

There is a three (3) minute time limit for each speaker during public comment. Your cooperation is appreciated in observing the three (3) minute rule. When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you do not turn off your cell phone or pager and it rings, you will be asked to leave the council chambers.

**TOWN OF BAY HARBOR ISLANDS
MORRIS N. BROAD COMMUNITY CENTER
1175 95TH STREET
BAY HARBOR ISLANDS, FL 33154**

DESIGN REVIEW BOARD

**June 9, 2026
7:00 PM**

FINAL AGENDA

CALL TO ORDER: Set for 7:00 p.m.

PLEDGE OF ALLEGIANCE:

ROLL CALL:

1. Request for approval for revisions to a new multifamily dwelling for "Arman Corp" located at 1085 94 Street, Lot 10 of Block 13. On May 6, 2025, the Board approved the site plan. On December 15, 2025, the construction plans were submitted for review. During the review, staff identified some changes that were made to the previously approved design. The developer submitted revised plans for the doors, windows, window sizes and the removal of a 4' wide window on the first floor. The proposed building will not require any TDRs. Enclosed please find the site plan and elevations. (Item #1).

** Staff Review:* The design meets the Town Code and was approved by Lorrainia Belle, Town Planner.

2. Request for approval for a new single-family home for "Inna Barukhin" located at 1260 99 Street, Lot 5 of Block 28. The owner is proposing to construct a new single-family home. The owner is proposing to demolish the existing 1954 home and construct a new two-story single-family residence. The new home will have approximately 7,465 square feet of a/c living space. The proposed residence will have five bedrooms, five full bathrooms, two half baths, a two-car garage and a pool. Enclosed please find the site plan and elevations. (Item #2)

** Staff Review:* The design meets the Town Code and was approved by Lorrainia Belle, Town Planner.

ADJOURNMENT:

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Design Review Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AGENDA ITEM REPORT

June 9, 2026

ITEM NUMBER: 1.

ITEM: Request for approval for revisions to a new multifamily dwelling for "Arman Corp" located at 1085 94 Street, Lot 10 of Block 13. On May 6, 2025, the Board approved the site plan. On December 15, 2025, the construction plans were submitted for review. During the review, staff identified some changes that were made to the previously approved design. The developer submitted revised plans for the doors, windows, window sizes and the removal of a 4' wide window on the first floor. The proposed building will not require any TDRs. Enclosed please find the site plan and elevations. (Item #1).

DESCRIPTION:

RECOMMENDED ACTION:

The design meets the Town Code and was approved by Lorraine Belle, Town Planner.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Martinez
 Ayanidys Martinez

ATTACHMENTS

1.	BHI-DRB Staff Report- 1085 94 Street
2.	1085 94 Street DRB Set 6.9.2026

**Town of Bay Harbor Islands, FLORIDA
Design Review Board
ADVISORY BOARD AGENDA ITEM REPORT**

AGENDA ITEM NO. 1

MEETING DATE: 06/09/2026

PREPARED BY: Lorrainia Belle
Town Planner

SUBJECT:

Project # SPR26-000011

A public hearing to consider an application by ARMAN CORP (applicant) requesting re-approval for the Site Development Plan for the construction of a six (6) dwelling unit townhouse complex located at 1085 94th Street, Bay Harbor Islands, Florida. identified by parcel identification numbers 13-2227-001-2570.

This item is brought back to the DRB for re-review due to exterior changes made by the applicant during the building permit review process that do not match the DRB-approved plans. Specifically, Sheet A-3.1 does not match the approved design, with doors and windows changed, window sizes altered, and a four (4) foot wide window removed on the first floor. The applicant did not request prior DRB approval for these changes. Staff identified the changes and consulted the DRB Chair, who confirmed that the project must return for review.

1. BACKGROUND/HISTORY

Issue Statement: The applicant, ARMAN CORP, requests Design Review Board (DRB) re-approval for the Site Development Plan for a six (6) unit townhouse complex at 1085 94th Street. This item is brought back to the DRB due to exterior changes made during the building permit review process that deviate from the DRB-approved plans. Staff identified the changes and consulted the DRB Chair, who confirmed that the project must return to the full Board for review.

Recommended Action: Staff recommends that the Design Review Board review the proposed changes and, if found acceptable as submitted or with modifications, approve the Site Development Plan subject to the staff recommended conditions listed herein, or any additional changes or conditions felt to be necessary by the DRB.

Previous DRB Review & Action:

- **February 13, 2025:** The Development Review Committee (DRC) reviewed the applicant's Site Development Plan application and deferred action to allow the applicant time to address comments from MMPA and Committee members.

- **March 10, 2025:** The DRC reviewed the applicant's revised submittal and approved the Site Development Plan application to allow the applicant to move forward with scheduling their Community meeting and subsequently appearing before the Design Review Board (DRB) for consideration.

Summary of Revisions (Post-Approval Changes Identified During Permit Review)

Subsequently, during the building permit review process, the applicant submitted revised plans that materially altered the approved exterior design without requesting DRB review of these changes. Staff conducted a comparative review of the originally approved plans versus the permit submittal plans.

Element	Approved Design (Dec. 10, 2024)	New Proposed Changes (Permit Submittal)
Doors	As approved	Changed from approved design
Windows	As approved	Sizes changed; locations altered
First Floor Window	4' wide window as approved	4' wide window removed
Sheet A-3.1	Conformed to DRB approval	Does not match DRB approved design

Property Description: The subject property consists of Lot 10, Block 13, "Bay Harbor Island" Subdivision, located at 1085 94th Street. The overall lot area is 11,116 square feet (0.26 acres). The property is zoned RM-2 (Multiple Family District) with a Future Land Use Map designation of Medium-High Density Residential.

Project Description: The proposed project includes:

- Dwelling Units: 6 townhouse units (4 stories each)
- Building Height: 40 +/- feet to main roof deck
- Parking: 12 spaces required (2 per unit); provided within garages and adjacent driveways
- Unit Size: Approximately 3,650 to 3,745 square feet of A/C space per unit

Architectural Design: South Florida Modern with glass/stucco facade. Exterior colors are white with white window frames.

2. ANALYSIS

Project Overview:

This is a re-review of an application for a six (6) unit townhouse development on an 11,116 square-foot site by ARMAN CORP. The applicant returns to the DRB because staff identified material changes made during the permit review process on Sheet A-3.1.

Post-Approval/Permit Review Changes:

The applicant submitted permit plans that deviate from the DRB-approved design. While minor adjustments are typical during permit review, the following changes constitute a material change to the exterior appearance requiring DRB re-approval:

1. Doors: Doors have been changed from the approved design.
2. Windows: Window sizes have been changed from the approved design.
3. Windows: A four (4) foot wide window on the first floor has been removed.
4. Sheet A-3.1: This sheet does not match the DRB-approved design.

Zoning and Land Use:

The property has a Future Land Use Map (FLUM) designation of "M-H Medium-High Density (6-34 DUA)" and is zoned RM-2 (Multiple Family Residential District). The proposed density of 6 units on a 0.26-acre lot is consistent with the maximum allowable base density of 34 DUA. The proposed use and density comply with the Comprehensive Plan and Zoning Code.

Platting:

No re-platting is required for this project.

Neighborhood Compatibility:

The area is predominately by a mixture of older low-rise residential complexes (2-3 stories) and mid-rise residential complexes (5-7 stories). The Town's 2002 Community Vision Master Plan identifies this area as being preferred for multi-family residential complexes (up to 7 stories). The proposed development is deemed generally consistent with the Town's future vision for this area.

Parking Considerations:

Based on 6 Dwelling Units, the Code requires 12 parking spaces (2 per unit). The development provides the required parking within garages and adjacent driveways.

Future Land Use Map Designation:

The property is designated Medium-High Density Residential on the Town's Future Land Use Map. The maximum allowable base density is 34 dwelling units per acre. The proposed 6 DU.

Utilities & Undergrounding:

There are existing overhead power lines/poles/other utilities along the entire east and south property lines. The Town Code requires the removal of existing above-ground utility poles/wiring and undergrounding of all facilities. The applicant should coordinate with FPL. All utility connections from existing facilities to the new building must be installed underground, and underground conduits for future undergrounding of overhead utilities along the northern property line are required.

FPL Transformers / Utility Boxes:

All FPL transformers, backflow preventers, and exposed utility facilities must be substantially screened or hidden with landscaping or fences. The FPL transformers cannot be placed in the 10 feet landscape buffer.

Conclusion:

The applicant, ARMAN CORP, made changes to a previously approved design during permit review without requesting DRB re-approval. Staff identified these changes on Sheet A-3.1 (doors, windows, window sizes, removal of a 4' wide window on the first floor) and consulted the DRB Chair, who confirmed the project must return for review. Staff finds that the project may be approved subject to the conditions outlined below

Applicable Code Sections:

The following sections of the Town's Land Development and Zoning Code are applicable to this proposal:

- Section 23-3 (Use Regulations for RD Single-Family District)
- Section 23-9 (Minimum Size of Living Units)
- Section 23-10 (Minimum Size of Building Lot)
- Section 23-11(A) (Land Development Regulations for RD Single-Family Areas)
- Section 23-12 (Land Development Regulations - General Provisions)
- Section 23-16 (Minimum Landscape Standards)

All proposed developments must comply with the Town's current codes and applicable ordinances.

Design Review Board Review Criteria (Section 5-23.1):

In accordance with Section 5-23.1, the Design Review Board shall review and approve projects based on the following:

1. Conformance with good design principles and the aesthetic vision of the Town.
2. Avoidance of inferior design that may diminish the neighborhood's visual appeal.
3. Use of quality architectural features and materials with cohesive character.
4. Compatibility with surrounding properties and respect for existing view corridors.
5. Cohesive landscaping and hardscaping that enhance the property and streetscape.
6. Adequate buffering from public views, adjacent properties, and sidewalks.
7. Compliance with applicable Town Code standards.
8. Harmony with surrounding development in terms of:
 - a. Site layout and orientation
 - b. Relationship to open space and adjacent buildings
 - c. Massing, height, and architectural style
 - d. Material durability and coastal environment resilience

- e. Landscape sustainability and irrigation
- f. Appropriate lighting, signage, and architectural graphics.

3. RECOMMENDATION

Staff recommends that the Design Review Board review the application at its discretion and evaluate the proposed townhouse development located at 1085 94th Street.

Staff recommend approval with the following conditions:

1. **Plan Set Compliance:** Approval is based on the project description and plans as last revised. Any substantial revisions shall be reviewed by staff and may require re-approval by the DRB.
2. **Street Tree Requirements:** The proposed Spanish Stopper tree does not meet the minimum height requirements for street trees. Pursuant to Code requirements, all street trees shall have a minimum overall height of fifteen (15) feet, with at least six (6) feet of clear trunk before branching, and a minimum caliper of two and one-half (2½) inches at the time of planting. Street trees shall also comply with the Miami-Dade County minimum spacing criteria of thirty-five (35) feet average separation and shall not exceed forty (40) feet on center. Please revise accordingly to meet the Town's landscaping and street tree requirements.
3. **Ground-Level Open Green Space:** Provide a detailed breakdown and calculations for the required ground-level open green space. A minimum of twenty percent (20%) open green space is required. Staff sign-off cannot be completed until this information is provided and verified.
4. **Rooftop Green Space:** Provide the square footage calculations for the proposed rooftop green space.
5. **Separate Permits Required:** Separate permits are required for demolition, fence, retaining wall, pool, and any mechanical equipment. Please coordinate with the Building Department for all applicable permit requirements.
6. **Zoning Compliance:** All construction must comply with the RM-2 zoning district development standards and Town Code requirements, including height, setbacks, lot coverage, and FAR. Final zoning verification shall occur at the building permit stage.
7. **Outdoor Lighting Plan:** The preliminary Photometric Lighting Plan shows general compliance with the Town's Exterior Lighting Code requirements found in Sec. 23-19. At the time of building permit review, the Town staff will ensure the final lighting plan complies with the Code footcandle limitations/requirements.
8. **Unity of Title:** Prior to the issuance of building permits, a Unity of Title document to tie the multiple lots (Lots 3, 4, and 5) together as one legal building site must be prepared and recorded, after review and approval by the Town Attorney.
9. **FPL Transformer Screening:** All FPL transformers, backflow preventers, and exposed utility facilities must be substantially screened/hidden with landscaping, or fences and placement is prohibited in the 10-foot landscape buffer.
10. **Underground Utilities:** The Town Code requires developers to remove existing above-ground utility poles/wiring and underground all facilities. All utility

- connections from existing utility facilities to this new building must be installed underground. In addition, underground conduits for future undergrounding of overhead utilities along the northern property line are required.
11. **Fire Department Approval:** Miami-Dade County Fire Department approval of the final staging areas shown on the plans is required at the time of building permit review. Any significant changes required by the M-D Fire Department subsequent to the Town's site plan approval may cause the plans to be re-submitted/reapproved by the DRC/DRB.
 12. **Fees & Concurrency:** Miami-Dade & Town Park impact fees must be paid/satisfied at the time of building permits. School concurrency must be addressed with Miami-Dade County School Board staff; if mitigation is required, an agreement/payment must be finalized prior to the issuance of building permits.
 13. **Flood Control and Drainage Compliance:** The finished grade of the lot may not be increased above the base flood elevation (BFE) prescribed by United States, state or county flood-control laws or regulations. All yards shall be sloped to drain to the street drainage gutter, seawall or on-site retention/discharge system, and shall not drain into adjacent property. Finished grades at adjoining lots shall be equal unless the Town Council approves a retaining wall system. All swale areas within adjoining roadways, adjoining lots, and yard areas adjacent to seawalls shall be designed to provide retention for sediments prior to discharge to meet NPDES permit requirements.
 14. **Changes Require Further Review:** Any changes to the proposed architectural design, site layout, or approved materials must be returned to the DRB for further review and approval.
 15. Any previous conditions from the March 10, 2025, meeting shall remain in full force and effect, unless explicitly amended or superseded by the conditions herein.

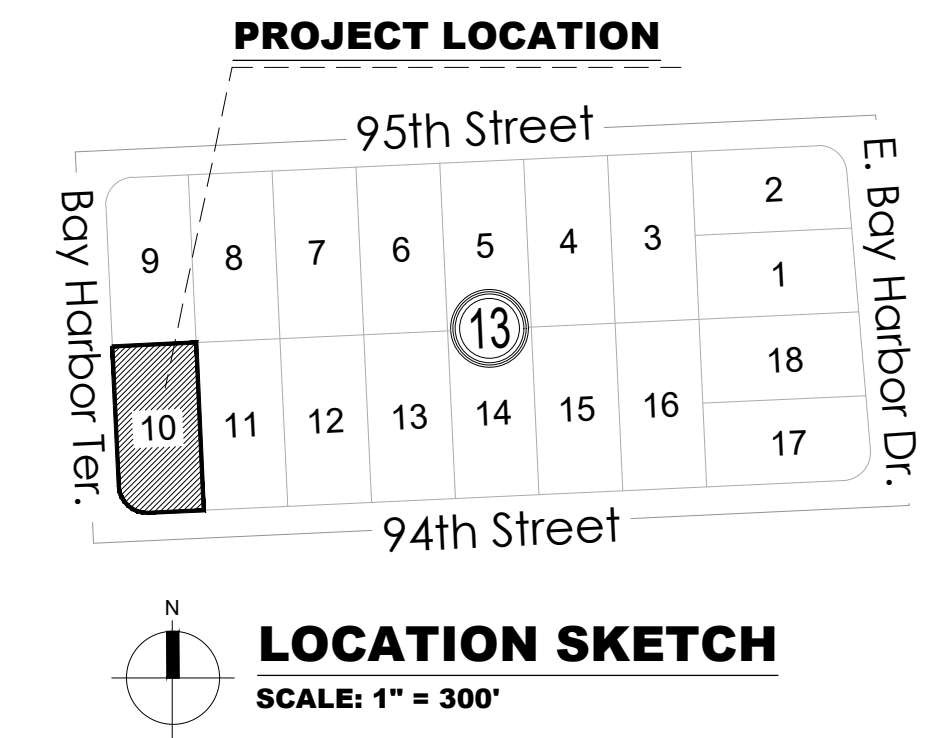
PROPOSED NEW 5 STORY BUILDING FOR:
1085 TOWNHOUSES
 1085 94th St, Bay Harbor Islands, FL 33154

DRAWING INDEX		
ARCHITECTURE SURVEY A-0 COVER A-0A AERIAL AND CONTEXT RENDERINGS A-0B RENDERINGS A-1 SITE PLAN / SITE DATA / LOCATION MAP A-1A LAND USE MAP A-2 FIRST FLOOR PLAN A-2A SECOND FLOOR PLAN A-2B THIRD FLOOR PLAN A-2C FOURTH FLOOR PLAN A-2D FIFTH FLOOR PLAN A-3 EXTERIOR ELEVATIONS A-4 BUILDING SECTION A-5 MATERIAL SAMPLES	CIVIL C-1 PAVEMENT MARKING AND SIGNAGE C-2 OVERALL PAYMENT, GRADING, DRAINAGE PHOTOMETRICS PH-1 PARKING NORMAL POWER PH-2 ROOFTOP NORMAL POWER	LANDSCAPE L-1 LANDSCAPE PLAN L-2 ROOF LANDSCAPE PLAN L-3 LANDSCAPE DETAILS L-4 PLANTING NOTES <div style="border: 1px solid black; border-radius: 50%; padding: 5px; display: inline-block;"> IRR-1 IRRIGATION PLAN IRR-2 ROOF IRRIGATION PLAN </div>



BLITSTEIN DESIGN Architects
 285 Sevilla Avenue
 Coral Gables, FL 33134
 Ph : (305) 444-4433
 Fax : (305) 444-0181

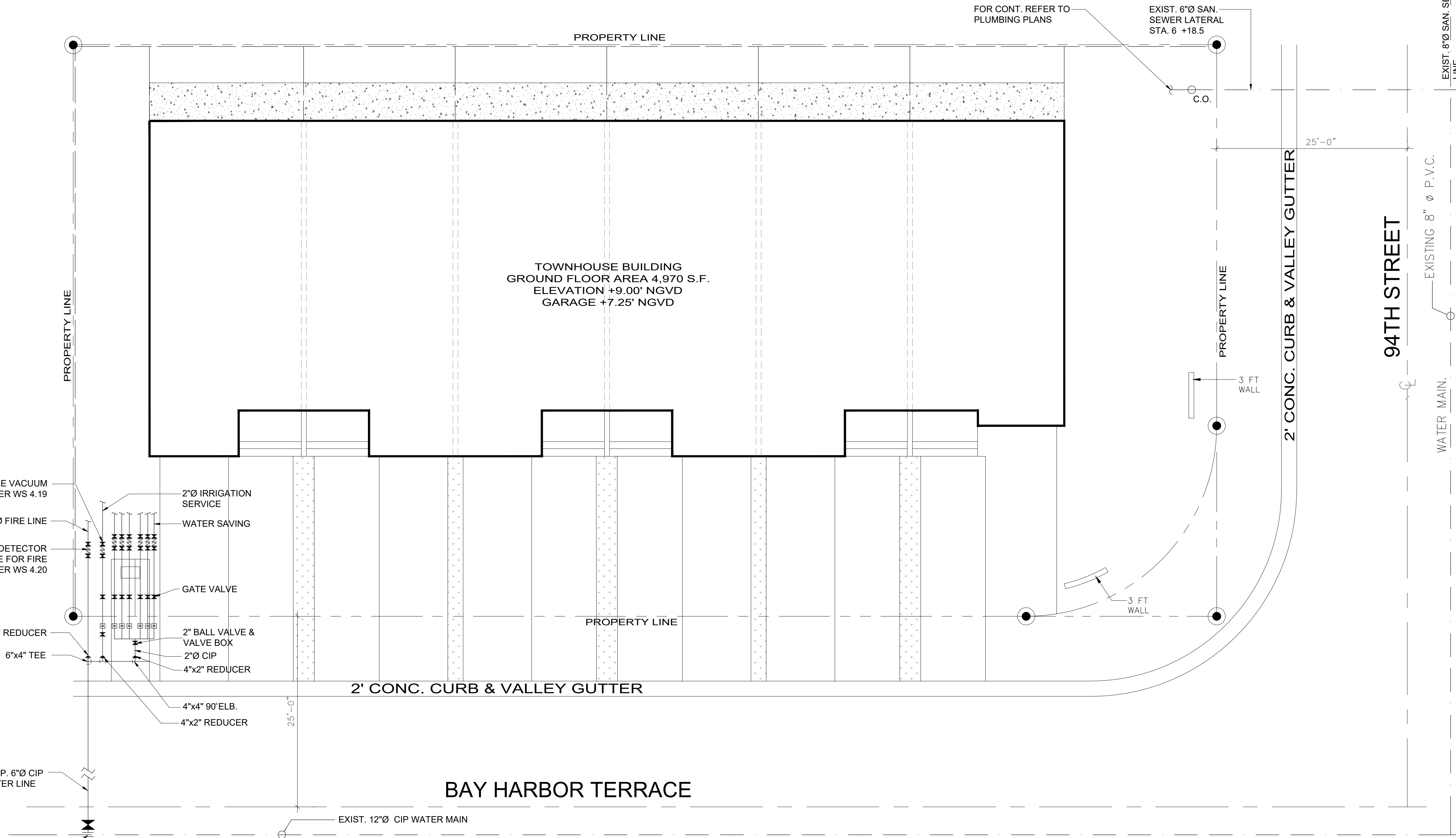
PETER BLITSTEIN
 LIC. No. - AR0007570



LEGAL DESCRIPTION
 LOT 10, BLOCK 13 OF BAY HARBOR ISLAND, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

- RER-DERM WATER-SEWER GENERAL NOTES**
- A horizontal distance of at least 6 feet, and preferably 10 feet (outside to outside), shall be maintained between gravity or pressure sewer pipes and water pipes. The minimum horizontal separation can be reduced to 3 feet for vacuum-type sewers or for gravity sewers where the top of the sewer pipe is at least 6 inches below the bottom of the water pipe. When the above specified horizontal distance criteria cannot be met due to an existing underground facility conflict, smaller separations are allowed if one of the following is met:
 - The sewer pipes are designed and constructed equal to the water pipe and pressure tested at 150 psi.
 - The sewer is encased in a watertight carrier pipe or concrete.
 - The top of the sewer is at least 18 inches below the bottom of the water pipe.
 - A vertical distance of at least 12 inches (outside to outside) shall be maintained between any water and sewer mains with sewer pipes preferably crossing under water mains. The minimum vertical separation can be reduced to 6 inches for vacuum-type sewers or for gravity sewers where the sewer pipe is below the water main. The crossing shall be arranged so that all water main joints are at least 6 feet from all joints in gravity and pressure sewer pipes. This distance can be reduced to 3 feet for vacuum-type sewers. When the above specified vertical distance criteria cannot be met due to an existing underground facility conflict, smaller separations are allowed if one of the following is met:
 - The sewer pipes are designed and constructed equal to the water pipe and pressure tested at 150 psi.
 - The sewer is encased in a watertight carrier pipe or concrete.
 - Air release valves shall be provided at high points of new force main sanitary sewers.
 - Gravity sanitary sewers constructed within a public wellfield protection area shall be C-900 PVC or Ductile Iron Pipe. The maximum allowable exfiltration rate of gravity sanitary sewers constructed in a public wellfield protection area shall be:
 - Residential Land Uses. Fifty (50) gallons per inch pipe diameter per mile per day, based on a minimum two (2) hour test having a minimum of two (2) feet of positive head above the crown of the pipe.
 - Non-Residential Land Uses. Twenty (20) gallons per inch pipe diameter per mile per day, based on a minimum two (2) hour test having a minimum of two (2) feet of positive head above the crown of the pipe.
 - Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed.
 - The maximum allowable exfiltration rate of gravity sanitary sewers constructed outside a public wellfield protection area shall be one hundred (100) gallons per inch pipe diameter per mile per day, based on a minimum two (2) hour test having a minimum of two (2) feet of positive head above the crown of the pipe. Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed.
 - Force main sanitary sewers constructed within a public wellfield protection area shall be ductile iron, C-900 PVC, HDPE or reinforced concrete pressure sewer pipes.
 - Ductile Iron, C-900 PVC, HDPE and PVC Pipe. The allowable leakage rate specified in American Water Works Association Standard (AWWAS C600-82 at a test pressure of 100 psi for a duration of not less than two (2) hours.
 - Reinforced Concrete Pressure Pipe. Half (1/2) the allowable leakage rate specified in AWWA C600-82 at a test pressure of 100 psi for a duration of not less than two (2) hours.
 - Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed.
 - The contractor shall verify nature, depth, and character of existing underground utilities prior to start of construction.
 - In no case shall a contractor install utility pipes, conduits, cables, etc. in the same trench above an existing water or sewer pipe except where they cross.
 - If any area of the work site is found to contain buried solid waste and/or ground or ground water contamination, the following shall apply:
 - All work in the area shall follow all applicable safety requirements (e.g., OSHA, etc.) and notification must be provided to the appropriate agencies.
 - Immediately notify the Environmental Monitoring and Restoration Division (EMRD). The EMRD can be contacted at (305) 372-6700.
 - If contaminated soils and/or buried solid waste material is excavated during construction, then they require proper handling and disposal in accordance with the local, state and federal regulations. Be advised that the landfill owner/operator is the final authority on disposal and may have requirements beyond those provided by herein. If disposal within a Miami-Dade County owned landfill (Class I landfill) is appropriate and selected, please contact the Miami-Dade County Department of Solid Waste Management at (305) 594-6666 for information.
 - The reuse of contaminated soils that are not returned to the original excavation requires prior approval of a Soil Management Plan from the Environmental Monitoring and Restoration Division. The EMRD can be contacted at (305) 372-6700.
 - Pumps must comply with the National Electrical Code (NEC) requirements for Class I, Group D, Division 1 locations (Explosion Proof).
 - The contractor is advised that a Tree Removal/Relocation Permit may be required prior to the removal and/or relocation of tree resources. Prior to removing or relocating any trees, the Contractor shall notify the Tree and Forest Resources Section of DERM at (305) 372-6574 or via e-mail at: tree@miamidade.gov, or contact the municipality with tree ordinance jurisdiction to obtain any required permits. Those trees not interfering with the construction shall be protected in place in accordance with the provisions of Section 24-49.5 of the Miami-Dade Code.
 - Please note that the demolition, removal, and/or disturbance of existing underground utilities that contain asbestos-cement pipes (ACP) are subject to the provisions of 40 CFR-61 Subpart M. Therefore, pursuant to the provisions of 40 CFR-61-145, a NOTICE OF DEMOLITION OR ASBESTOS RENOVATION form must be filed with the Air Quality Management Division (AQMD) or DERM, at least ten (10) working days prior to starting any work. Note that the backfilling and burial of crushed ACP would cause these locations to be considered active disposal sites and subject to 40 CFR-61.154, and 40 CFR-61.153 a year after project completion. Existing standard operating procedures, as well as applicable federal, state and local regulatory criteria, must be followed and implemented to minimize any potential release of fugitive emissions, especially during project construction activities. The AQMD can be contacted via email at: asbestos@miamidade.gov or 305-372-6925.

