement	A2				



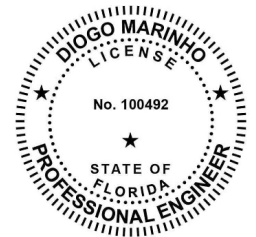
THIS ITEM HAS BEEN SIGNED AND SEALED BY DIOGO MARINHO ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED, AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

1130 102nd Driveway

Luminaire list

Φ_{total} 7482 lm	P_{total} 90.6 W	Luminous efficacy 82.6 lm/W
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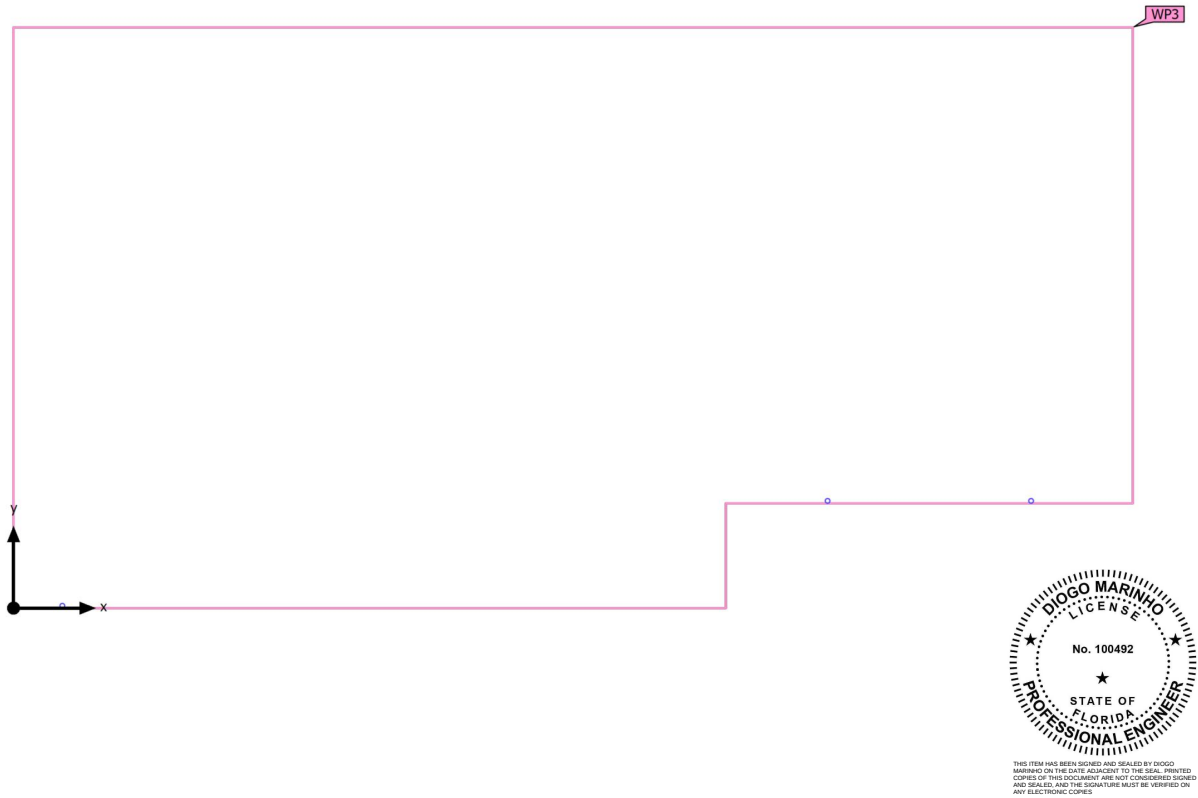
pcs.	Manufacturer	Article No.	Article name	P	Φ	Luminous efficacy
3	Vision Lighting	WXP80-30W-24D24	Freedom 30W Up/Down External Wall Mount Pillar Light	30.2 W	2494 lm	82.5 lm/W



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1130 102nd Driveway (Light scene 1)

Calculation objects



1130 102nd Driveway (Light scene 1)

Calculation objects

Working planes

Properties	$\bar{E}$ (Target)	E_{min}	E_{max}	$U_o (g_1)$ (Target)	g_2	Index
Working plane (1130 102nd Driveway) Perpendicular illuminance (adaptive) Height: 0.000 ft, Wall zone: 0.000 ft	1.70 fc (≥ 0.46 fc)	0.011 fc	42.9 fc	0.007 (≥ 0.25)	0.000	WP3

Utilisation profile: Parking areas (5.9.1 Light traffic, e.g. parking areas of shops, terraced and apartment houses, cycle parks)



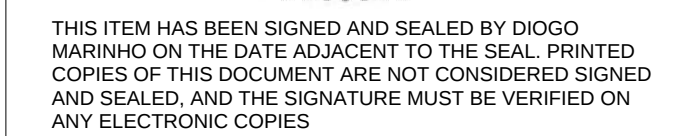
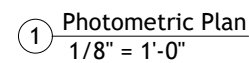
1130 102nd Driveway (Light scene 1)

Working plane (1130 102nd Driveway)

Properties	$\bar{E}$ (Target)	E_{min}	E_{max}	$U_o (g_1)$ (Target)	g_2	Index
Working plane (1130 102nd Driveway) Perpendicular illuminance (adaptive) Height: 0.000 ft, Wall zone: 0.000 ft	1.70 fc (≥ 0.46 fc)	0.011 fc	42.9 fc	0.007 (≥ 0.25)	0.000	WP3

Utilisation profile: Parking areas (5.9.1 Light traffic, e.g. parking areas of shops, terraced and apartment houses, cycle parks)





Drawn By TPG