Rev. 4/30/2018
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BAY HARBOR TERRACE

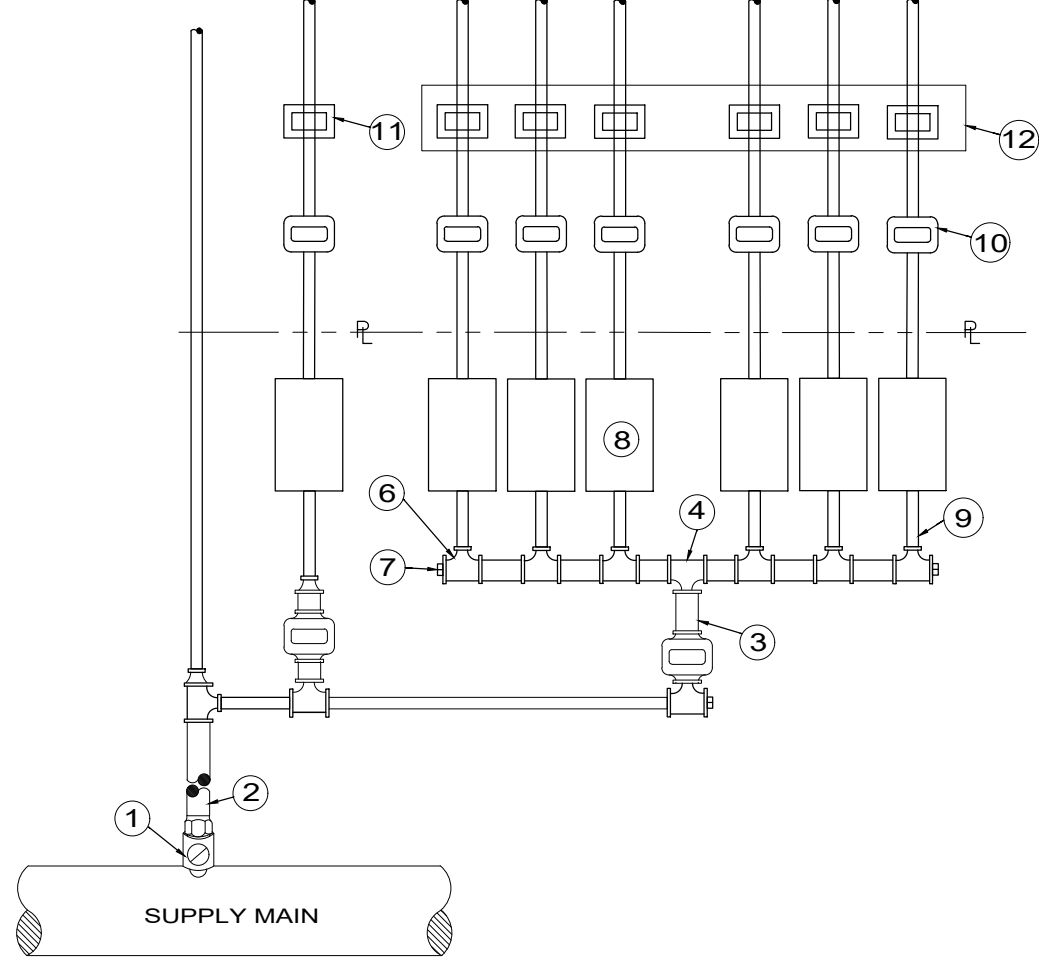
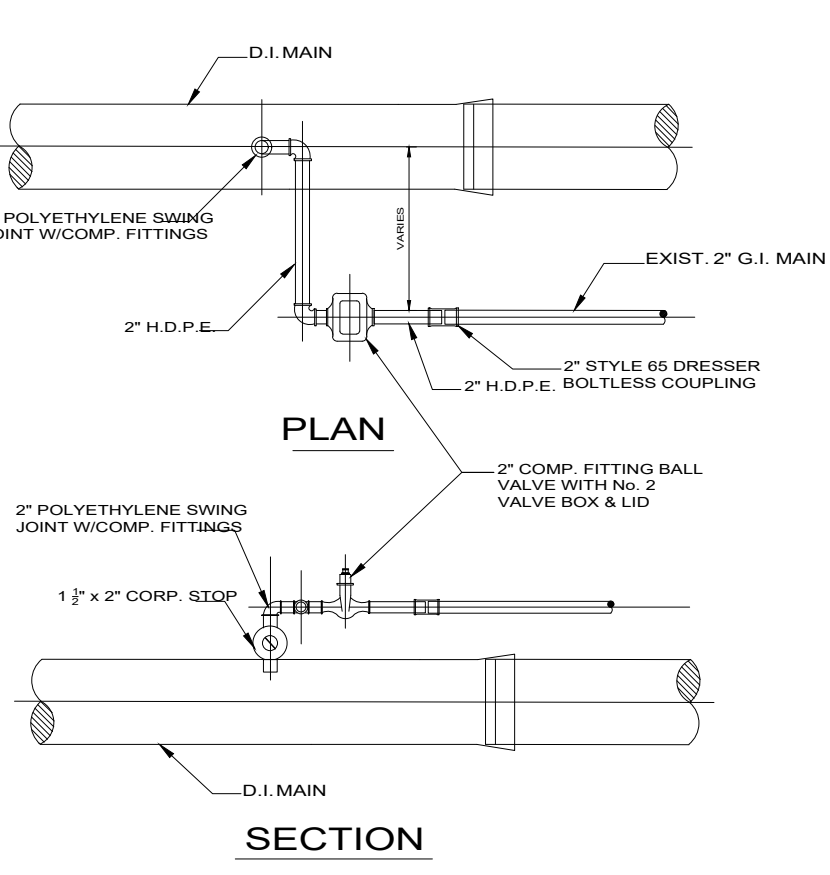
WATER AND SEWER PLAN

NOTE: CONTRACTOR TO VERIFY THE LOCATION AND CONDITION OF EXISTING 2"Ø MAIN WATER SUPPLY

HEALTH DEPARTMENT NOTES:
 (Not Part of MDWASD Notes nor Approval)

WATER MAIN HORIZONTAL SEPARATIONS
 SEPARATIONS SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE BETWEEN WATER MAINS AND STORM SEWERS, WASTEWATER FORCE MAINS, OR RECLAIMED WATER LINES. SHALL BE 3 FT. MINIMUM.
 BETWEEN WATER MAINS AND VACUUM TYPE SEWER PREFERABLY 10 FT. AND AT LEAST 3 FT. MINIMUM.
 GRAVITY OR PRESSURE SANITARY SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER PREFERABLY 10 FT. AND AT LEAST 6 FT. MAY BE REDUCED TO 3 FT. WHERE BOTTOM OF WATER MAINS IS AT LEAST 6 INCHES ABOVE TOP OF SEWER.
 10 FT. TO ANY PART OF ON-SITE SEWER TREATMENT OR DISPOSAL SYSTEM.

WATER MAIN HORIZONTAL SEPARATIONS
 SEPARATIONS BETWEEN WATER MAINS AND GRAVITY SEWER, VACUUM TYPE SEWER, OR STORM SEWERS, TO BE PREFERABLY 12 INCHES, OR AT LEAST 6 INCHES ABOVE, OR AT LEAST 12 INCHES IF BELOW.*
 PRESSURE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR RECLAIMED WATER, AT LEAST 12 INCHES ABOVE OR BELOW.*
 *NOTE: CENTER 1-FULL LENGTH OF WATER MAIN PIPE AT CROSSINGS, ALTERNATIVELY ARRANGE PIPES SO JOINTS ARE AT LEAST 3 FT. FROM JOINTS IN VACUUM, STORM OR STORM FORCE MAINS, AT LEAST 6 FEET FROM JOINTS IN GRAVITY OR PRESSURE SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER.



- LEGEND:**
- EXISTING CORPORATION STOP (NOTES 1& 2 APPLIES)
 - EXISTING HEADER SUPPLY -6" PIPE
 - EXISTING 2" BALL VALVE & VALVE BOX
 - 2"x2" POLYETHYLENE TEE
 - HEADER- 2" PIPE
 - 2"x1" TEE
 - 2" POLYETHYLENE PLUG
 - METER BOX - SINGLE SERVICE
 - 1" SERVICE PIPE
 - GATE VALVE
 - 1" Ø DOUBLE DETECTOR CHECK VALVE FOR FIRE LINE PER WS 4.20
 - 12 X 2" Ø DOUBLE DETECTOR CHECK VALVE

NOTES:
 1. MAXIMUM OF 10-5/8" METER OR 5-1" METERS.
 2. FOR LARGER DEMAND SEE WS 4.16 SHEET 2 OF 2.
 3. METERS WILL NOT BE INSTALLED IF THE METER BOXES ARE IN A DRIVING SURFACE.

- NOTES:**
- ALL EXISTING WATER AND FORCE MAINS BEING IMPACTED BY THIS PROJECT, INCLUDING OTHER PROPOSED MAINS AND FITTINGS TO BE RESTRAINED PER GS 2.0.
 - THE FOLLOWING ACTIVITIES ON EXISTING WATER SERVICES AND/OR EXISTING WATER MAINS SUCH AS:
 - CUT AND PLUGS
 - WATER MAIN OFFSETS
 - INTERCONNECTIONS
 - SERVICE INSTALLATIONS / RETIREMENTS / SERVICE TRANSFERS
 - HYDRANT INSTALLATIONS / RETIREMENTS / RELOCATIONS
 - ANY WORK THAT MAY AFFECT THE QUALITY AND/OR QUANTITY OF WASH'S WATER TRANSMISSION AND DISTRIBUTION SYSTEM.
 SHALL BE PERFORMED BY A LICENSED CONTRACTOR UNDER THE SUPERVISION OF WASH LICENSED OPERATOR AND WASH DONATIONS INSPECTOR UNDER THE SCOPE AND JURISDICTION OF THE CONTRACTOR'S RIGHT OF WAY PERMIT PRIOR TO ANY WORK BEING DONE. THE LICENSED CONTRACTOR SHALL COORDINATE WITH THE WASH DONATION INSPECTOR FOR THE SCHEDULING OF LICENSED OPERATOR TO BE PRESENT FOR THE PROPOSED ACTIVITY.
 - MD-WASD DOES NOT PROCESS THE PARTIAL RELEASE OF AN EXISTING EASEMENT. A RELEASE OF THE WHOLE EASEMENT SHOULD BE DONE AND THEN A NEW EASEMENT FOR THE REMAINING PORTION AND/OR ANY ADDITIONAL PORTIONS SHOULD BE RECORDED.
 - PROJECT WITHIN WELLFIELD PROTECTION AREA, GRAVITY SEWER MATERIAL MUST BE PVC C-900 OR DIP.
 - NO STRUCTURES LIKE FENCES AND RELATED FOUNDATION, LIGHT POLES, TREES ETC. SHALL BE PERMITTED INSIDE OF THE M-D WASD'S EASEMENT, INCLUDING WITHIN THE VERTICAL PROJECTIONS THEREOF. EASEMENTS SHALL BE EXCLUSIVELY FOR M-D WASD MAINS. OVERHEAD UTILITIES OR STRUCTURES MAY ONLY CROSS OR BE WITHIN THE VERTICAL PROJECTION OF M-D WASD WATER AND SEWER EASEMENTS IF A MINIMUM OF TWENTY FIVE (25) FEET CLEARANCE IS PROVIDED.
 - METERS WILL NOT BE INSTALLED IF THE METER BOX IS LOCATED ON A DRIVING SURFACE.
 - ALL WATER MAINS WASTEWATER AND STORM SEWER CROSSINGS SEPARATION AND CONFLICTS, SHALL COMPLY WITH GS 1.5.
 - BACKFLOW PREVENTER DEVICE LOCATIONS ARE APPROVED SUBJECT TO BUILDING AND FIRE DEPARTMENT APPROVAL.
 - MD-WASD FORCES SHALL HAVE 24/7 UNRESTRICTED ACCESS TO THE PROPOSED BACKFLOW DEVICES.
 - SCOPE OF WORK TO BE COORDINATED BY DEVELOPER AND CONTRACTOR WITH WASH FIELD INSPECTOR AND WATER DISTRIBUTION TO AVOID ANY WATER SERVICE INTERRUPTION TO THE NEIGHBORING PROPERTIES.
 - ALL WATER MAINS WASTEWATER AND STORM SEWER CROSSINGS, SEPARATION AND CONFLICTS SHALL COMPLY WITH GS A.5.

REMOVAL OF UTILITY LINES IS PROPOSED

- ALL EXISTING UTILITIES BEING REMOVED AND/OR RELOCATED MUST REMAIN ACTIVE AND IN SERVICE UNTIL SUCH TIME WHEN NEW REPLACING UTILITIES HAVE BEEN INSTALLED. IN SERVICE, ACCEPTED BY THE DEPARTMENT AND ALL RELATED SERVICES FROM THE EXISTING MAINS HAVE BEEN TRANSFERRED TO THE NEW ONES BY A LICENSED CONTRACTOR UNDER THE SUPERVISION OF WASH LICENSED OPERATOR AND WASH DONATIONS INSPECTOR UNDER THE SCOPE AND JURISDICTION OF THE CONTRACTOR'S RIGHT-OF-WAY PERMIT AS APPLICABLE.
- ALL WATER AND/OR SEWER FACILITIES LOCATED IN PRIVATE PROPERTY SHALL BE REMOVED AFTER ALL INSTALLED SERVICES FROM THEM HAVE BEEN TRANSFERRED TO THE ALREADY INSTALLED AND IN SERVICE. NEW MAINS, ANY ASSOCIATED EXCLUSIVE EASEMENTS SHALL BE CLOSED AND RELEASED AFTER THE REMOVAL OF THE EXISTING WATER AND/OR SEWER FACILITIES.

1 C-2 **DETAIL PIPELINE SCHEMATIC** SCALE: N.T.S.



02-25-25

GUIDO VAN MEEK, P.E.
 Consulting Engineers and Planners
 12534 NW 11th Lane - Miami, Florida 33182
 Tel: (786) 972-8465 - gvm@meekconsult.com
 State of Florida Reg # 17382

project name

PROPOSED 5 NEW STORY BUILDING FOR:

1085 TOWNHOUSES

1085 94th., Bay Harbor Island, FL 33154

date

November 27, 2024

revisions

drawn by

sheet title

WATER AND SEWER PLAN

sheet number

C-2



AERIAL PERSPECTIVE LOOKING NORTH-EAST



AERIAL PERSPECTIVE LOOKING SOUTH-EAST



STREET VIEW FROM BAY HARBOR TERRACE AND 94TH STREET LOOKING NORTH-EAST



STREET VIEW FROM BAY HARBOR TERRACE AND 94TH STREET LOOKING NORTH-WEST



VIEW FROM INTERCEPTION BETWEEN BAY HARBOR TERRACE AND 94TH STREET LOOKING NORTH-EAST



VIEW 94TH STREET LOOKING NORTH



VIEW FROM BAY HARBOR TERRACE AND 94TH STREET LOOKING SOUTH-EAST



VIEW FROM 94TH STREET LOOKING NORTH-WEST

LEGEND	
SYMBOL	DESCRIPTION
[Solid Grey]	NEW BUILDING
[Dotted Pattern]	LANDSCAPING / LAWN
[Horizontal Lines]	C.W.U. WALLS
[Dashed Line]	MIN 1 HR FIRE RATED WALLS
[Thin Solid Line]	INTERIOR PARTITION WALLS
[Thick Solid Line]	CONCRETE DRIVEWAY
[Stippled Pattern]	CONCRETE
[+1.23]	PROPOSED GRADE ELEVATION N.G.V.D. 1929
[+1.5]	EXISTING GRADE ELEVATION N.G.V.D. 1929

SCOPE OF WORK:
NEW CONSTRUCTION OF MULTIFAMILY RESIDENTIAL DEVELOPMENT

SITE DATA

ZONING	RM-2 / MULTIFAMILY RESIDENTIAL DISTRICT - NON WATERFRONT
FUTURE LAND USE DESIGNATION	MEDIUM - HIGH DENSITY RESIDENTIAL
ADDRESS	1085 94th St, Bay Harbor Islands, FL 33154
FOLIO	13-2227-001-2570
GROSS LOT AREA	11,116 SQ FT = 0.26 ACRES
DENSITY	34 DWELLING UNITS PER ACRE (MAX. 9)
FLOOD ZONE	AE (BASE FLOOD ELEV. = 8'-0" N.G.V.D.)
OCCUPANCY CLASSIFICATION	RESIDENTIAL (GROUP R-2 / 2023 FBC 310.1)
LEGAL DESCRIPTION	BAY HARBOR ISLAND PB 46-5 LOT 10 BLK13 LOT SIZE 75,000 X 150 OR 19390-1314 11 2000 4 COC 24195-4659 01 2006 1 OR 24195-4659 0106 00

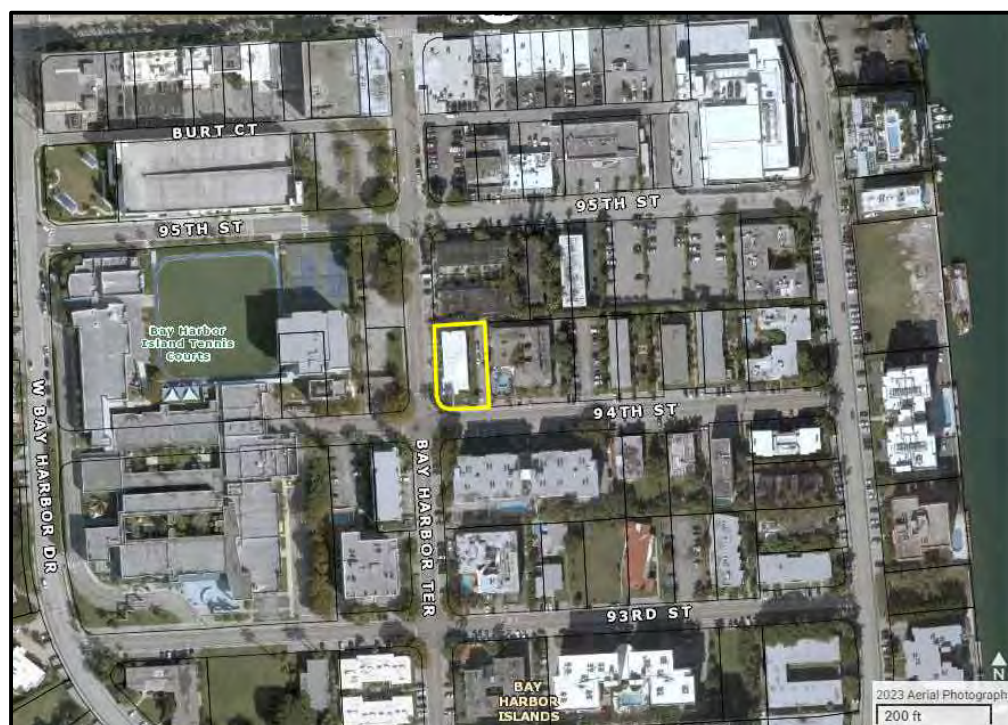
BUILDING HEIGHT	ALLOWED / REQ (FROM BASE FLOOR ELEV.)	PROVIDED
BUILDING HEIGHT	65 FT	50 FT 10 IN
DENSITY (34 DU PER ACRE)	9	6
OPEN SPACE/GREEN (MIN. 20%)	2,804.2	3,100 S.F.

UNITS AREA	GR. FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	ROOF	TOTAL
UNIT #1	846.4	891	891	838.2	234.4	3,501 S.F.
UNIT #2	830.2	874.8	874.8	735.6	265.1	3,580.5 S.F.
UNIT #3	830.2	874.8	874.8	735.6	265.1	3,580.5 S.F.
UNIT #4	830.2	874.8	874.8	735.6	265.1	3,580.5 S.F.
UNIT #5	830.2	874.8	874.8	735.6	265.1	3,580.5 S.F.
UNIT #6	877.8	904.4	904.4	563	221	3,470.6 S.F.
TOTAL AREA						21,293.6 S.F.

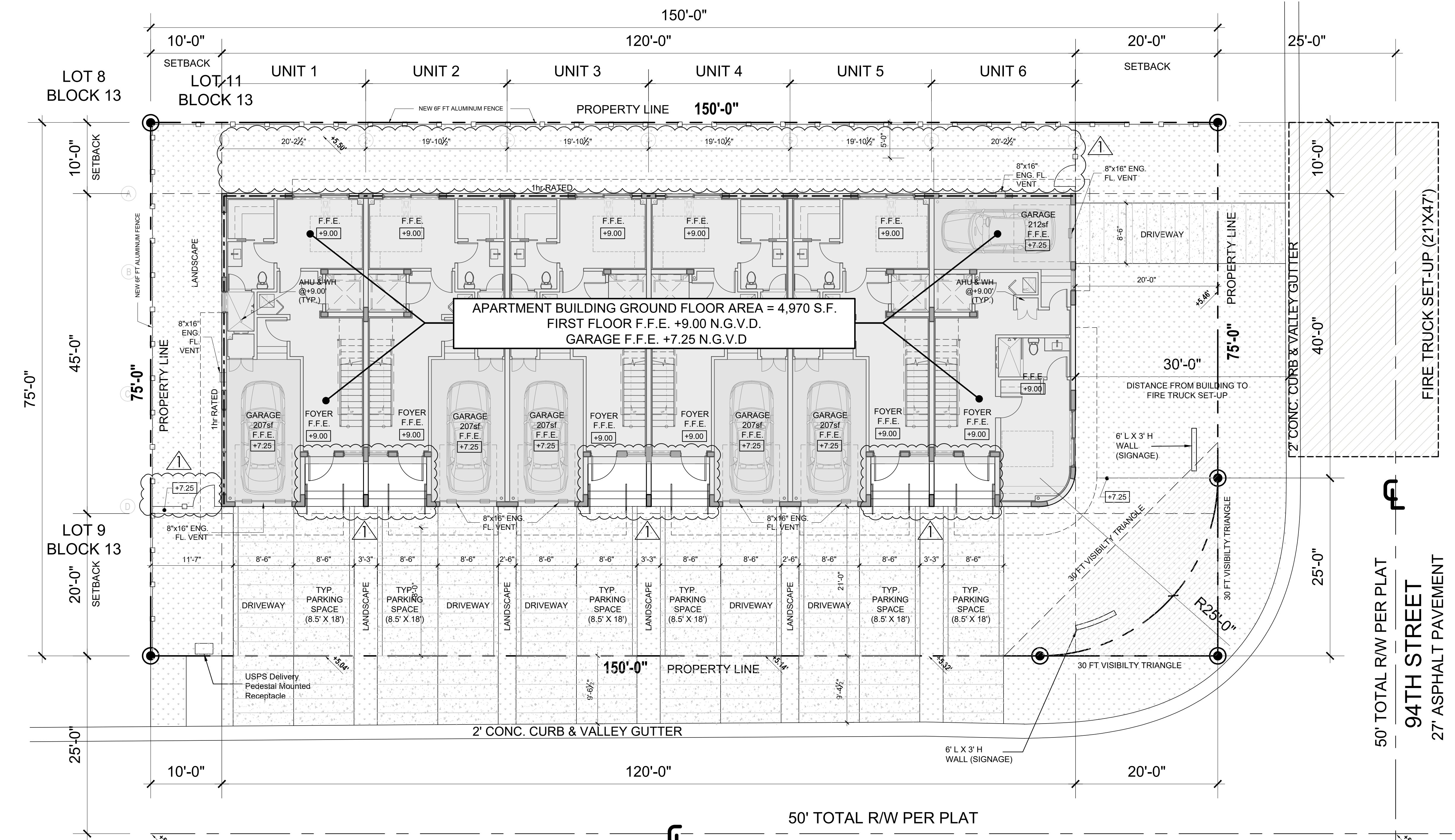
BUILDING AREAS	S.F.
BUILDING (STEPS IN FRONT INCLUDED)	5,211.6 S.F.
DRIVEWAYS	2,042.3 S.F.
BACKYARD	600 S.F.
GREEN AREA	3,258.6 S.F.
MAILBOX	3.5 S.F.
TOTAL AREA	11,116 S.F.

SETBACKS	ALLOWED / REQ	PROVIDED
PRINCIPAL FRONT (BAY HARBOR TE)		
- 30 FT IN HEIGHT	20'-0" MIN	20'-0"
- FROM 30FT TO 45FT IN HEIGHT	25'-0" MIN	25'-0"
SECONDARY FRONT (94TH STREET)		
- 30 FT IN HEIGHT	20'-0" MIN	20'-0"
- FROM 30FT TO 45FT IN HEIGHT	25'-0" MIN	25'-0"
INTERIOR SIDE (NORTH)		
- 30 FT IN HEIGHT	10'-0" MIN	10'-0"
- 40 FT IN HEIGHT (*)	23'-0" MIN	13'-0"
- 48 FT IN HEIGHT (*)	16'-0" MIN	17'-0"
REAR		
- 30 FT IN HEIGHT	10'-0" MIN	10'-0"
- 40 FT IN HEIGHT (*)	13'-0" MIN	13'-0"
- 48 FT IN HEIGHT (*)	16'-0" MIN	20'-8"

PARKING	ALLOWED / REQ	PROVIDED
RESIDENCE (2 SPACES/UNIT)	MIN. 12	12
GUEST PARKING	N/A	N/A



LOCATION MAP



MIN. FRONTAGE GREEN AREA	REQUIRED	PROPOSED
(50% FRONTAGE TOTAL AREA) FRONTAGE AREA = 3,965 S.F.	MIN. 1,982.5 S.F. (50%)	1,998.5 S.F. (50.4%)

PLEASE NOTE:
The project is in a FEMA AE flood zone with BFE of 8 feet. All habitable areas/spaces are designed 1 foot above the min. 8 feet (+9 N.G.V.D. feet.)

FLOOD LEGEND	
CODE REFERENCES	ASCE 24-14 2023 FBC 1612 FEMA (NFIP)
COMMUNITY NAME	TOWN OF BAY HARBOR ISLANDS
COMMUNITY NUMBER	120637
MAP NUMBER	12086C0144L
PANEL No.	0144
FLOOD ZONE	AE
BASE FLOOD ELEVATION	+8.00' NGVD 1929
HIGHEST CROWN OF ROAD	+5.79' NGVD 1929
HIGHEST ADJACENT GRADE	+5.84' NGVD 1929
LOWEST ADJACENT GRADE	+5.33' NGVD 1929
FINISHED FLOOR ELEVATION	(BFE +1) +9.00' NGVD 1929
FINISHED FLOOR ELEVATION - GARAGE	+7.25' NGVD 1929
LOWEST ELEVATION OF EQUIPMENT	(MIN.) +9.00' NGVD 1929

CONSTRUCTION TYPE		BUILDING TO BE FULLY SPRINKLERED W/ AUTOMATIC SP-SYSTEM COMPLYING W/ 2023 FBC SEC. 903.3.1.1	
TYPE IIB	OCCUPANCY TYPE B2	75 FT & 5 ST	51 FT & 5 ST PROVIDED
MAX HEIGHT	2023 FBC 903.2.3	192,000 SF	11,116 SF PROVIDED
MAX ALLOWABLE AREA	48,000 SF	3,580 SF	3,580 SF PROVIDED
MAX AREA per FLOOR			
REQUIRED RATING			
STRUCT. FRAME	0 HR		
BEARING WALLS	0 HR (EXTERIOR) 0 HR (INTERIOR)		
NON BEARING WALLS	0 HR		
FLOORS	0 HR		
ROOF	0 HR		
PROVIDE 1HR SEPARATION BETWEEN UNITS			
PROVIDE 1HR SEPARATION BETWEEN GARAGE AND SLEEPING AREAS			

WET FLOODPROOFING METHOD PROPOSED FOR ENCLOSED GARAGE AREAS BELOW B.F.E. ENGINEERED FLOOD VENTS: SMART-VENT #1540-510 WALL & #1540-524 GARAGE DOOR

200sqft PER VENT
VENTS TO BE INSTALLED @ 12" ABOVE INT. FIN. FLOOR or EXT. FIN. GRADE, WHICHEVER IS HIGHEST

UNITS	#1 TO #5	GARAGE AREA 207sf	2-REQ	2-PROVIDED
UNIT #6		GARAGE AREA 231sf	2-REQ	2-PROVIDED

ALL INTERIOR FINISHES IN THE BUILDING SHALL BE WATER RESISTANT UP TO MIN. (BFE + 1.50') - AND IN ACCORDANCE WITH FEMA TECH BULLETIN-2

WALLS:

- NON PAPER-FACED GYPSUM BOARD
- POLYESTER-EPoxy AND OTHER OIL-BASED PAINT, WATERPROOF TYPES OR LATEX
- CER. OR PORCELAIN TILE WITH MORTAR SET

FLOORS:

- CAST-IN-PLACE CONCRETE
- CER. OR PORCELAIN TILE WITH MORTAR SET

ELEVATOR NOTES:

- IN ACCORDANCE WITH ASCE-24 AND FEMA TECH BULLETIN-4
- THE ELEVATOR MOTORS, ELECTRIC CONTROL PANELS, AND ASSOCIATED EQUIPMENT SHALL BE LOCATED ABOVE (BFE + 1') MIN
- THE ELEVATOR SHALL BE EQUIPPED WITH CONTROLS THAT WILL PREVENT THE CAB FROM DESCENDING INTO FLOOD WATERS BELOW ELEVATION (BFE +1')

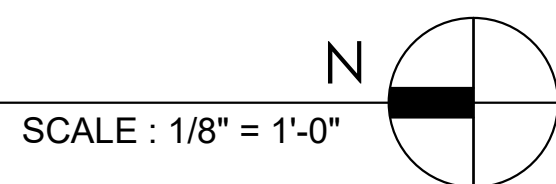
BAY HARBOR TERRACE
20' ASPHALT PAVEMENT

SITE PLAN

PLEASE NOTE:

- 1 HOUR SEPARATION BETWEEN UNITS
- THERE ARE NO COMMON AREAS ELEVATORS ARE PRIVATE WITHIN EACH UNIT

PLEASE NOTE:
EMPTY CONDUIT WILL BE INSTALLED DURING CONSTRUCTION OF NEW BUILDING



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PETER BLITSTEIN
LIC. No. - AR0007570

1085 TOWNHOMES
1085 94th St, Bay Harbor Islands, FL 33154

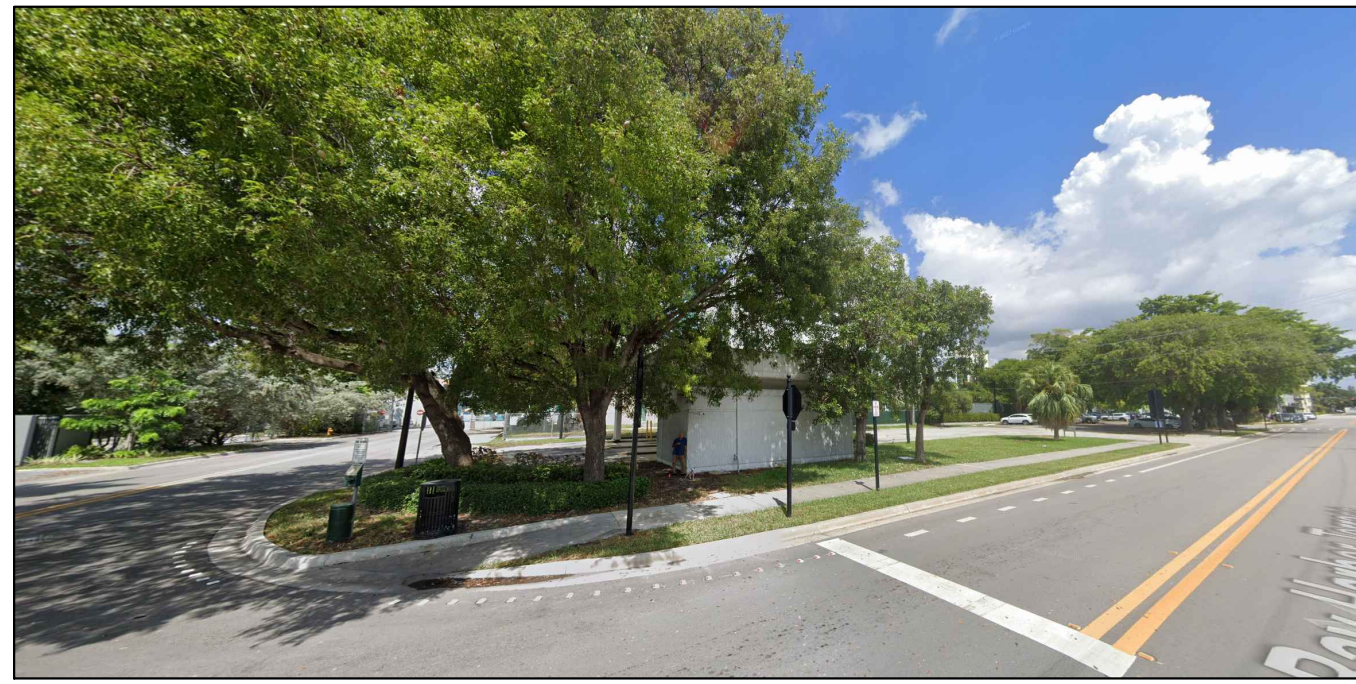
date	2024	revisions
drawn by	F.P.	sheet title

TOWN PLANNER REVIEW
COMMENTS 05-11-26

SITE PLAN,
SITE DATA &
LOCATION PLAN

SCALE: AS SHOWN

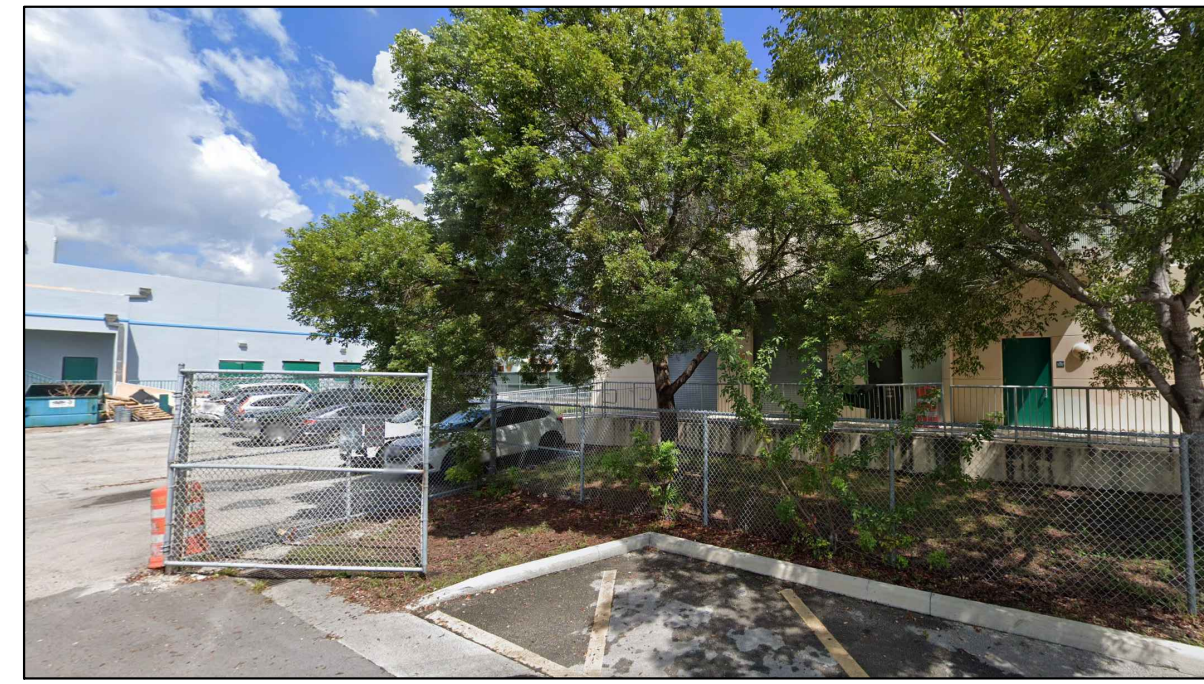
sheet number
A-1



1 RM-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)



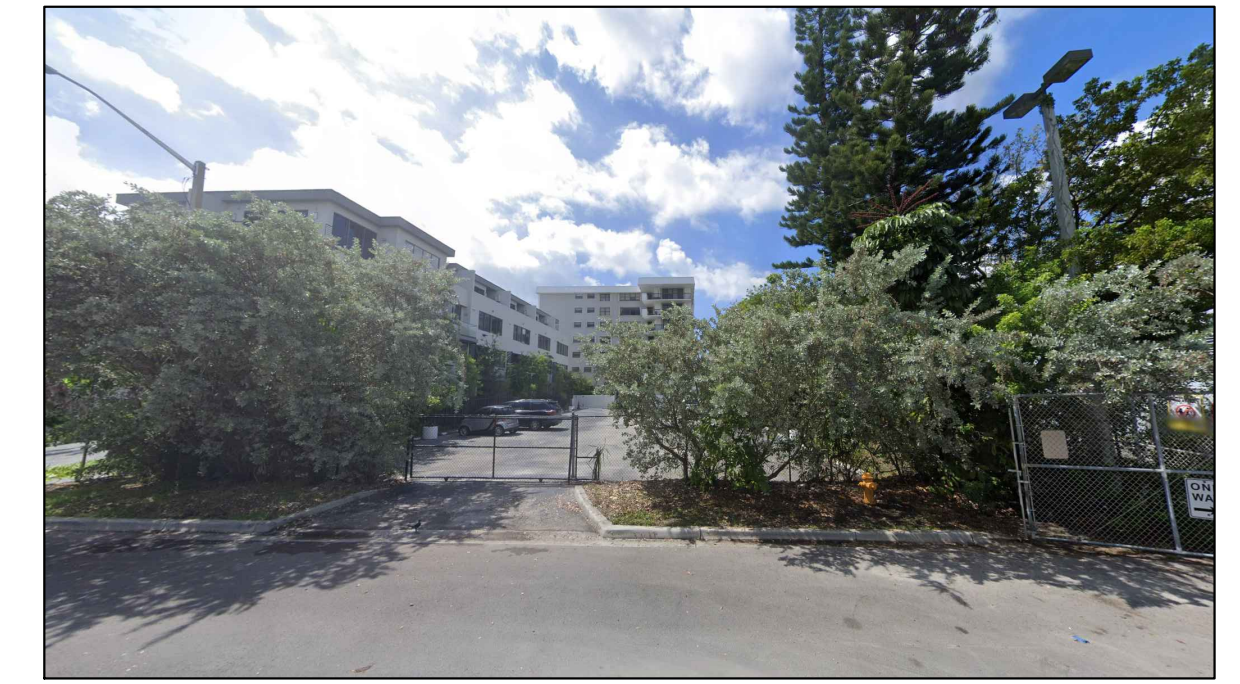
2 RM-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)



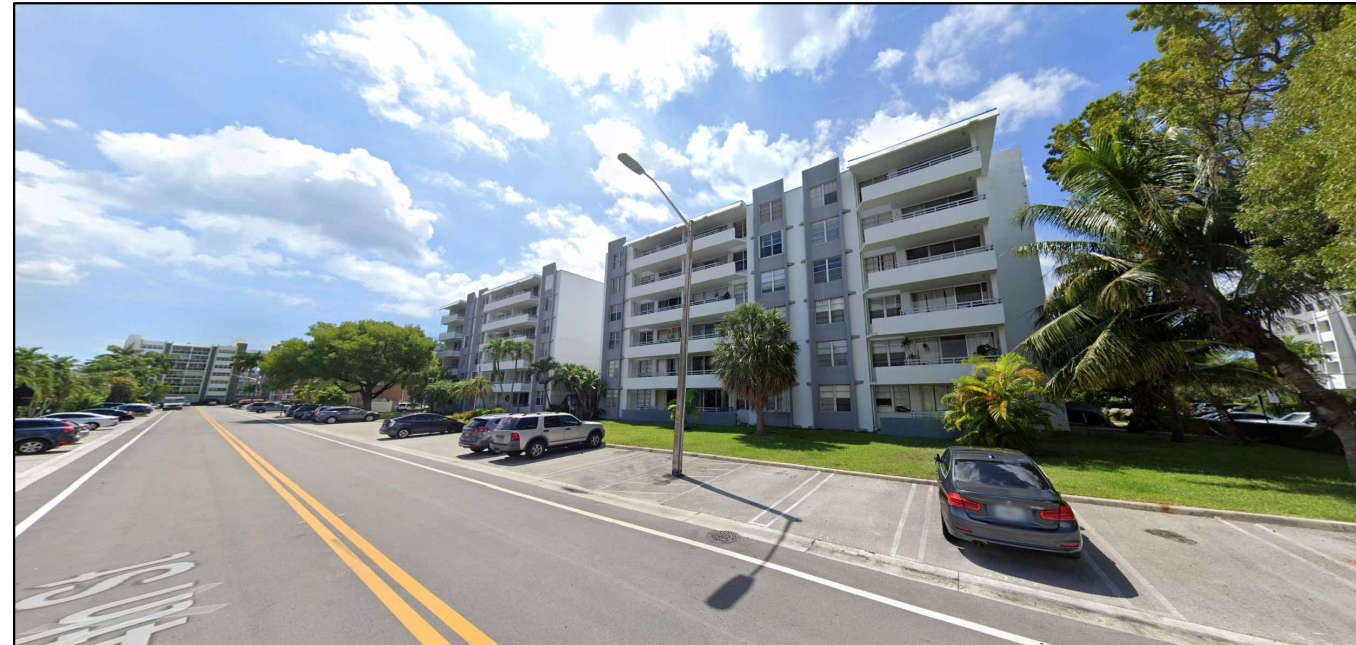
3 RM-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)



4 RM-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)



5 RM-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)



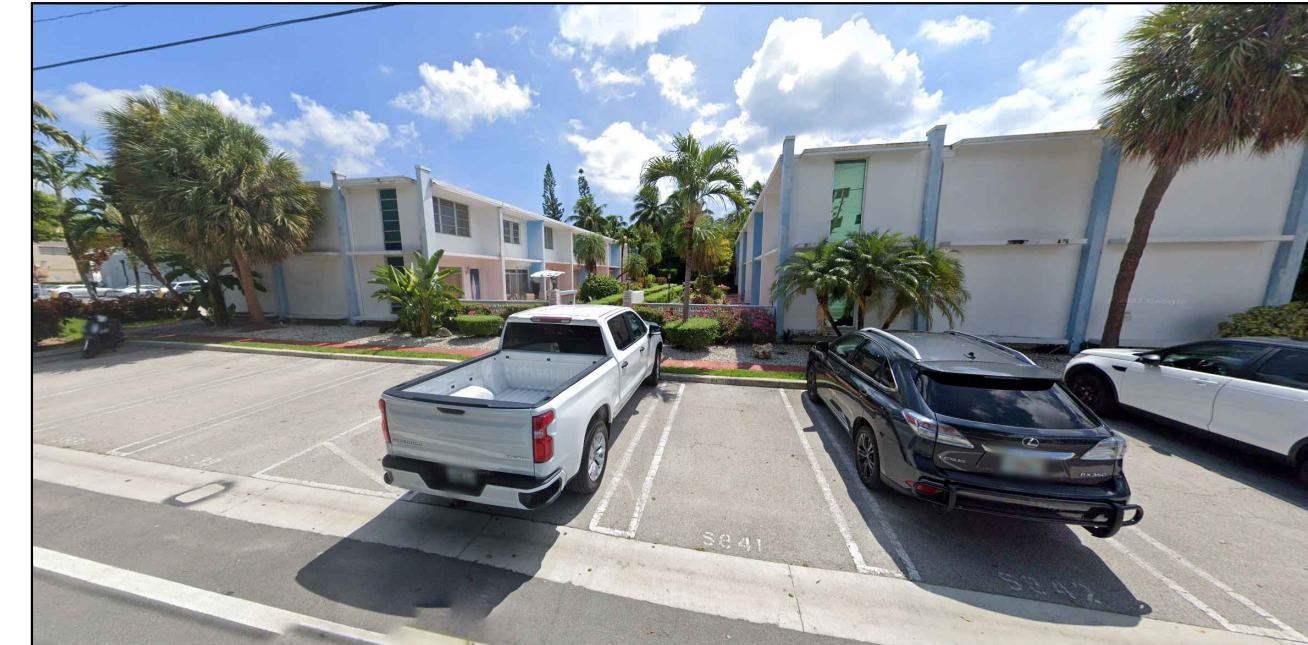
6 RM-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)



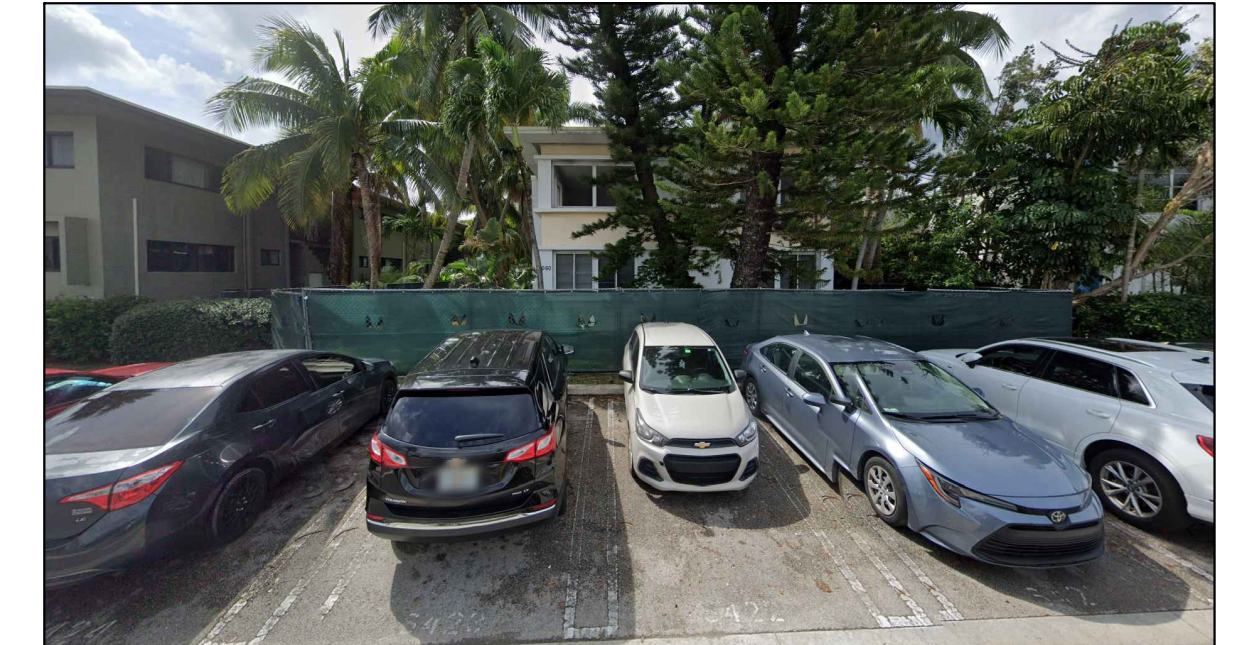
7 RM-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)



8 RM-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)



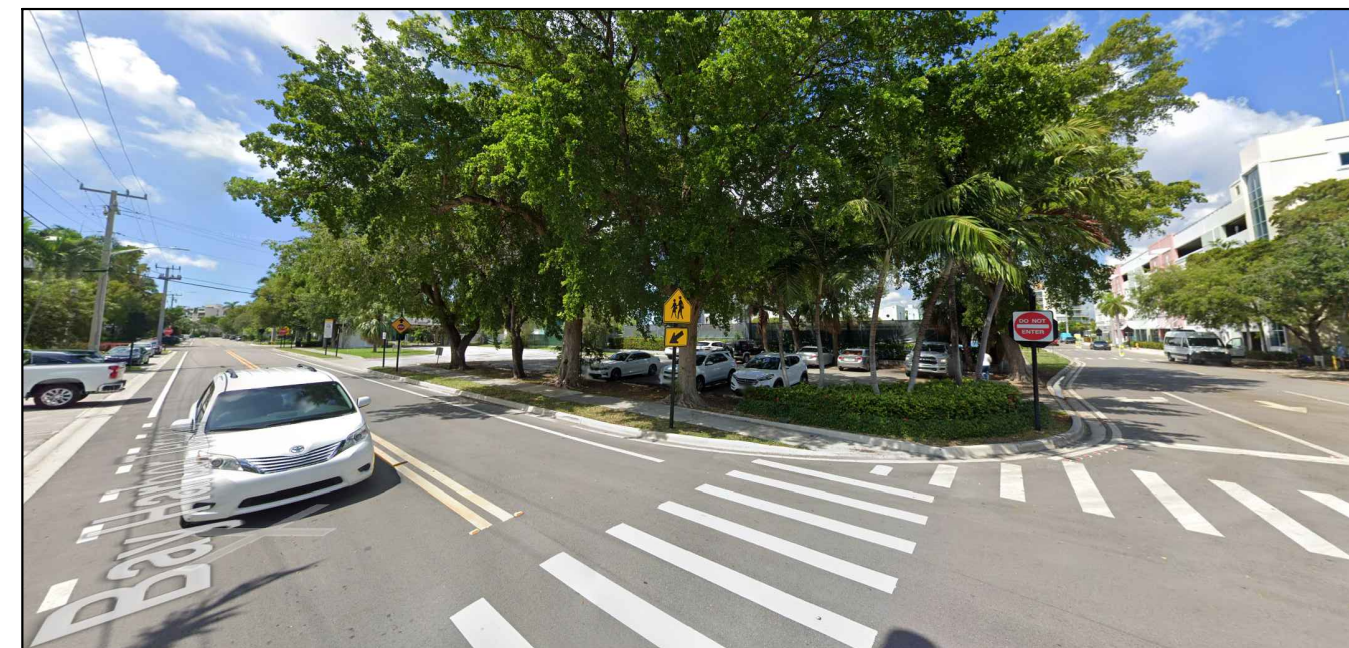
9 RM-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)



10 RM-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)



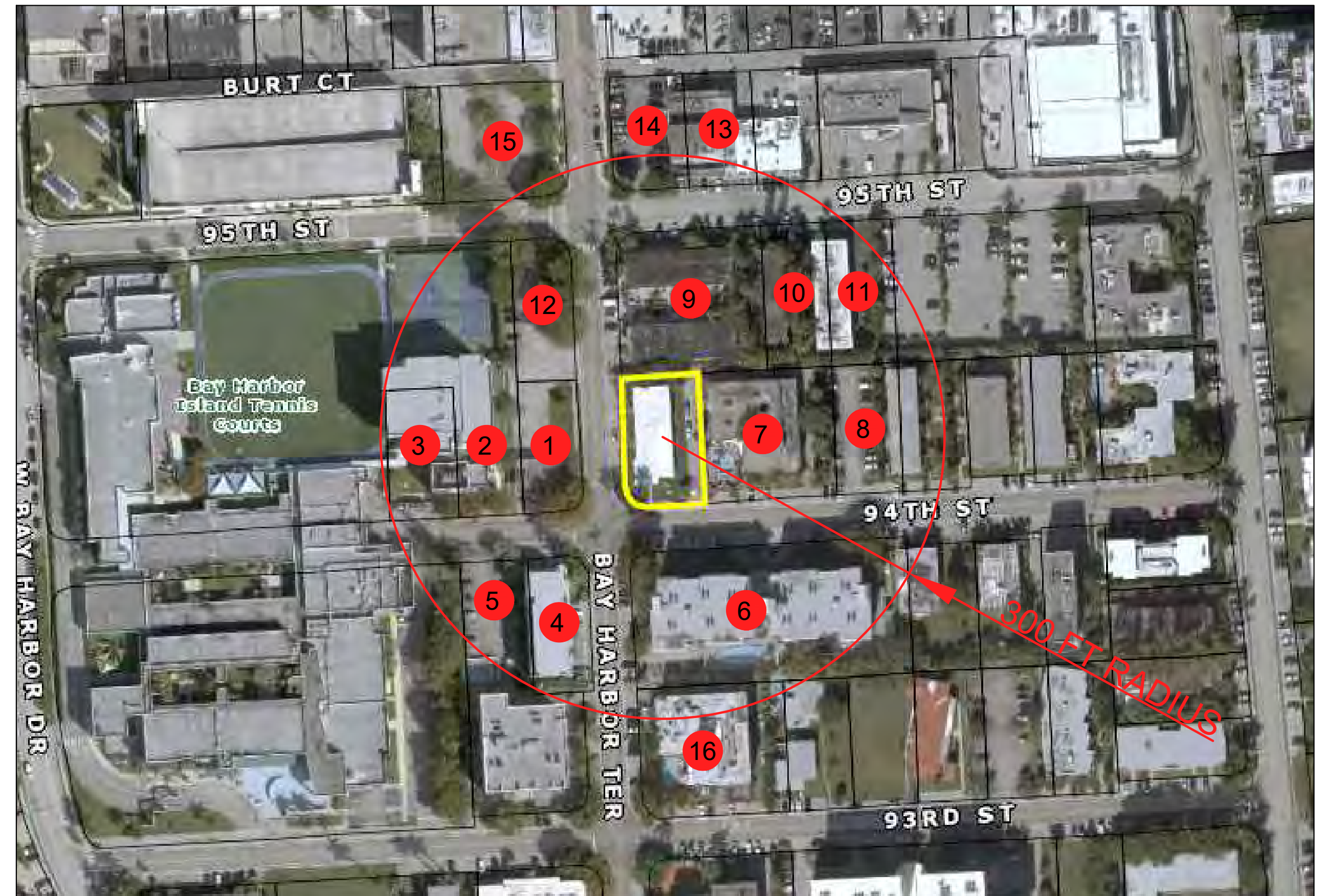
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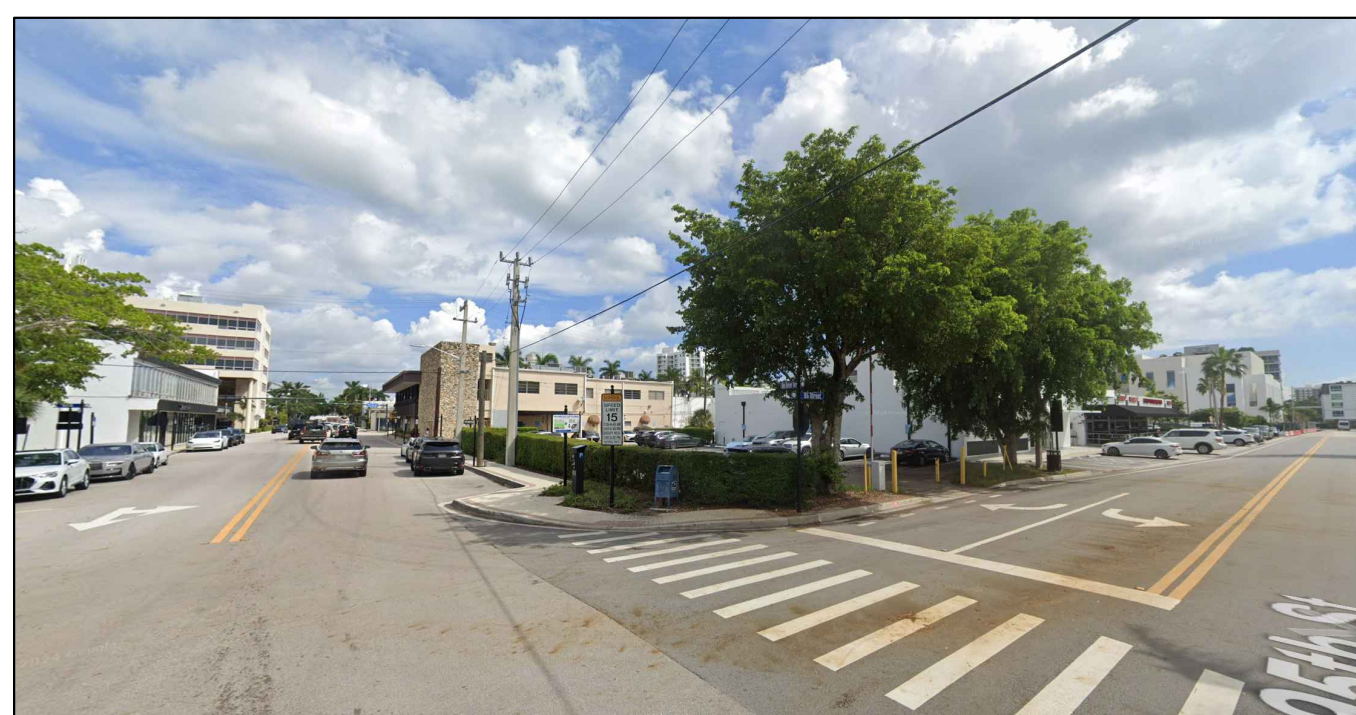
12 RM-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)



13 B-1 (BUSINESS DISTRICT)



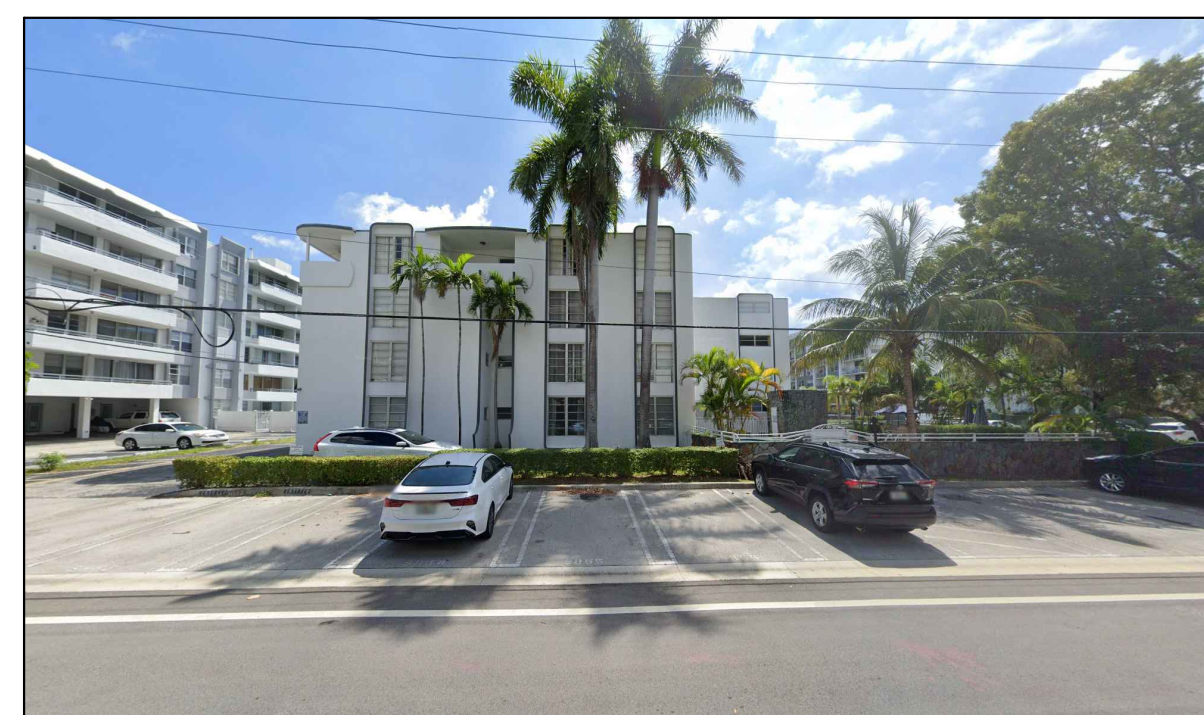
LOCATION MAP



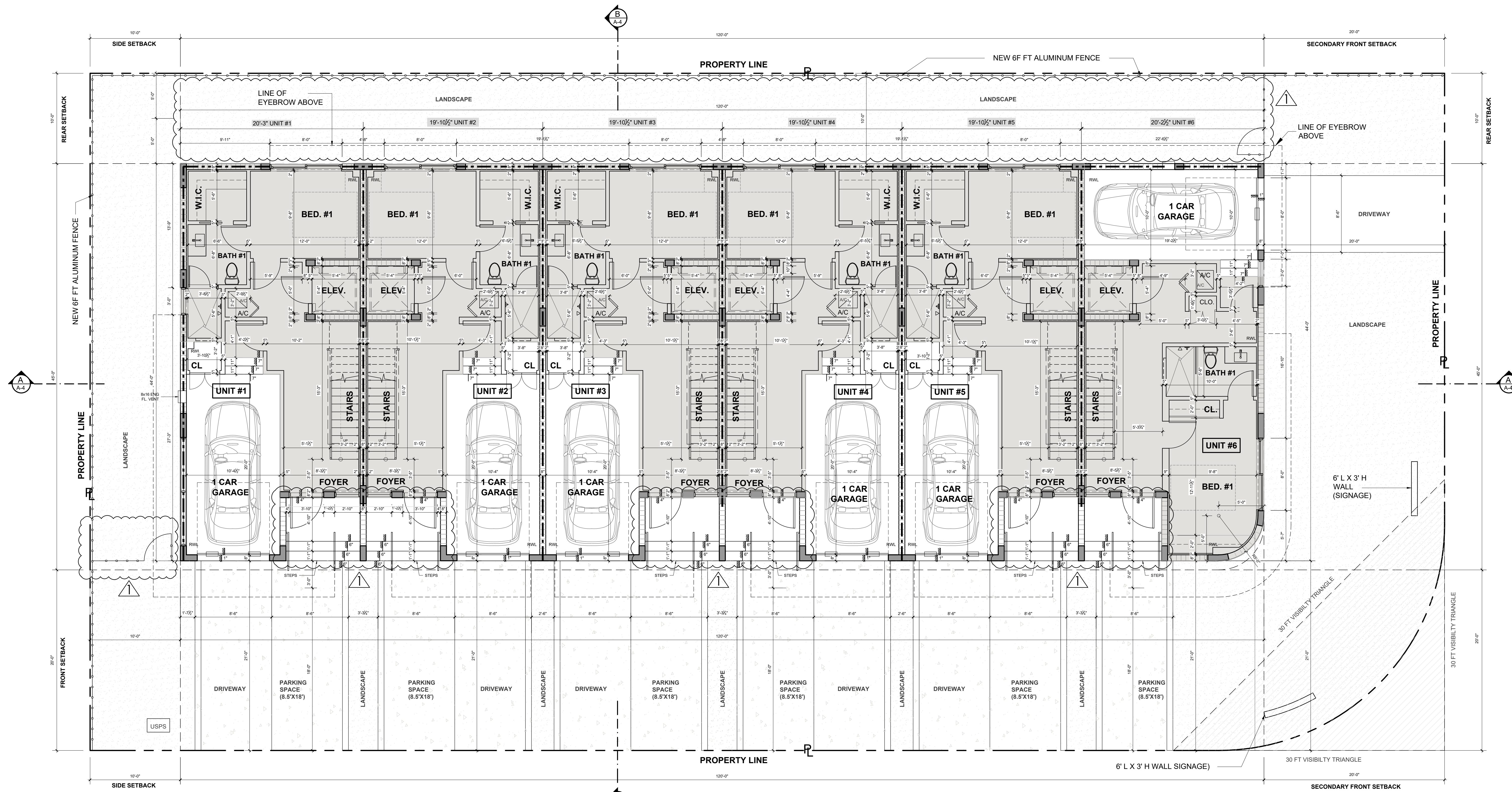
14 B-1 (BUSINESS DISTRICT)



15 B-1 (BUSINESS DISTRICT)



16 RM-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)



FIRST FLOOR PLAN

- F.F.E. +9.00 N.G.V.D.
- F.F.E. +7.25 N.G.V.D.

SCALE: 3/16" = 1'-0"

BLITSTEIN
DESIGN architects

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PETER BLITSTEIN
LIC. No. - AR0007570

project name

1085 TOWNHOMES
1085 94th St, Bay Harbor Islands, FL 33154

date 2024

revisions

TOWN PLANNER REVIEW
COMMENTS 05-11-26

drawn by

F.P.

sheet title

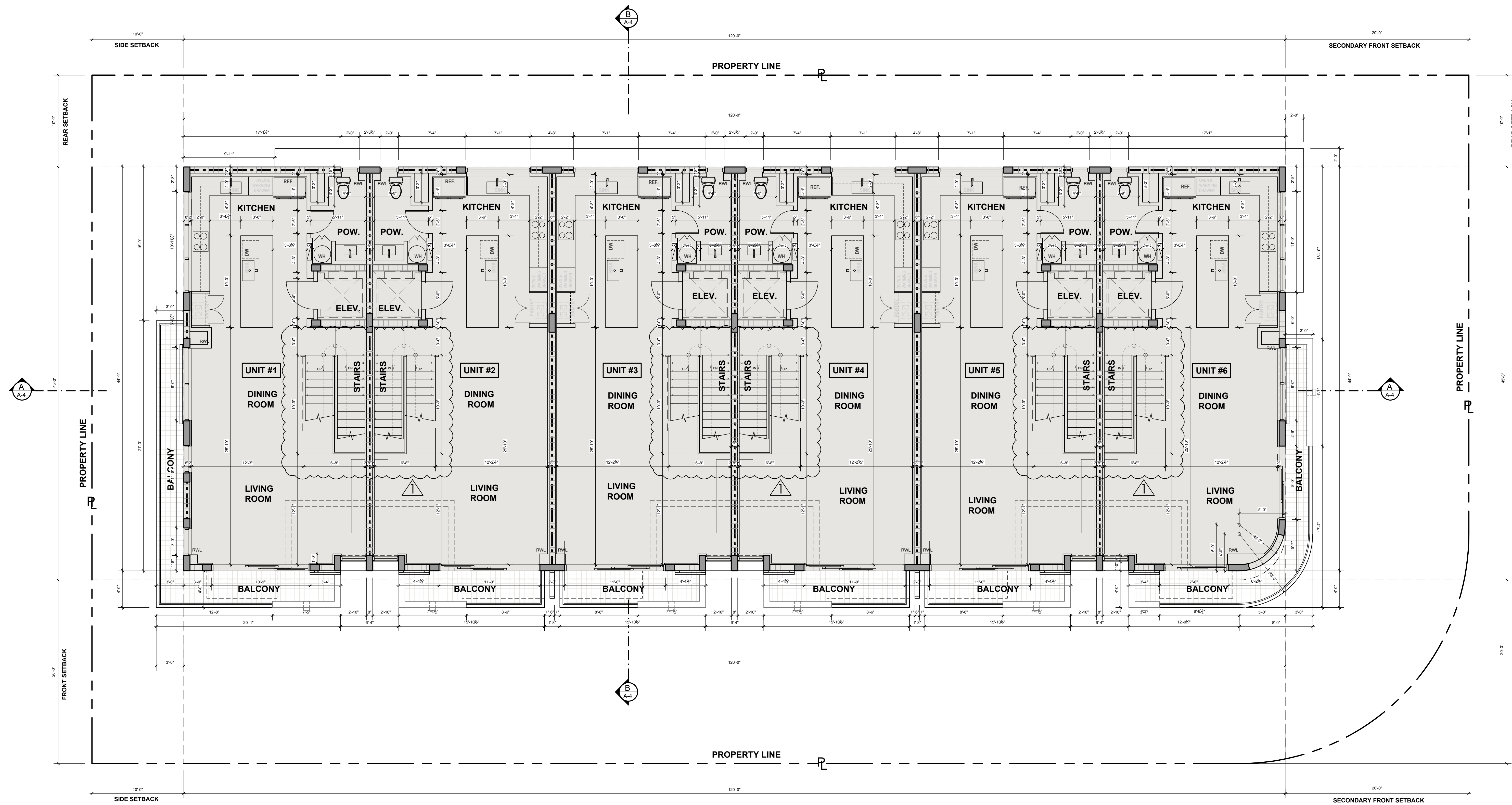
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FIRST FLOOR PLAN

sheet number

A-2

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

project name

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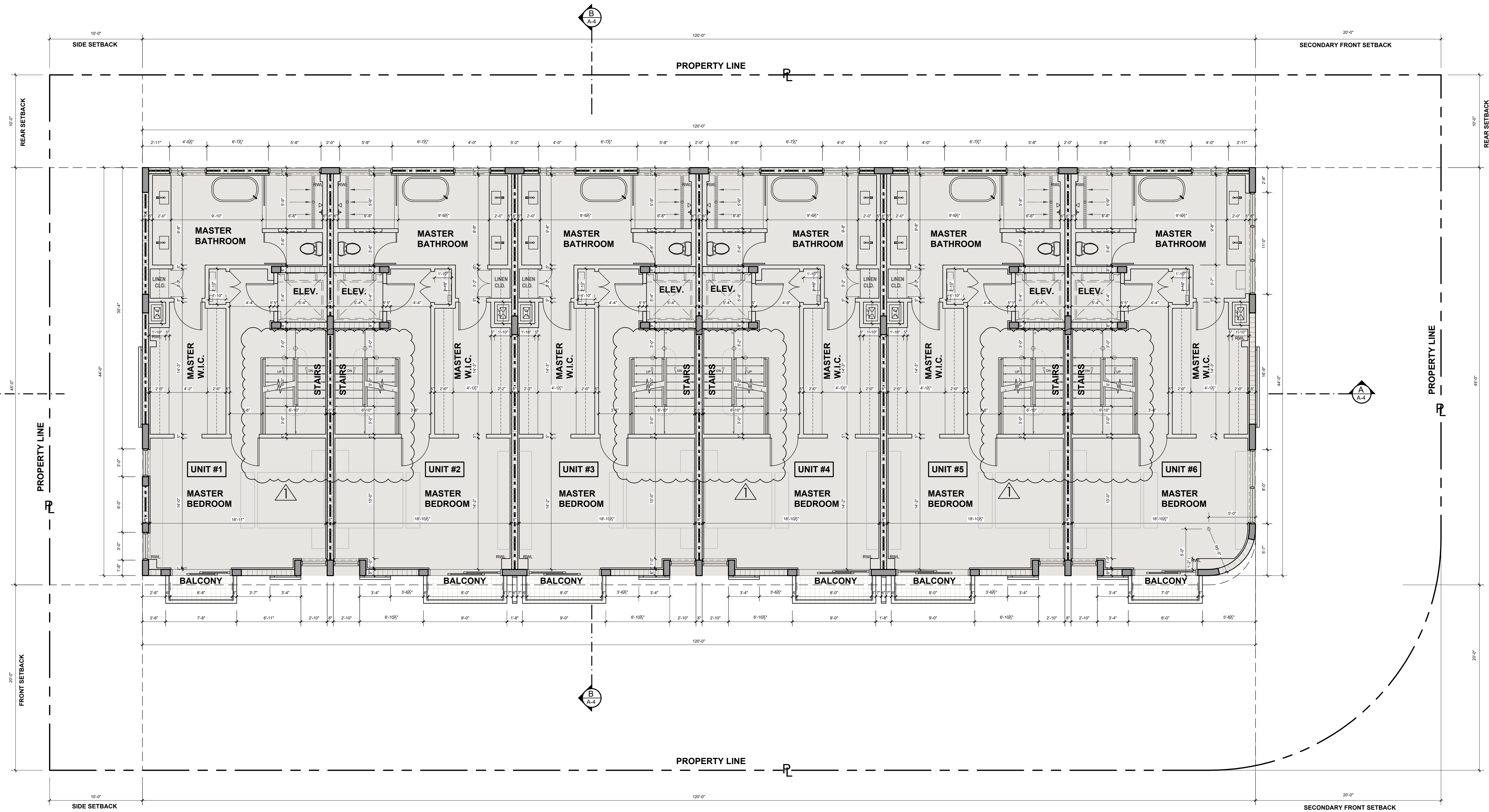
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 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

sheet number

A-2a



THIRD FLOOR PLAN

SCALE: 3/16" = 1'-0"

project name

1085 TOWNHOMES
 1085 94th St, Bay Harbor Islands, FL 33154

date

2024

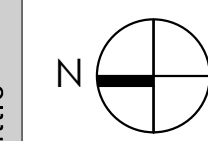
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1		TOWN PLANNER REVIEW COMMENTS 05-11-26

drawn by

F.P.

sheet title

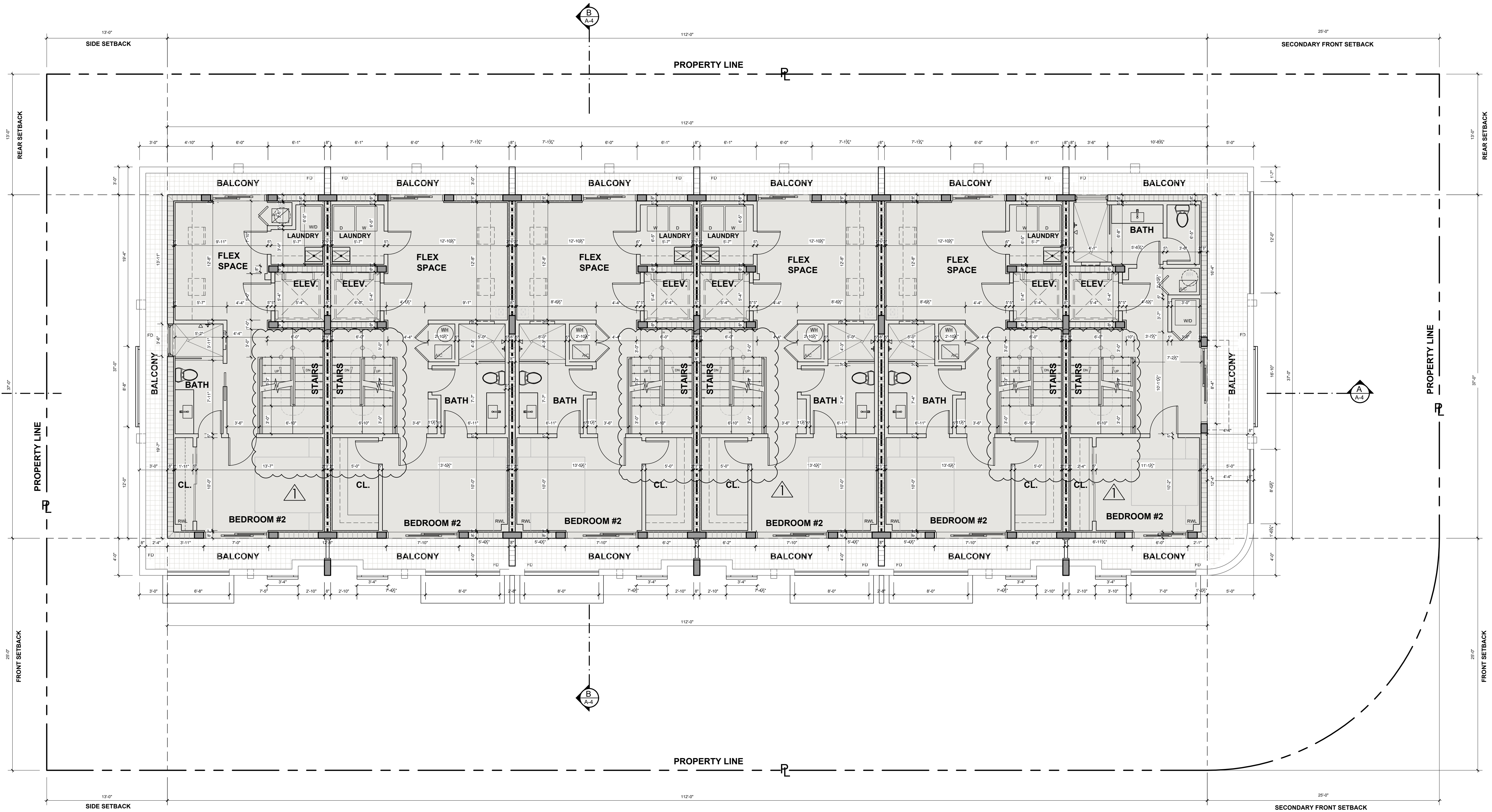


THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

sheet number

A-2b



FOURTH FLOOR PLAN

SCALE: 3/16" = 1'-0"

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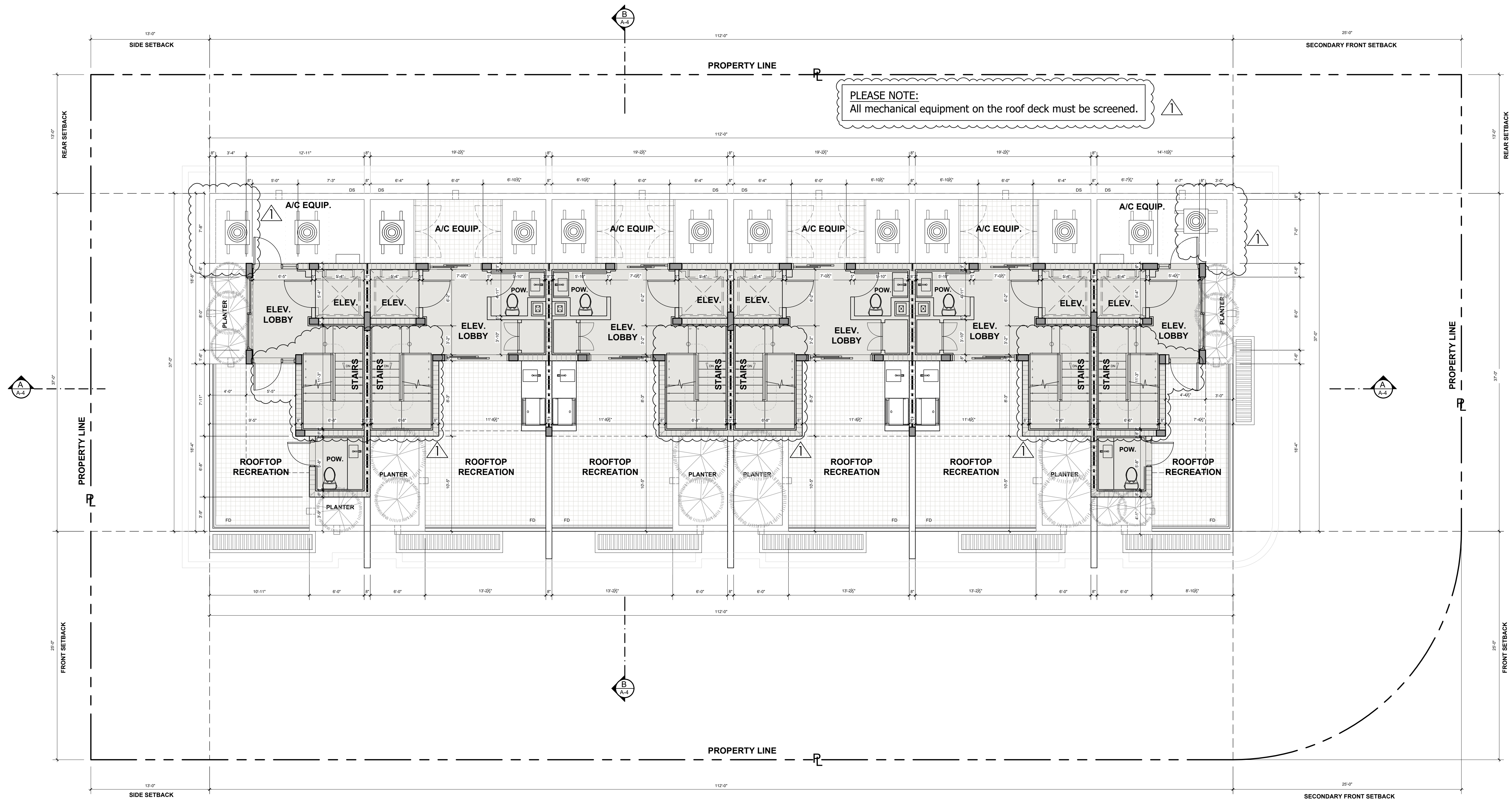
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FOURTH FLOOR PLAN

SCALE: 1/4" = 1'-0"

sheet number

A-2c

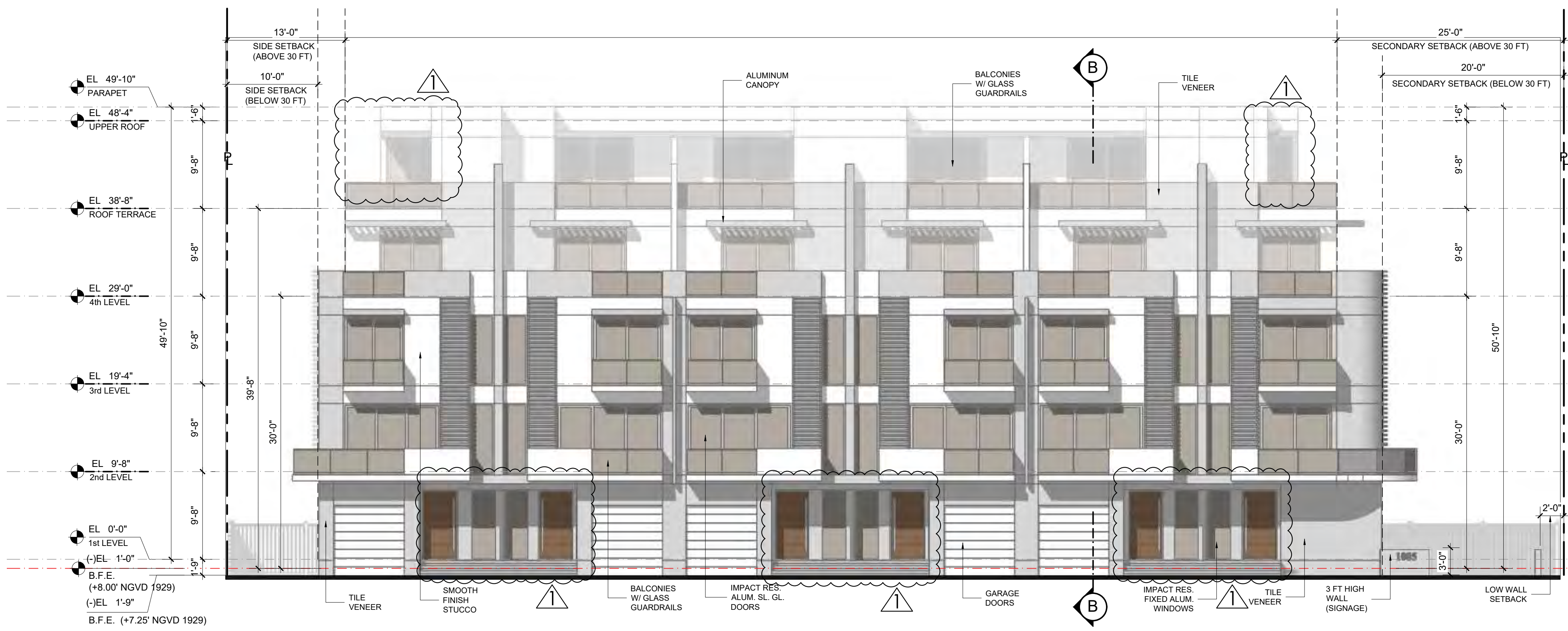


PLEASE NOTE:
All mechanical equipment on the roof deck must be screened.

ROOF PLAN
TOTAL ROOFTOP RECREATION AREA = 1,875 S.F.

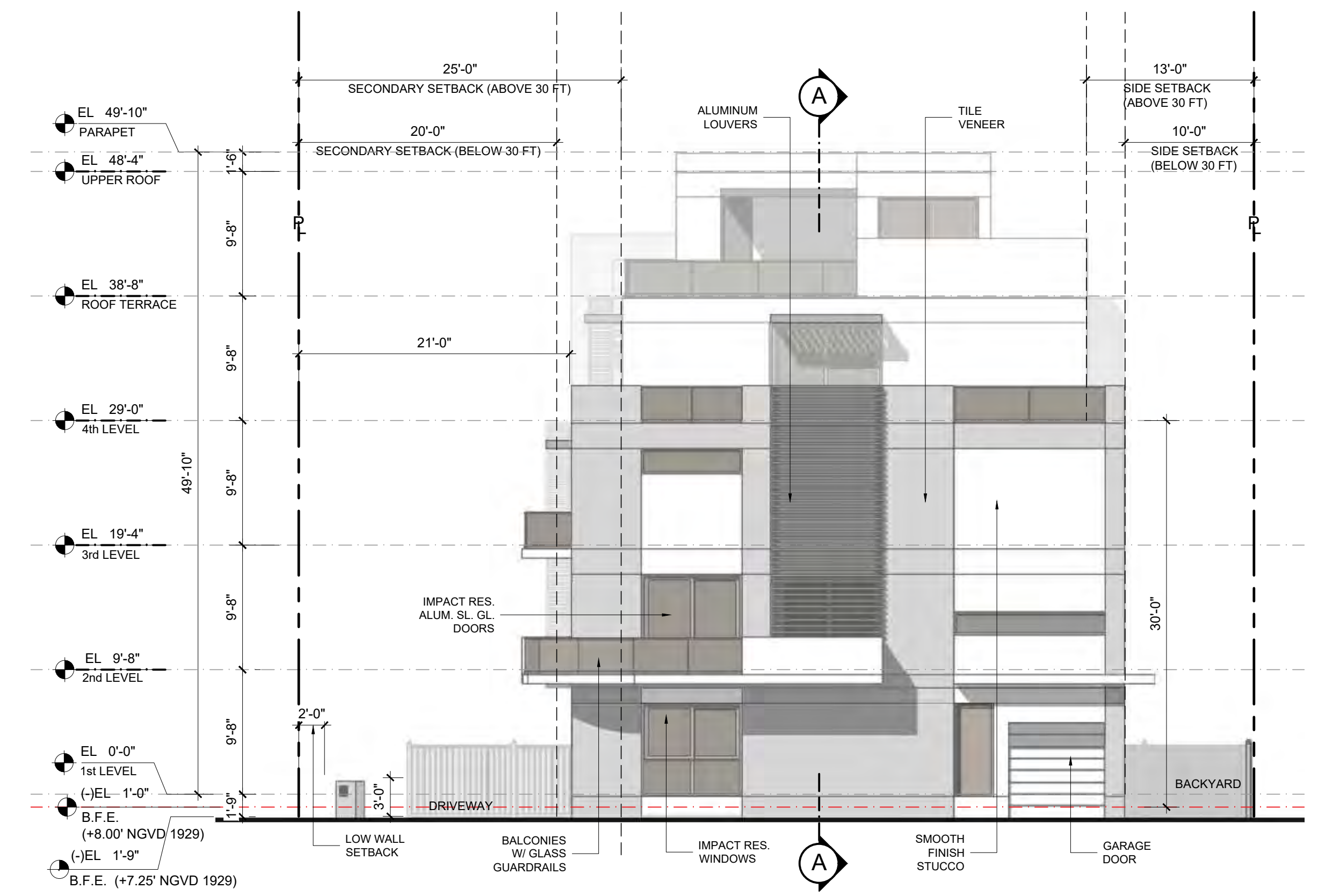
SCALE: 3/16" = 1'-0"

	REQUIRED	PROPOSED
MIN. ROOFTOP LANDSCAPE (15% RECREATION AREA)	276.75 S.F.	460 S.F.



WEST ELEVATION (BAY HARBOR TERRACE)

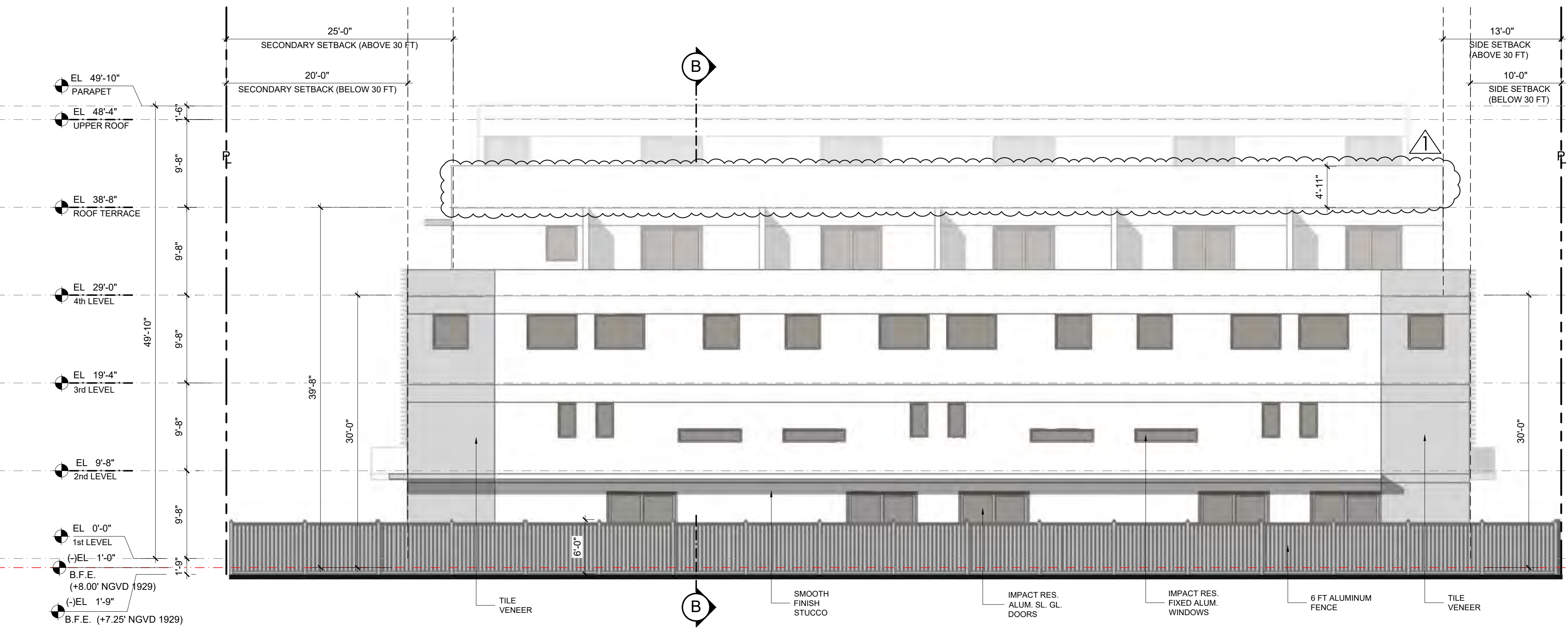
SCALE 1/8" = 1'-0"



SOUTH ELEVATION (94th STREET)

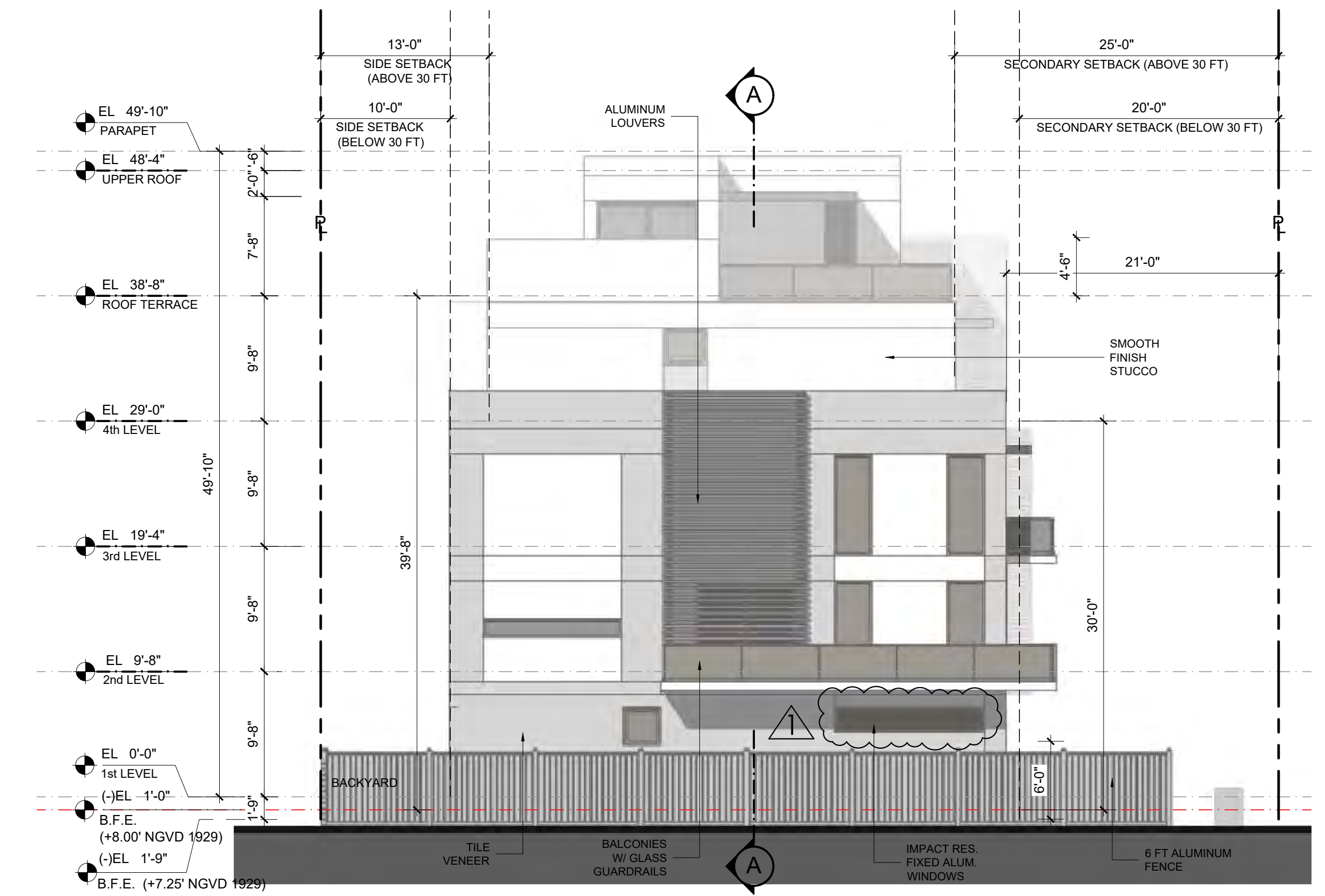
SCALE 1/8" = 1'-0"

PLEASE NOTE:
All mechanical equipment on the roof deck must be screened.



EAST ELEVATION (REAR)

SCALE 1/8" = 1'-0"



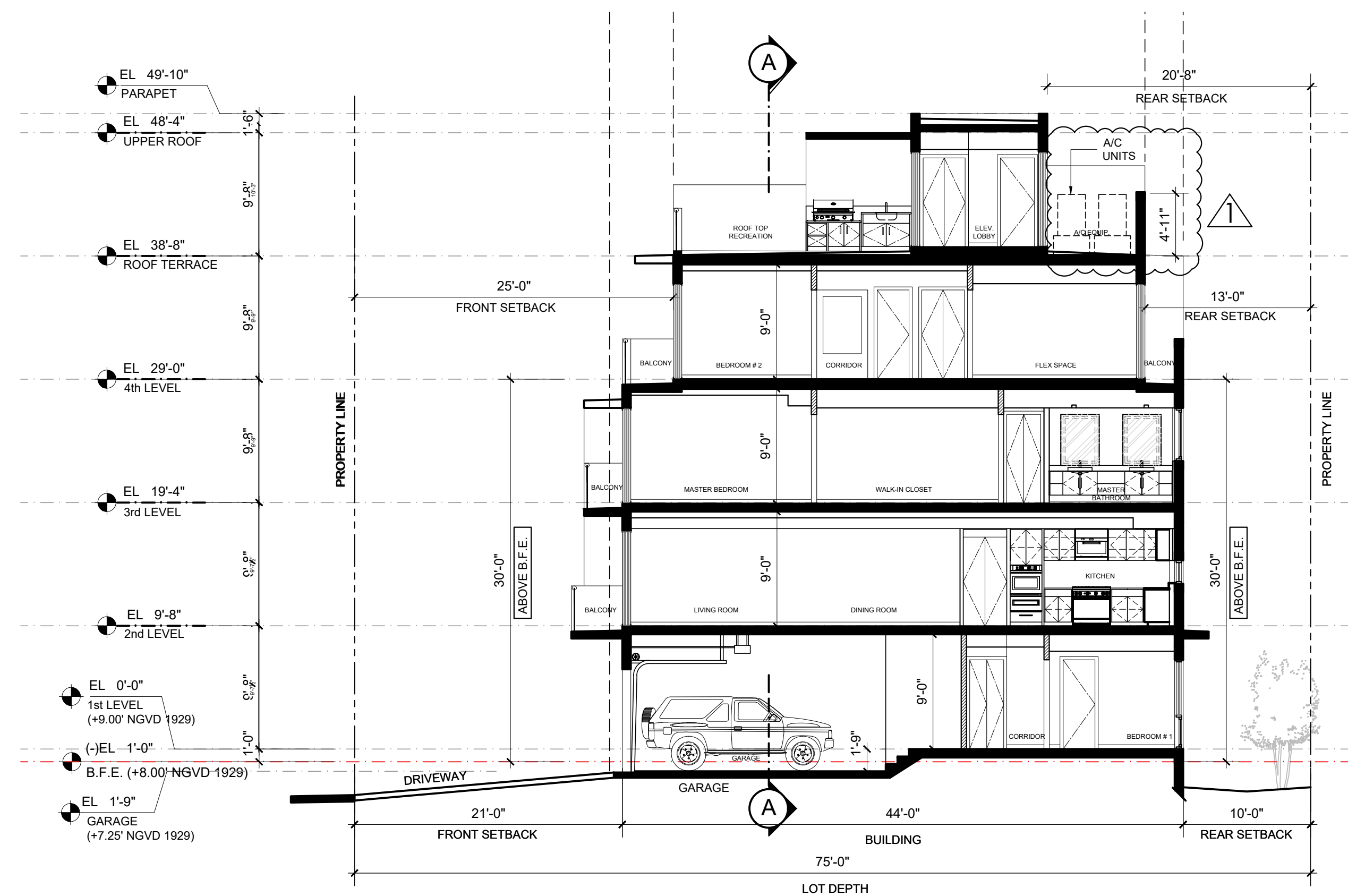
NORTH ELEVATION (INT. SIDE)

SCALE 1/8" = 1'-0"



A BUILDING SECTION

SCALE 1/8" = 1'-0"



PLEASE NOTE:
All mechanical equipment on the roof deck must be screened.

B BUILDING SECTION

SCALE 1/8" = 1'-0"

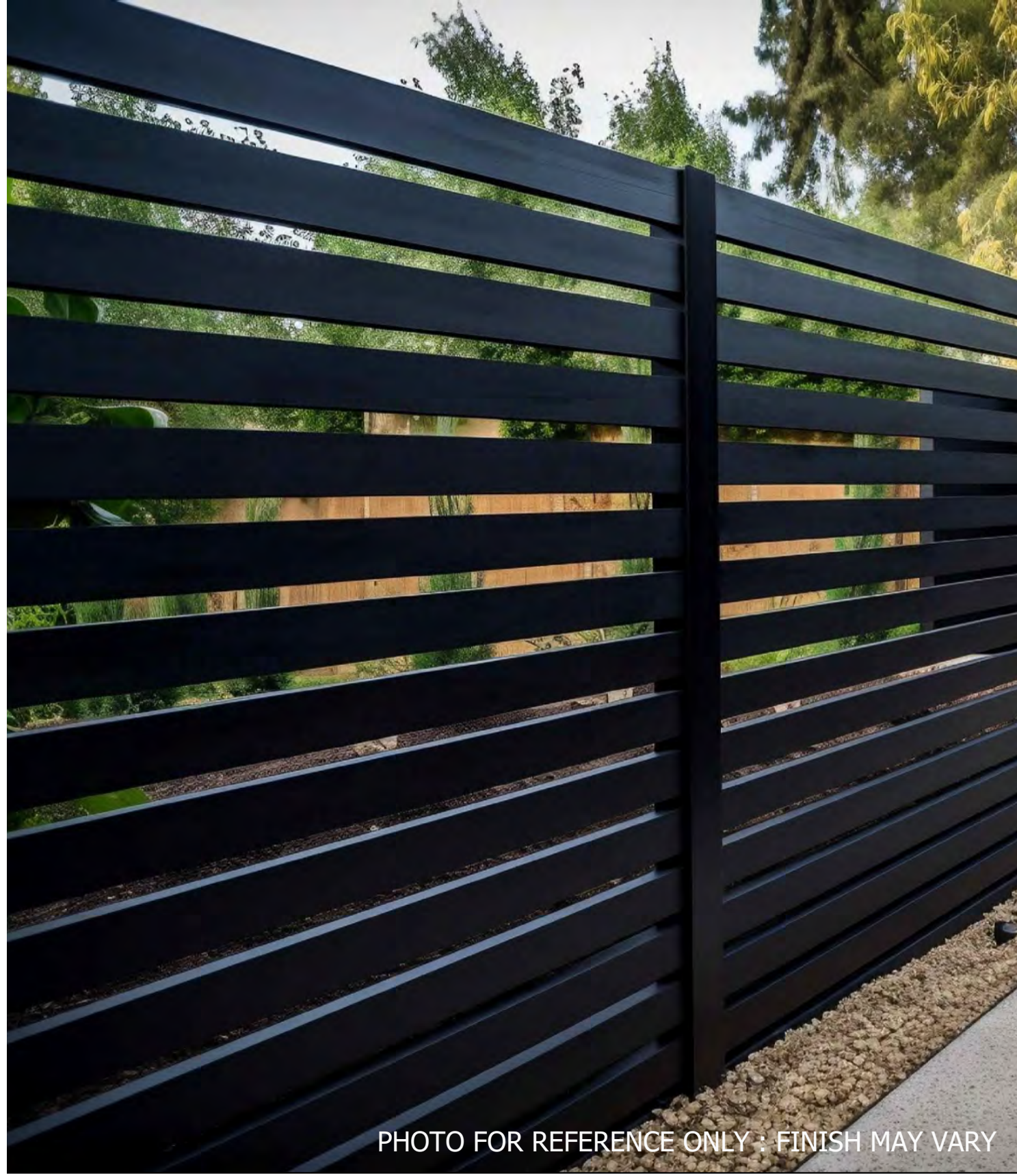


PHOTO FOR REFERENCE ONLY - FINISH MAY VARY

ALUMINUM FENCE (GRAY E.S.P. FIN)



SITE LOW WALLS (EXPOSED CONC.)

PEDESTRIAN ENTRANCES, PLANTERS, TRASH ENCLOSURE



CONCRETE DRIVEWAY PAVERS



PHOTO FOR REFERENCE ONLY : FINISH MAY VARY

ALUM. LATTICE (GRAY E.S.P. FIN.)

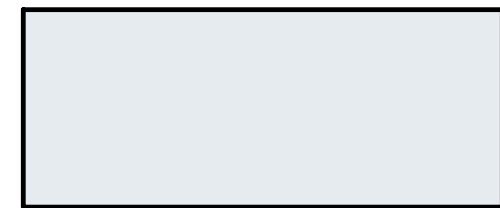
ROOF TERRACES



SMOOTH STUCCO TEXTURE



SHERWIN WILLIAMS PURE WHITE : SW7005
(EXTERIOR WALL COLOR)



GRAY E.S.P. ALUMINUM FINISH
(ALUMINUM FENCES, LOUVERS, & LATTICES)



CLEAR ANODIZED ALUMINUM FINISH
(WINDOW & SL DOOR FRAMES)

PAINT COLORS / FINISHES



PHOTO FOR REFERENCE ONLY : FINISH MAY VARY

ALUMINUM LOUVERS (GRAY E.S.P. FIN.)



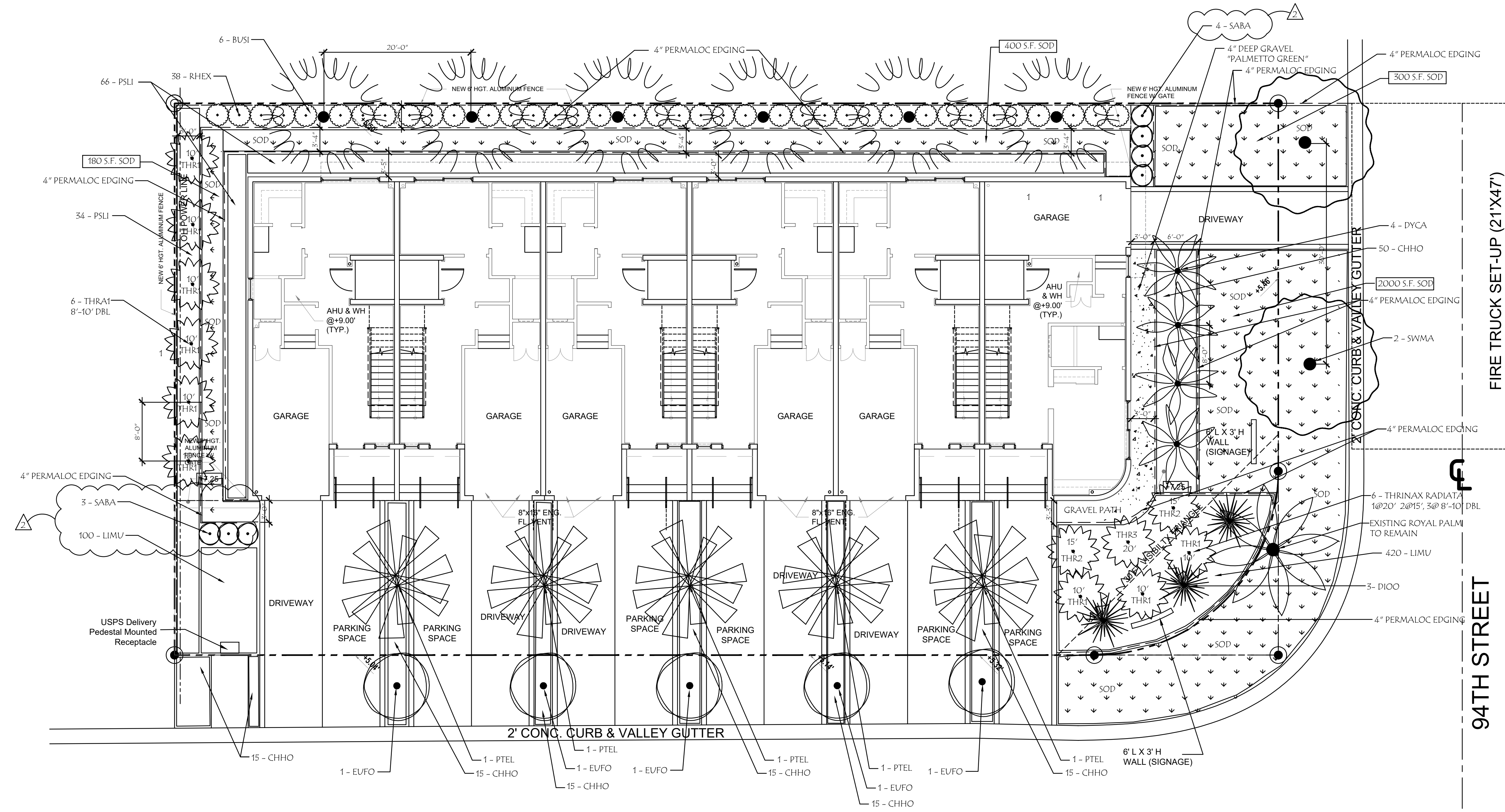
GALSS GUARDRAILINGS



TILE VENEER

SEE L - 3 LEGEND
AND CODE CALCULATIONS

PLANTING LIST - GROUND AND ROOF LEVELS										UPDATED 04.29.26		
SHADE AND STREET TREES										LOW	DROUGHT	
NO.	CODE	BOTANICAL NAME	COMMON NAME	POT	HEIGHT	SPREAD	DIAM	NATIVE	MAINT	TOLERANT		
6	BUSI	BURSERIA SIMARUBA	GUMBO LIMBO	B&B	16'	6'	3.5"	YES	YES	YES		
5	EUFO	EUGENIA FOETIDA	SPANISH STOPPER STANDARD	B&B	12'	5'	2.5"	YES	YES	YES		
5	PTEL	PTYCHOSPERMA ELEGANS - DBL	DOUBLE SOUTAIRE PALM	B&B	22'-24'				YES	YES		
2	SWMA	SWETENIA MAHOGONI	MAHOGONY	B&B	16'	6'	3"	YES	YES	YES		
PALMS												
3	DIOO	DIOON SPINULOSUM		25G	4'	4'			YES	YES		
4	DYCA	DYPSIS CABADAE	CABADA PALM	B&B	14'	7 Trunk Min			YES	YES		
38	RHEX	RHAPIS EXCELSA	LADY PALM	15G	4'	2'			YES	YES		
13	THRA1	THRINAX RADIATA - DOUBLE	GREEN THATCH PALM	B&B	8'-10' O.A.	DOUBLE		YES	YES	YES		
2	THRA2	THRINAX RADIATA	GREEN THATCH PALM	B&B	15' O.A.	SINGLE		YES	YES	YES		
1	THRA3	THRINAX RADIATA	GREEN THATCH PALM	B&B	20' O.A.	SINGLE		YES	YES	YES		
NEW SHRUBS												
NO.		BOTANICAL NAME	COMMON NAME	POT	HEIGHT	WIDTH		NATIVE	YES	YES		
172	CHHO	CHRYSOBALANUS SP. 'HORIZONTAL'	HORIZONTAL COCOPLUM	3G	24"	24"		YES	YES	YES		
100	PSLI	PSYCHOTRIA LIGUSTRIFOLIA	BAHAMA COFFEE	7G	24"	24"		YES	YES	YES		
7	SABA	SAVIA BAHAMENSIS	BAHAMA MAIDENBUSH	15G	30"	30"		YES	YES	YES		
GROUND COVER/SPECIMENS												
520	LIMU	LIRIOPE SP. 'SUPERBLUE'	LIRIOPE	1G	12"	12"		YES	YES	YES		
24	ZAFI	ZAMIA FLORIDANA	COONTIE	7G	18"	18"		YES	YES	YES		
MISC ITEMS												
APPROX 2900 SF		SOD - S.T. AUG 'PALMETTO'	FIELD MEASURE									
		MULCH - 3" DEEP EUCALYPTUS	FIELD MEASURE									



HS2G INC
LANDSCAPE ARCHITECTURE
4747 NORTH OCEAN DRIVE, SUITE #212
LAUDERDALE-BY-THE-SEA, FL 33308
PHONE 954.326.7212
E-MAIL : PETE@HS2G.NET
state of florida registered landscape architect #1a0000894

DOLCE VITA
AT BAY HARBOUR
1085 94TH STREET
BAY HARBOUR ISLANDS, FL 33154

REVISIONS

CITY DRC COMMENTS	04/13/2026
CITY DRC COMMENTS	01/06/2025
CITY DRC COMMENTS	02/13/2025
CITY TOWNS COMMISSION HARBOR	02/13/2025
PERMIT SUBMITTAL	11/20/2025
	01/09/2026
SCALE	1/8"=1'-0"
DESIGNED BY	PFS
DRAWN BY	PFS
DATE	11/25/2024

DRAWING TITLE

LANDSCAPE PLAN

SEAL:

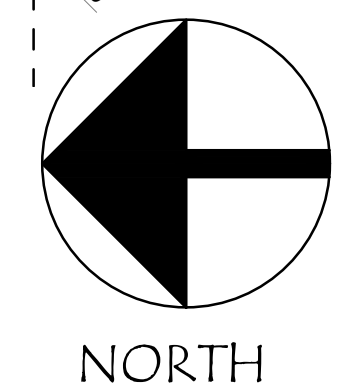
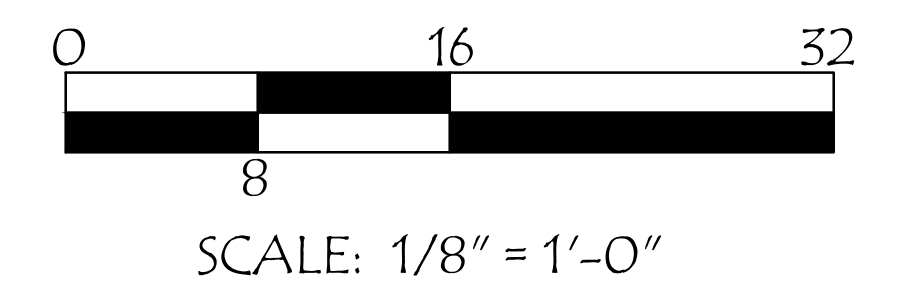
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SHEET NUMBER

L-1

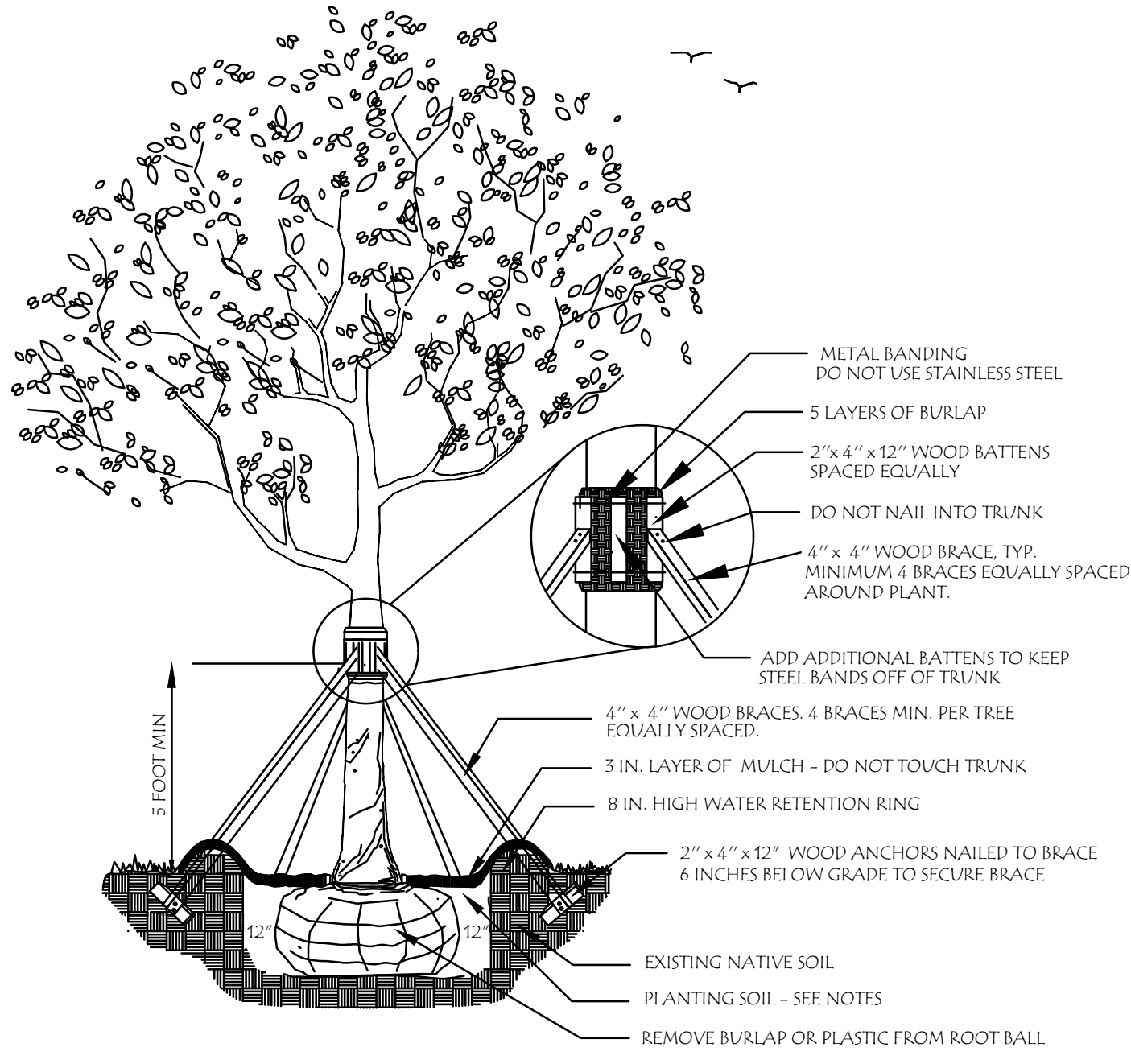
CAUTION: PLEASE NOTE
Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner as a result of unauthorized work prior to receipt of permit.

48 HOURS BEFORE DIGGING
CALL 811
TOLL FREE
SUNSHINE STATE UTILITIES LOCATION
ONE CALL CENTER OF FLORIDA

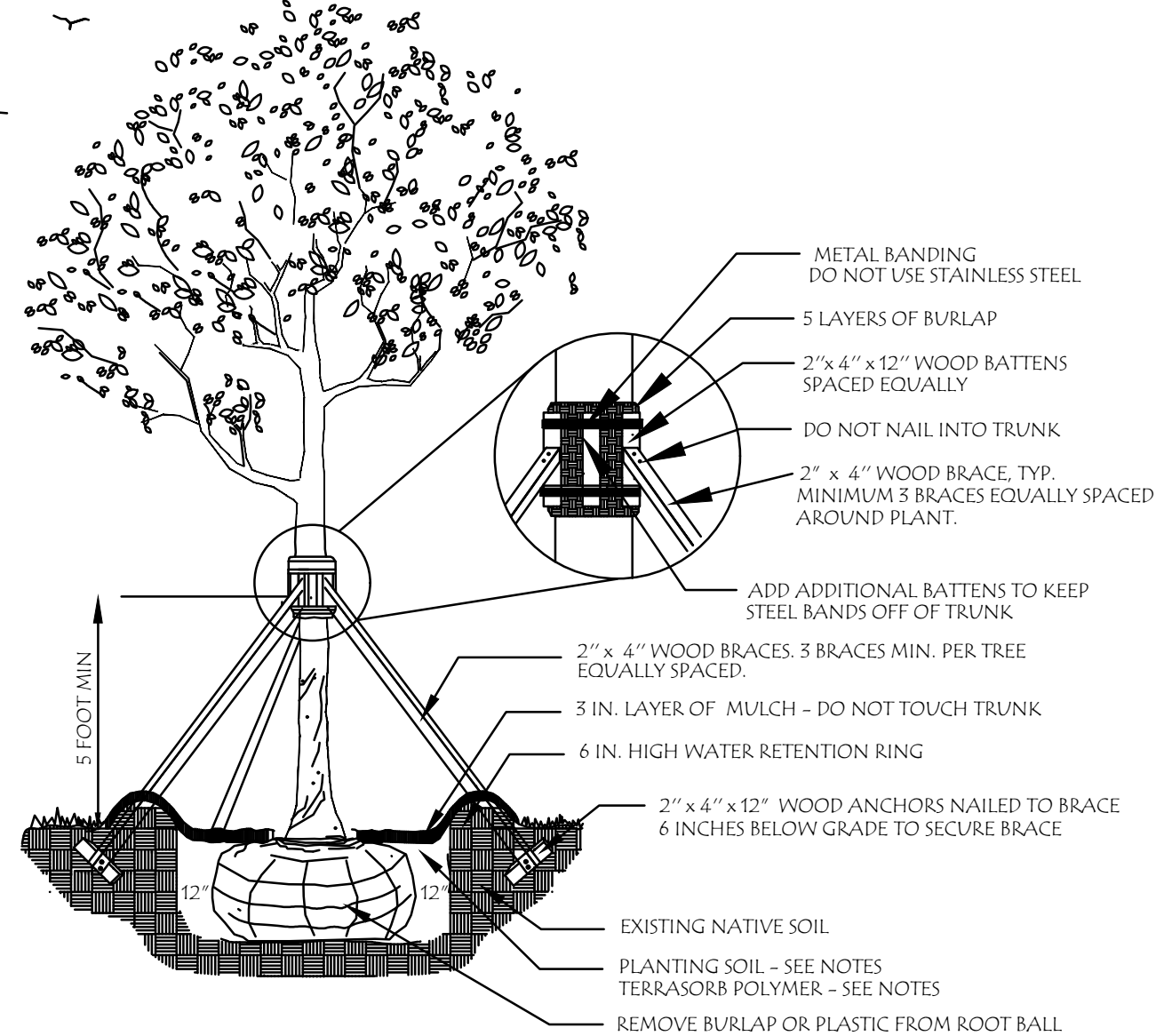


BAY HARBOR TERRACE

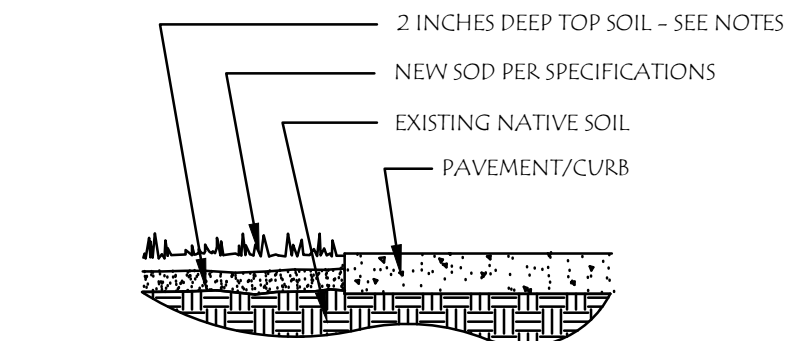
94TH STREET



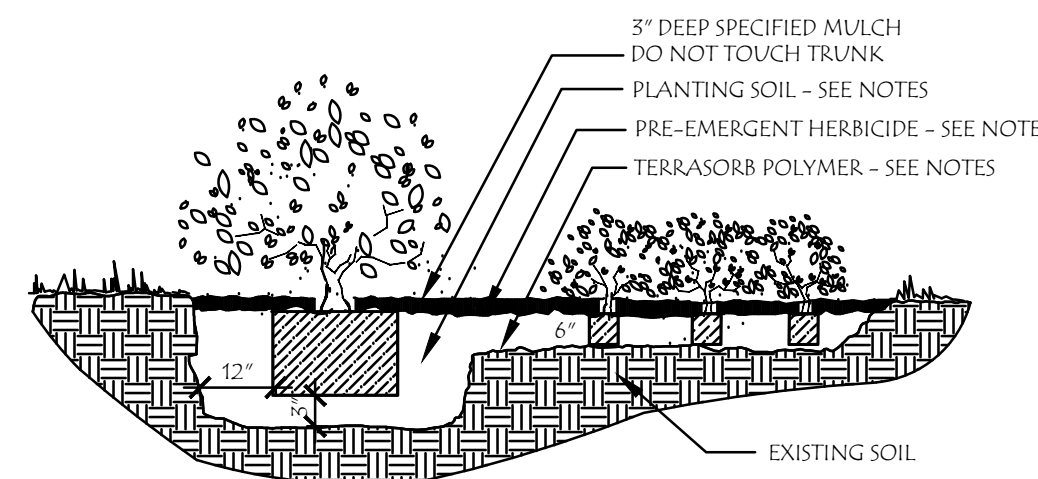
LARGE TREE PLANTING DETAIL
N.T.S.



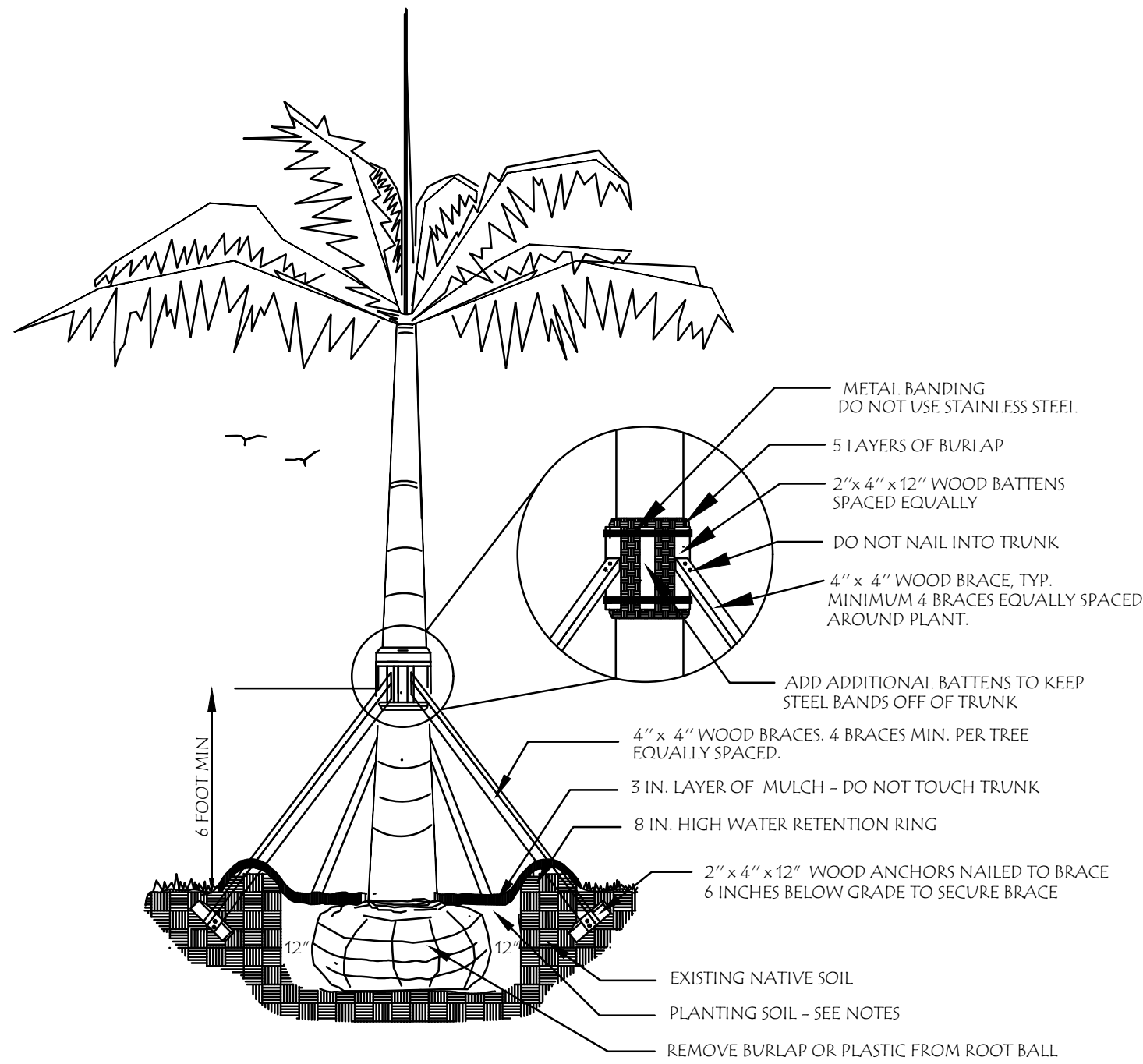
MEDIUM TREE PLANTING DETAIL
N.T.S.



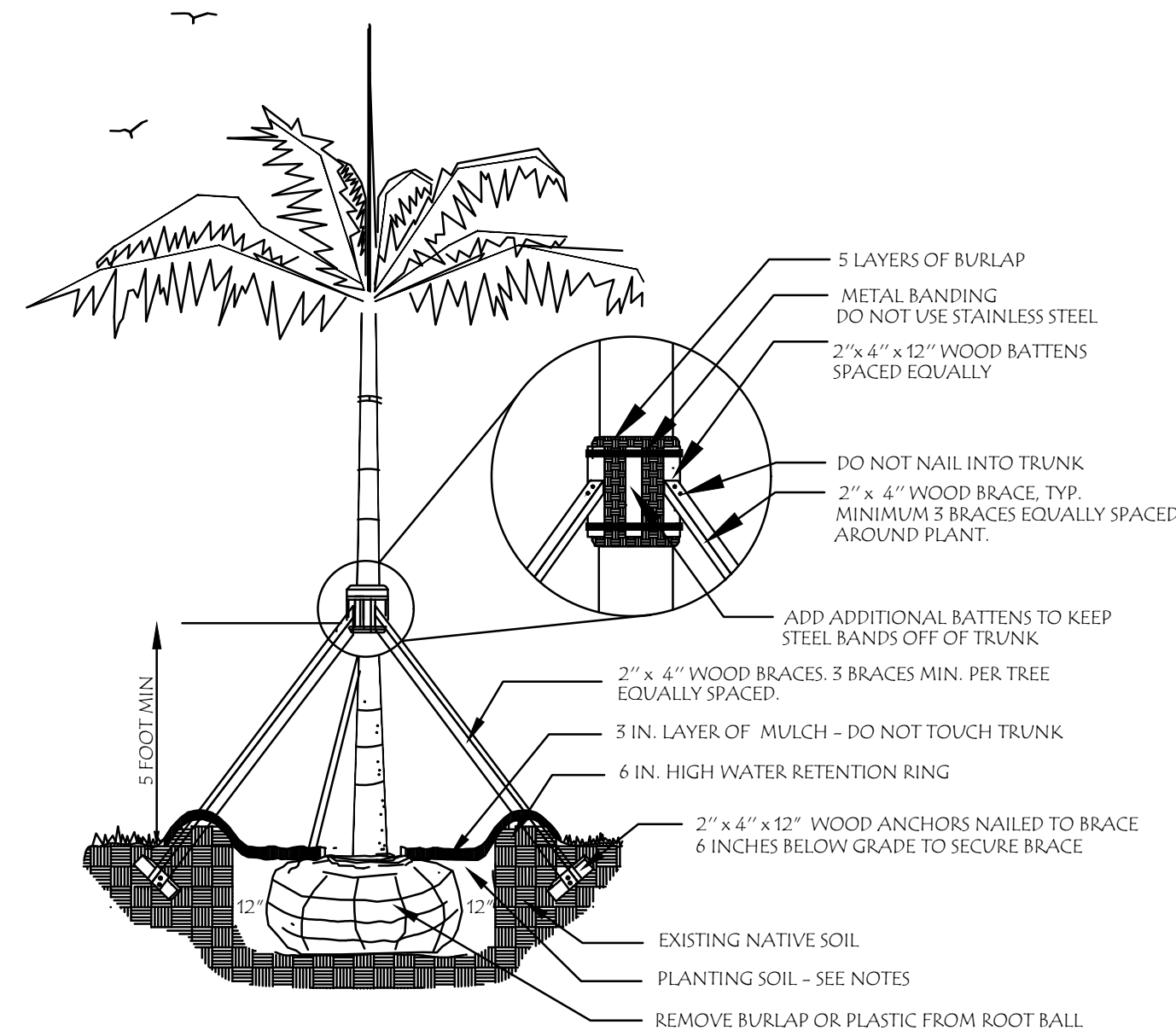
SOD INSTALLATION DETAIL (TYP.)
N.T.S.



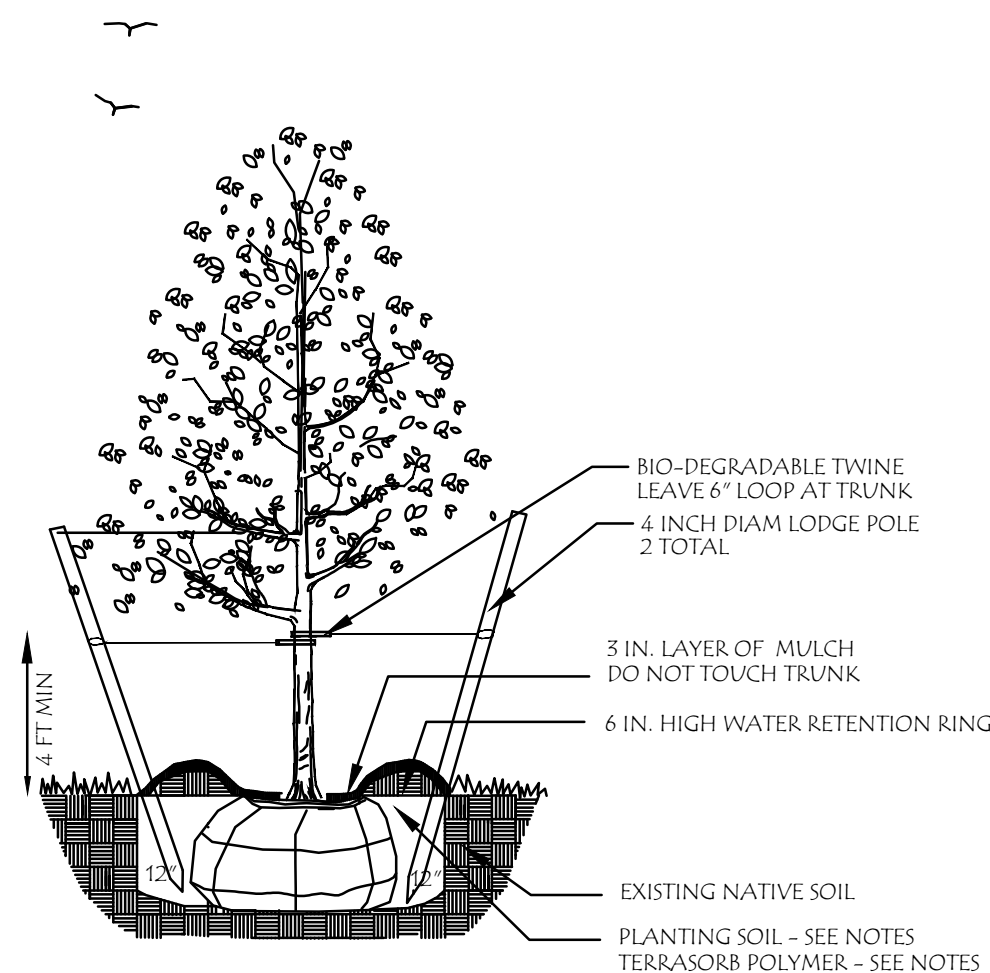
SHRUB AND GROUND COVER DETAIL
N.T.S.



LARGE PALM PLANTING DETAIL
N.T.S.



MEDIUM PALM PLANTING DETAIL
N.T.S.



SMALL TREE PLANTING DETAIL
N.T.S.

Town of Bay Harbor Islands, Florida
Landscape Requirements Legend (Worksheet)
Multi-Family Residential / Townhouse Sites (RM-1, RM-2, RM-3)
Town of Bay Harbor Islands, Florida
Site Address: 1085 94th Street, Bay Harbor Islands, FL 33154
Legal Description: ...
Net Lot Area: 11,116 SF, Acres: 0.256 AC

Open Space Requirement	Required	Provided
1. Net Lot Area = 11,116 SF x 20% = 2,223 SF (Min: 2,000 SF)	20% / 2,223 SF	26% / 2,795 SF
2. Maximum Lawn Area Allowed (MSD) = 10% (1,112 SF)	10% / 1,112 SF	10% / 1,112 SF
3. Max Open Space = 2,223 SF x 80% = 1,778 SF	80% Max / 1,778 SF	84% / 2,000 SF

II. Shade Trees

Required	Provided
1. 28 shade trees: 28 x 250 sq ft = 7,000 sq ft	7
2. Native Species Required - 50% Min	4
3. Drought Tolerant and Low Maintenance Species Required - 50% Min	4
4. Number of shade trees required above (28/4) = 7	7
5. Number of shade trees required above (7/4) = 2	3

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Number of Different Tree Species based on Quantity

Number of Different Tree Species	Number of Shade Trees
1 - 5 required shade trees	2 shade tree species
6 - 10 required shade trees	3 shade tree species
11 - 15 required shade trees	4 shade tree species
16 - 20 required shade trees	5 shade tree species
21 - 30 required shade trees	6 shade tree species
31 or more required shade trees	7 shade tree species

C. Tree Heights

Number of Stories of Building	Number of Shade Trees Required
1 - 2 stories	14 - 18 ft. 25%
3 - 4 stories	14 - 18 ft. 25% or 7 shade trees
5 - 6 stories	14 - 18 ft. 25% or 7 shade trees
7 - 8 stories	14 - 18 ft. 25% or 7 shade trees
9 - 10 stories	14 - 18 ft. 25% or 7 shade trees
11 - 12 stories	14 - 18 ft. 25% or 7 shade trees
13 - 14 stories	14 - 18 ft. 25% or 7 shade trees
15 - 16 stories	14 - 18 ft. 25% or 7 shade trees
17 - 18 stories	14 - 18 ft. 25% or 7 shade trees
19 - 20 stories	14 - 18 ft. 25% or 7 shade trees
21 - 22 stories	14 - 18 ft. 25% or 7 shade trees

Size of Tree Species in Relationship to Building Height

Min. Species	Min. Species	Min. Species	Min. Species	Min. Species
1. 10 ft. min. height	2. 10 ft. min. height	3. 10 ft. min. height	4. 10 ft. min. height	5. 10 ft. min. height
6. 10 ft. min. height	7. 10 ft. min. height	8. 10 ft. min. height	9. 10 ft. min. height	10. 10 ft. min. height
11. 10 ft. min. height	12. 10 ft. min. height	13. 10 ft. min. height	14. 10 ft. min. height	15. 10 ft. min. height
16. 10 ft. min. height	17. 10 ft. min. height	18. 10 ft. min. height	19. 10 ft. min. height	20. 10 ft. min. height
21. 10 ft. min. height	22. 10 ft. min. height	23. 10 ft. min. height	24. 10 ft. min. height	25. 10 ft. min. height
26. 10 ft. min. height	27. 10 ft. min. height	28. 10 ft. min. height	29. 10 ft. min. height	30. 10 ft. min. height

III. Street Trees

Street Trees	Required	Provided
1. Street Trees: 3:30	3	6

NOTE: 1. 1085 94th Street (2) ALONG 94th STREET ARE LOCATED IN OPEN GREEN-SPACE TO ACCOMMODATE ROOTS.

Page 2 of 3 Revised 7/15/21

IV. Shrubs Required

Requirement	Required	Provided
1. 10 shrubs required per shade tree (Min: 3' tall shrub, 10' min. height, 2' min. spread)	30	304
2. Native Species Required - 50% Min (MSD) = 15 (15 x 2' min. height)	15	304
3. Drought Tolerant and Low Maintenance Species Required - 50% Min (MSD) = 15 (15 x 2' min. height)	15	304

V. Buffers (if applicable)

Requirement	Required	Provided
1. Planting Lot from PCDDV	N/A	7' x 7' x 7'
2. Discarded Lanes	N/A	7' x 7' x 7'

VI. Parking Lot Landscaping (if applicable)

Requirement	Required	Provided
1. 10 SF / parking space	N/A	7' x 7' x 7'
2. Shade Trees (MSD) = 10 (10 x 2' min. height)	N/A	7' x 7' x 7'
3. Shrubs (MSD) = 10 (10 x 2' min. height)	N/A	7' x 7' x 7'

VII. Right Tree Height (MSD) = 10 (10 x 2' min. height)

Requirement	Required	Provided
1. Number of trees near power lines (See Note 1)	1	1

VIII. Florida Friendly Landscaping (MSD) = 10 (10 x 2' min. height)

NOTE: 1. 1085 94th Street (2) ALONG 94th STREET ARE LOCATED IN OPEN GREEN-SPACE TO ACCOMMODATE ROOTS.

Page 3 of 3 Revised 7/15/21

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HS2G INC
LANDSCAPE ARCHITECTURE
4747 NORTH OCEAN DRIVE, SUITE #212
LAUDERDALE-BY-THE-SEA, FL 33308
PHONE 954.326.7212
E-MAIL: PETE@HS2G.NET
state of florida registered landscape architect #la0000894

1085 TOWNHOUSES
1085 94TH STREET
BAY HARBOUR ISLANDS, FL 33154

REVISIONS

NO.	DATE	DESCRIPTION

SCALE: N/A
DESIGNED BY: PFS
DRAWN BY: PFS
DATE: 11/25/2024

DRAWING TITLE
PLANTING DETAILS and CODE CALCS

SEAL:

Date: _____

SHEET NUMBER
L-3

A. GENERAL CONDITIONS AND REQUIREMENTS

- WORK TO INCLUDE FURNISHING LABOR, MATERIALS, TOOLS AND EQUIPMENT, OBTAINING NECESSARY PERMITS; INSTALLING ALL MATERIALS NECESSARY TO COMPLETE IN PLACE THE LANDSCAPING AS SHOWN ON THE PLANS AND AS HEREIN SPECIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PLANT MATERIAL QUANTITIES ON DRAWINGS PRIOR TO BIDDING. THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST. FINAL SOD, MULCH AND TOPSOIL QUANTITIES ARE TO BE CALCULATED BY CONTRACTOR AND INCLUDED IN BID.
- EXISTING VEGETATION: REFER TO DISPOSITION PLAN FOR TREE PROTECTION AND RELOCATION NOTES AND DETAILS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES. CARE SHOULD BE TAKEN NOT TO DISTURB OR DAMAGE ANY UTILITIES. ANY DAMAGE WILL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR IN A MANNER APPROVED BY THE OWNER'S REPRESENTATIVE. WHERE UNDERGROUND CONSTRUCTION OR OBSTRUCTION WILL NOT PERMIT THE INSTALLATION PER PLANS, NEW LOCATIONS FOR THE PLANT MATERIAL WILL BE DESIGNATED BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
- OWNER OR AUTHORIZED REPRESENTATIVE SHALL SCHEDULE A PRE-CONSTRUCTION MEETING 2-3 WEEKS PRIOR TO START DATE WITH CONTRACTOR(S) AND LANDSCAPE ARCHITECT. AT THE PRE-CON MEETING, CONTRACTOR SHALL PROVIDE REQUIRED SUBMITTALS INCLUDING, BUT NOT LIMITED TO: COPIES OF REQUIRED PERMITS, LIABILITY INSURANCE (INCLUDING SUBCONTRACTORS), UNIT COST BREAKDOWN FOR ALL MATERIALS, CUT SHEETS, SAMPLES, SOIL MIX, FERTILIZER, MULCH, HERBICIDES, ANTI-TRANSPIRANT, WATER RETAINING POLYMER, AND METHODOLOGY FOR RELOCATION OF EXISTING TREES/PALMS.
- THE INSTALLATION SHALL COMPLY WITH ALL CITY, COUNTY AND STATE OF FLORIDA REGULATIONS. ALL LICENSES, PERMITS AND INSPECTIONS REQUIRED SHALL BE OBTAINED BY CONTRACTOR. OWNER WILL PAY PERMIT FEE DIRECTLY TO THE CITY. UPON COMPLETION OF THE WORK, THE CONTRACTOR WILL TRANSMIT ALL APPLICABLE CERTIFICATES OF INSPECTION TO THE OWNER, OR AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR AND/OR THE LANDSCAPE SUBCONTRACTOR SHALL PROVIDE A QUALIFIED FOREMAN WHO SHALL BE PRESENT ON THE SITE AT ALL TIMES. THE FOREMAN SHALL BE WELL VERSED IN READING AND UNDERSTANDING PLANS. THE LANDSCAPE FOREMAN SHALL BE KNOWLEDGEABLE ABOUT SOUTH FLORIDA PLANT MATERIAL AND ITS PROPER HANDLING. THE FOREMAN SHALL BE A FULLY AUTHORIZED AGENT OF THE CONTRACTOR, CAPABLE OF MAKING ON-SITE DECISIONS.

B. MATERIALS:

- PLANT SIZES: ALL PLANT MATERIAL SIZES SHOWN ON THE PLAN ARE TO BE CONSIDERED AS MINIMUMS. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN WILL ALSO BE REQUIRED FOR ACCEPTANCE.
- PLANT QUALITY: ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE SPECIFIED, SHALL BE FLORIDA NO. 1, OR BETTER, AND SHALL BE INSTALLED AS SPECIFIED IN "GRADES AND STANDARDS FOR NURSERY PLANTS", LATEST EDITION.
- PLANTS NOT LISTED IN "GRADES AND STANDARDS FOR NURSERY PLANTS" SHALL CONFORM TO THE FLORIDA STANDARDS SPECIFIED FOR PLANTS LISTED WITH SIMILAR GROWTH HABITS. THE PLANT STANDARDS TO BE MET INCLUDE FREEDOM FROM PEST AND MECHANICAL DAMAGE, FOLIAGE CONDITIONS, TRUNK AND BRANCHING HABIT, AND ROOT CONDITION.
- BALLED AND BURLAPPED PLANTS SHALL BE HANDLED BY THE ROOT BALL ONLY. PLANTS WITH CRACKED OR LOOSE ROOT BALLS WILL NOT BE ACCEPTED. ROOT BALLS ARE TO BE A SIZE NORMAL TO SOUND NURSERY PRACTICE. ROOT SYSTEMS SHALL BE WELL-BRANCHED AND FIBROUS.
- CONTAINER GROWN PLANTS SHALL BE WELL-ROOTED. PLANTS THAT ARE ROOT BOUND, HAVE CIRCLING ROOTS, OR ARE DISPROPORTIONATELY LARGE FOR THE CONTAINER SIZE WILL BE REJECTED. NEWLY STEPPED UP WITH ROOT SYSTEMS THAT DO NOT FILL THE POT WILL BE REJECTED.
- FIELD GROWN MATERIAL: FIELD GROWN TREES AND PALMS SHALL BE ROOT PRUNED A MINIMUM OF (3) MONTHS PRIOR TO DIGGING, OR AS NECESSARY TO AVOID TRANSPLANT DIEBACK. PLANTS EXHIBITING DIEBACK WILL BE REMOVED AND REPLACED AT THE REQUEST OF THE OWNER, OR AUTHORIZED REPRESENTATIVE.
- PALMS: PALMS WITH DAMAGED TRUNKS ARE UNACCEPTABLE. REMOVE ALL DEAD FRONDS AND TAPER TRIM BY NO MORE THAN ONE-THIRD OF PALM HEAD. SABAL PALMS SHALL BE BOOTED, HURRICANE CUT OR REGENERATED AS SPECIFIED.

SUBSTITUTIONS: SUBSTITUTIONS OF PLANT TYPE OR SIZE WILL NOT BE ACCEPTED UNLESS SUBSTANTIAL DOCUMENTATION IS SUBMITTED SHOWING THE UNAVAILABILITY OF A PARTICULAR PLANT TYPE OR SIZE SPECIFIED ON PLANS. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO BID. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT.

PLANTING SOIL: ALL PLANT MATERIAL INSTALLED SHALL BE PLANTED WITH A MIX OF 75% PLANTING SOIL AND 25% NATIVE SOIL UNLESS OTHERWISE SPECIFIED ON PLAN. PLANTING SOIL SHALL BE 50% MUCK AND 50% SAND THAT IS CLEAN AND COMPLETELY FREE OF CONSTRUCTION DEBRIS, WEEDS, WEED SEEDS, SEDGES, NOXIOUS PESTS, ROCKS, DISEASE AND FOREIGN MATERIALS.

MULCH: ALL MULCH SHALL BE GRADE #1 EUCALYPTUS MULCH OR APPROVED EQUAL.

C. INSTALLATION

PLANTING BED PREPARATION: REFER TO PLANTING DETAILS.

- 2 WEEKS PRIOR TO BED PREP. ALL BED AREAS SHALL BE TREATED WITH A POST-EMERGENT HERBICIDE TO ERADICATE ALL BROADLEAF WEEDS AND SEDGES (NUT GRASS).

EXCAVATE BED TO SPECIFIED DEPTH AND REMOVE ANY ROCKS LARGER THAN (1) INCH IN DIAMETER AND BACKFILL WITH SPECIFIED PLANTING MIX.

IT IS CONTRACTORS RESPONSIBILITY TO PREPARE PLANTING BEDS WITH ADEQUATE DRAINAGE FOR GOOD PLANT GROWTH. PLANTS THAT FAIL DUE TO POOR DRAINAGE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE FOLLOWING BED REMEDIATION TO CORRECT DRAINAGE.

THE CONTRACTOR SHALL REMOVE ANY CONTAMINANTS (INCLUDING BUT NOT LIMITED TO: CONCRETE, ASPHALT, WOOD METAL, ETC.) IN A PLANTING BED THAT WOULD INHIBIT GOOD PLANT GROWTH.

TREE AND PALM LOCATIONS ARE SCHEMATIC AND MAY REQUIRE ADJUSTMENT. LOCATIONS ARE TO BE STAKED ON SITE AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. IN THE EVENT OF CONFLICTS WITH UTILITIES, EXISTING PLANT MATERIAL, ETC., CONSULT LANDSCAPE ARCHITECT.

SPECIMEN PLANTS: LANDSCAPE ARCHITECT SHALL BE PRESENT ON SITE AT TIME OF PLANTING TO DETERMINE OPTIMAL ORIENTATION. NOTIFY LANDSCAPE ARCHITECT (1) WEEK PRIOR FOR SCHEDULING.

GUYING AND STAKING: REFER TO PLANTING DETAIL SHEET.

SUPPLEMENTS: INCORPORATE WATER RETAINING POLYMER (TERRASORB OR EQUAL) AS PER MANUFACTURER'S RECOMMENDATIONS. SUBMIT LABEL TO LANDSCAPE ARCHITECT PRIOR TO APPLICATION.

FERTILIZER: TREES AND SHRUBS SHALL BE FERTILIZED AT TIME OF PLANTING WITH LESCO 12-6-8+4 TIME RELEASED FERTILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. SUBMIT LABEL TO LANDSCAPE ARCHITECT PRIOR TO APPLICATION.

PRE-EMERGENT HERBICIDE: APPLY APPROVED PRE-EMERGENT HERBICIDE TO ALL PLANTING AREAS AFTER PLANTING AND PRIOR TO APPLYING MULCH.

MULCH: ALL TRESS IN SOD AREAS ARE TO HAVE A (4) INCH RAISED SOIL RING COVERED WITH A (3) INCH LAYER OF GRADE #1 EUCALYPTUS COVER ALL SHRUBS AND GROUND COVER BEDS WITH A (3) INCH LAYER OF MULCH. DO NOT LET MULCH TOUCH OUTER BARK OF ANY PLANT.

WATERING: TREES AND PALMS SHALL BE HAND WATERED AT THE TIME OF PLANTING USING A HEAVY METAL BAR TO REMOVE ALL AIR POCKETS AND SETTLE THE ROOT BALL. ALL PLANTINGS SHALL BE HAND WATERED 2-3 TIMES PER WEEK UNTIL FINAL ACCEPTANCE. WATERING LOG SHALL BE SUBMITTED TO THE OWNER, OR AUTHORIZED REPRESENTATIVE AT FINAL INSPECTION.

IRRIGATION: CONTRACTOR SHALL OBTAIN REQUIRED PERMIT AND FURNISH ALL LABOR, MATERIALS AND EQUIPMENT TO INSTALL A FULLY AUTOMATIC IRRIGATION SYSTEM COVERING 100% OF LANDSCAPE AREAS. CONTRACTOR TO VERIFY WATER SOURCE PRIOR TO BIDDING.

THE SYSTEM SHALL HAVE SEPARATE TIME ZONES FOR PLANTING BEDS AND SOD AREAS AND PROVIDE 100% COVERAGE WITH 50% OVERLAP. EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO: PROGRAMMABLE TIME CLOCK, ELECTRIC VALVES, VACUUM BREAKER, BACK FLOW PREVENTER, ROTARY HEADS, POP-UP HEADS, DRIP EMITTERS, RAIN GAUGE WITH AUTO SHUTOFF ETC. ALL PIPING SHALL BE SCHEDULE 40 PIPE.

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ALL LARGE TREES, PALMS AND SPECIMENS SHALL RECEIVE BUBBLER HEADS. ADDITIONAL HEADS MAY BE ADDED BY LANDSCAPE ARCHITECT.

ADJUST ALL HEADS TO PREVENT ANY OVER SPRAY ONTO BUILDINGS, SIDEWALKS, DRIVEWAYS AND HARDSCAPE FEATURES.

SODDING: HEALTHY AND WEED FREE SOD SHALL BE PLACED IN AREAS NOT COVERED WITH PLANT MATERIAL, MULCH, OR PAVING AS NOTED ON THE PLANS. CONTRACTOR IS RESPONSIBLE FOR CALCULATING FINAL SQUARE FOOTAGE OF SOD.

THE SOD BED IS TO BE WELL-COMPACTED AND FINE GRADED WITHOUT ANY BUMPS OR DEPRESSIONS. THE SOD SHALL BE MOIST AT TIME OF INSTALLATION. THE SOD SHALL BE THICK, WELL-MATTED AND EVENLY CUT, AND STRONG ENOUGH SO IT RETAINS ITS SHAPE WHEN HANDLED BY THE TOP GRASS BLADES. THE SOD PIECED SHALL BE A MINIMUM 12" X 24" SIZE. THE SOD SHALL BE LAID BY HAND SO THERE ARE NO GAPS OR VOIDS BETWEEN PIECES. STAGGER THE SOD PIECES BETWEEN ROWS.

ON SLOPES, THE ROWS SHALL RUN 90° TO THE SLOPE DIRECTION. ROLL OR HAND TAMP THE SOD IMMEDIATELY AFTER INSTALLATION AND COMMENCE WATERING. THE SOD LEVEL SHALL BE SET SO WATER FLOW FROM ADJACENT SURFACES IS NOT IMPEDED. MAINTENANCE OF THE SOD WILL BE THE RESPONSIBILITY OF CONTRACTOR UNTIL ACCEPTANCE BY THE OWNER, OR AUTHORIZED REPRESENTATIVE. MOWING SHALL BE DONE OFTEN ENOUGH SO NO MORE THAN ONE-THIRD THE HEIGHT OF THE GRASS BLADE IS REMOVED. THE SOD SHALL BE GUARANTEED FREE OF WEEDS AND PESTS THAT AFFECT ITS UNIFORM APPEARANCE UNTIL FINAL ACCEPTANCE. SOD LINES AT BEDS, TREE RINGS, PAVEMENTS SHALL BE CUT EVEN AND SHARP.

TREE GUYING AND STAKING: SEE PLANTING DETAILS.

PLANTING: REMOVE THE EXCAVATED SOIL MATERIAL FROM THE PLANT HOLES. INSTALL PLANTS AT THE CORRECT LEVEL (SEE DETAILS). GROUND COVER PLANTING AREAS ARE TO BE EXCAVATED TO A DEPTH OF SIX INCHES, AND PLANTING SOIL ADDED AS SPECIFIED. SHRUB PLANTING AREAS ARE TO BE EXCAVATED SIX INCHES DEEPER THAN THE ROOT DEPTH AND SIX INCHES GREATER IN RADIUS AND PLANTING SOIL ADDED AS SPECIFIED.

ALL SPECIMEN TREES AND MULTI STEM PALMS ARE TO BE ORIENTED ON-SITE BY LANDSCAPE ARCHITECT. NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF 7 DAYS PRIOR TO INSTALLATION.

SET ALL PLANTS ON A FIRM WELL COMPACTED BASE IN A STRAIGHT, UPRIGHT POSITION, AT THE SAME DEPTH AS BEFORE PLANTING SO THAT THE TOP OF THE ROOT BALL IS EQUAL TO THE LEVEL OF THE SURROUNDING FINISHED GRADE. WHEN BACKFILLING AROUND THE PLANTS, TAMP AND WATER IN THE PLANTING SOIL TO ELIMINATE AIR POCKETS. RE-LEVEL AND FILL ANY AREAS THAT SETTLE AFTER COMPLETION OF THE JOB. THE OWNER OR AUTHORIZED REPRESENTATIVE WILL REQUIRE PLANTS BE RESET IF NOT SET PROPERLY OR LEANING.

DISPOSAL: CONTRACTOR SHALL MAINTAIN JOB SITE IN A CLEAN AND ORDERLY CONDITION. REMOVE ANY LANDSCAPE DEBRIS OR UNSUITABLE MATERIAL GENERATED BY THE CONTRACTOR OR HIS SUB-CONTRACTORS DAILY.

PRUNING: ALL TREES SHALL BE PRUNED PRIOR TO FINAL INSPECTION. ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH STANDARDS SET FORTH IN THE ANSI A3000 GUIDELINES. LIMIT PRUNING TO BROKEN OR DAMAGED STEMS OR AS DIRECTED BY LANDSCAPE ARCHITECT. PRUNING SHALL NOT ADVERSELY AFFECT THE NATURAL HABIT OR SHAPE OF PLANTS UNLESS OTHERWISE DIRECTED. ROOTS THAT ARE BROKEN OR JAGGED SHALL BE CUT CLEANLY.

THE OWNER OR HIS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REQUIRE ADDITIONAL PRUNING FOR AESTHETIC OR PRUNING: ALL TREES SHALL BE PRUNED PRIOR TO FINAL INSPECTION. ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH STANDARDS SET FORTH IN THE ANSI A3000 GUIDELINES. LIMIT PRUNING TO BROKEN OR DAMAGED STEMS OR AS DIRECTED BY LANDSCAPE ARCHITECT. PRUNING SHALL NOT ADVERSELY AFFECT THE NATURAL HABIT OR SHAPE OF PLANTS UNLESS OTHERWISE DIRECTED. ROOTS THAT ARE BROKEN OR JAGGED SHALL BE CUT CLEANLY. THE OWNER OR AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REQUIRE ADDITIONAL PRUNING FOR AESTHETIC OR OTHER REASONS

CONTRACTOR TO LEAVE JOB SITE CLEAN ON A DAILY BASIS. ALL VEGETATION, ROCKS, BOULDERS, DEBRIS, CONCRETE, OR OTHER UNSUITABLE MATERIALS SHALL BE DISPOSED IN A SUITABLE MANNER BY THE CONTRACTOR.

D. FINAL COMPLETION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING THE JOB SITE FREE OF ALL CONSTRUCTION DEBRIS AND IN AN ORDERLY STATE. PRESSURE CLEAN ALL WALKS, PAVING, AND SITE FEATURES OF DIRT, TIRE MARKS AND OTHER DEBRIS. WEEDING OF PLANT BEDS, PRUNING OF SHRUBS, CUTTING AND TRIMMING OF GRASS WILL BE DONE UNTIL THE JOB IS COMPLETE AND ACCEPTED BY THE OWNER OR AUTHORIZED REPRESENTATIVE. UNTIL FINAL ACCEPTANCE, THE PLANT MATERIALS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

E. GUARANTEE:

ALL PLANT MATERIAL AND WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL JOB ACCEPTANCE. DURING THE SPECIFIED GUARANTEE PERIOD, ANY PLANT MATERIAL THAT DIES, OR IS IN AN UNHEALTHY CONDITION SHALL BE REPLACED WITH THE SAME PLANT TYPE EQUAL TO THE SIZE AND QUALITY ORIGINALLY SPECIFIED. THE REPLACEMENT MATERIAL SHALL BE INSTALLED WITHIN TWO (2) WEEKS OF NOTICE FROM OWNER AND SHALL BE GUARANTEED AS SPECIFIED ABOVE FROM THE DATE OF ITS INSTALLATION. THE GUARANTEE WILL BE NULL AND VOID IF PLANT MATERIAL IS DAMAGED OR KILLED BY VANDALISM, LIGHTNING, HURRICANE FORCE WINDS, HAIL OR FREEZE.

HS2G INC
LANDSCAPE ARCHITECTURE
 4747 NORTH OCEAN DRIVE, SUITE #212
 LAUDERDALE-BY-THE-SEA, FL 33308
 PHONE 954.326.7212
 E-MAIL : PETE@HS2G.NET
 state of florida registered landscape architect #la0000894

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 BAY HARBOUR ISLANDS, FL 33154


REVISIONS

NO.	DESCRIPTION	DATE

SCALE	N/A
DESIGNED BY	PFS
DRAWN BY	PFS
DATE	11/25/2024

DRAWING TITLE

PLANTING NOTES

SEAL:

 Date: _____

SHEET NUMBER

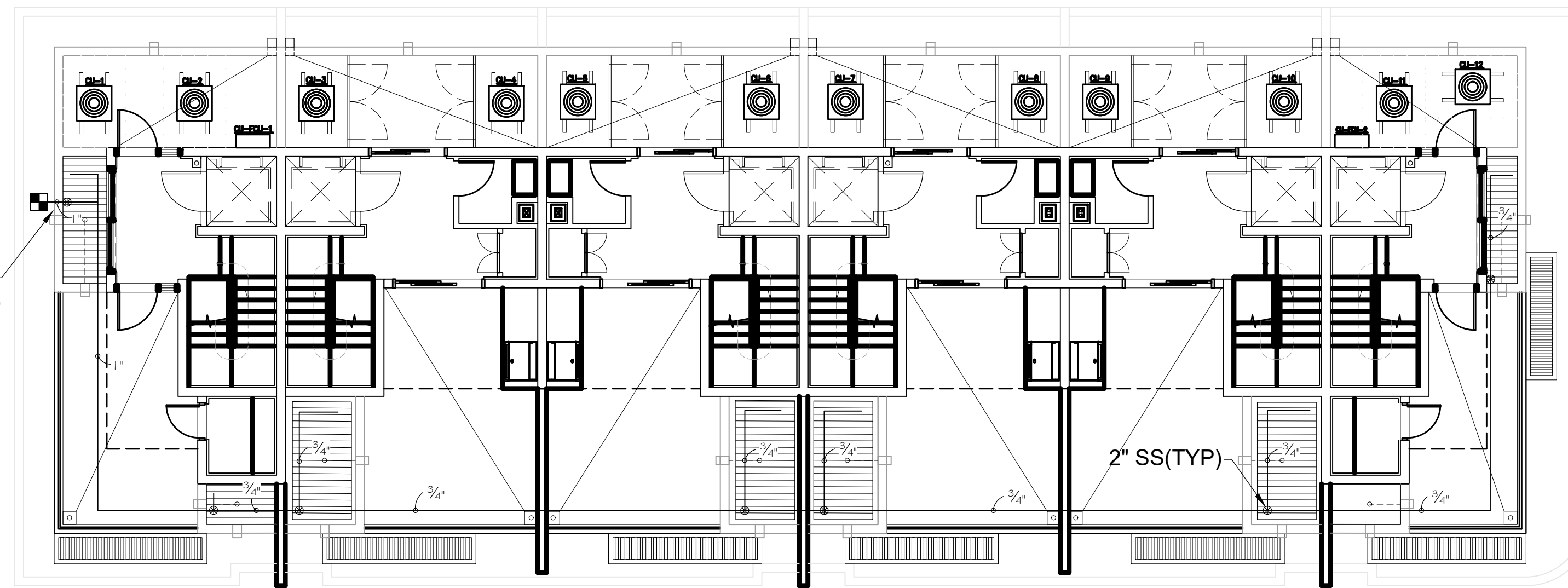
L-4

CAUTION: PLEASE NOTE
 Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner as a result of unauthorized work prior to receipt of permit.

48 HOURS BEFORE DIGGING
CALL 811
 TOLL FREE
 SUNSHINE STATE UTILITIES LOCATION
 ONE CALL CENTER OF FLORIDA

ROOF4
1 1/2" 3.5

APPROX. LOCATION OF 1" RISER PIPE
PROVIDED BY PLUMBER FROM GROUND
TO UPPER PLANTER.

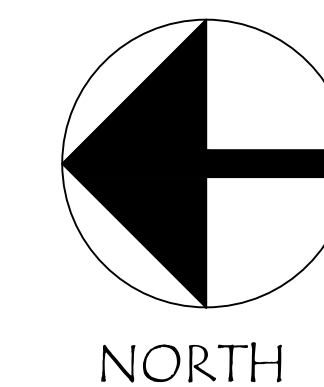
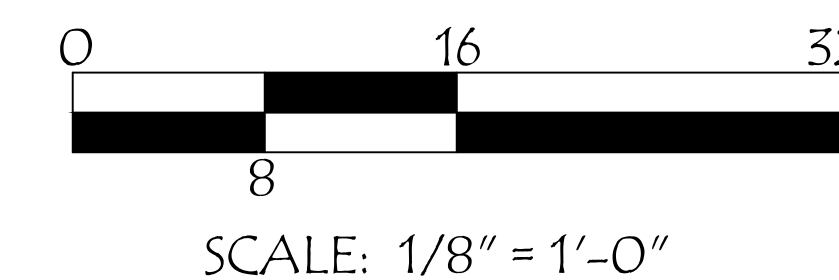


NOTE:
ALL PIPES SHOWN OUT SIDE PLANTERS SHALL BE
HUNG BELOW AT THE FLOOR BELOW. EXACT ROUTING
OF PIPE SHALL BE DETERMINED ON SITE.

ROOF IRRIGATION PLAN

CAUTION: PLEASE NOTE
Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

48 HOURS BEFORE DIGGING
CALL 811
TOLL FREE
SUNSHINE STATE UTILITIES LOCATION
ONE CALL CENTER OF FLORIDA



HS2G INC
LANDSCAPE ARCHITECTURE
4747 NORTH OCEAN DRIVE, SUITE #212
LAUDERDALE-BY-THE-SEA, FL 33308
PHONE 954.326.7212
E-MAIL : PETE@HS2G.NET
state of florida registered landscape architect #la0000894

DOLCE VITA
AT BAY HARBOUR
1085 94TH STREET
BAY HARBOUR ISLANDS, FL 33154

REVISIONS
PER CITY COMMENTS 03/04/2026

SCALE 1/8"=1'-0"
DESIGNED BY PFS
DRAWN BY PFS
DATE 03/04/2026

DRAWING TITLE
IRRIGATION PLAN

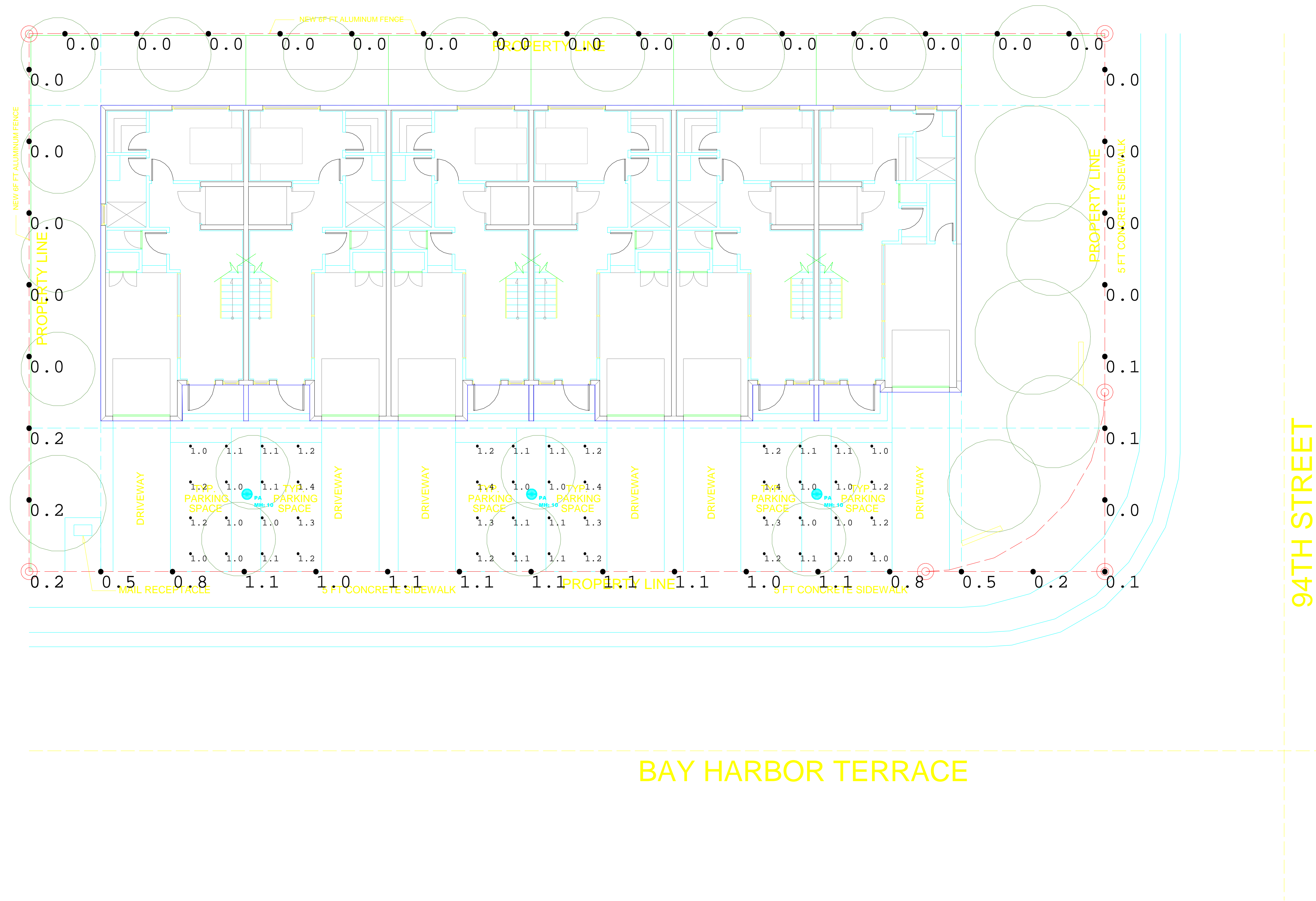
SEAL:

Date: _____

SHEET NUMBER
IRR-2

LUMINAIRE SCHEDULE											
SYMBOL	QTY	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS	ARRANGEMENT WATTS
Ⓢ	3	PA	Single	NLS LIGHTING	DRS3OPTYS16L30-00K	POLE MOUNTED- 12' A.F.D.	NA	0.80	2024	65	65

CALCULATION SUMMARY										
LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVERAGE	MAXIMUM
PARKING & DRIVE	illuminance	Ft	8	8	9	1.14	1.4	0.8	1.34	1.48
PROPERTY LINE	illuminance	Ft	10	N.A.	N.A.	0.30	1.1	0.0	N.A.	N.A.



PHOTOMETRIC REPORT

Scale: 1 inch= 8 Ft.

DESCRIPTION:
PARKING
NORMAL POWER

DATE:
12/5/2024

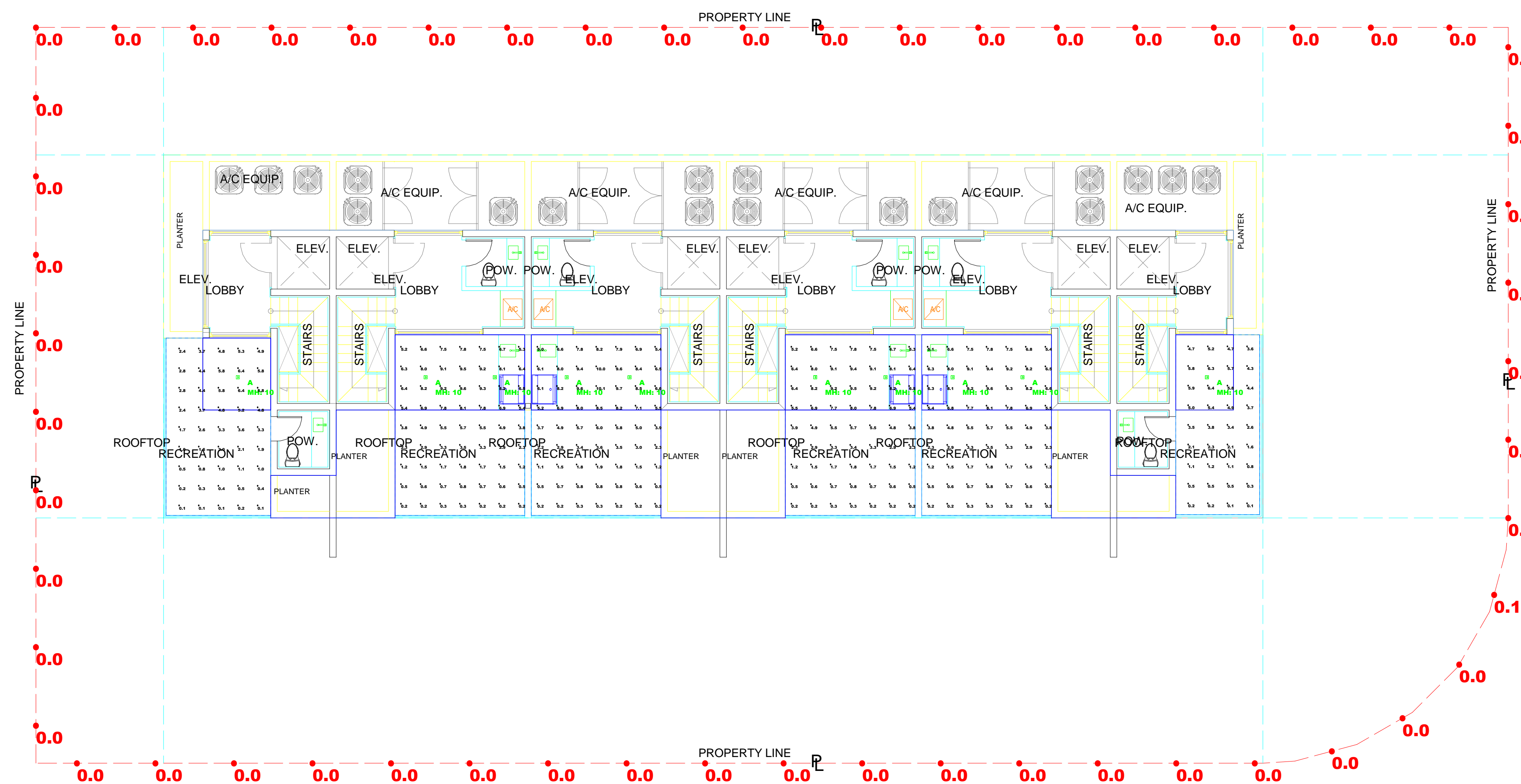
PROJECT:
1085 TOWNHOMES

REV# 0



CALCULATION SUMMARY										
LABEL	CALC TYPE	UNITS	SPACING L-R (FT)	SPACING T-B (FT)	HEIGHT (FT)	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PROPERTY LINE	Illuminance	Fc	8	N.A.	N.A.	0.01	0.1	0.0	N.A.	N.A.
ROOFTOP 1 Floor	Illuminance	Fc	2	2	0	2.72	6.4	0.1	27.20	64.00
ROOFTOP 2 Floor	Illuminance	Fc	2	2	0	4.45	9.6	0.2	22.25	48.00
ROOFTOP 3 Floor	Illuminance	Fc	2	2	0	4.56	10.1	0.2	22.80	50.50
ROOFTOP 4 Floor	Illuminance	Fc	2	2	0	4.44	9.5	0.2	22.20	47.50
ROOFTOP 5 Floor	Illuminance	Fc	2	2	0	4.44	9.6	0.2	22.20	48.00
ROOFTOP 6 Floor	Illuminance	Fc	2	2	0	3.05	6.4	0.1	30.50	64.00

LUMINAIRE SCHEDULE											
SYMBOL	QTY	LABEL	ARRANGEMENT	MANUFACTURER	CATALOG NUMBER	MOUNTING	EMERGENCY	LLF	LUMINAIRE LUMENS	LUMINAIRE WATTS	
	10	A	Single	LUMENWERX	AE4SRB SW 14W 90DEG 3STP 80CRI 30K TRM SDL FTMB WET	RECESSED	N/A	0.760	1242	14	



Scale: 1 inch= 8 Ft.

DESCRIPTION:
ROOFTOP
NORMAL POWER

DATE:
12/23/2024

PROJECT:
1085 TOWNHOMES

REV# 0



AGENDA ITEM REPORT

June 9, 2026

ITEM NUMBER: 2.

ITEM: Request for approval for a new single-family home for “Inna Barukhin” located at 1260 99 Street, Lot 5 of Block 28. The owner is proposing to construct a new single-family home. The owner is proposing to demolish the existing 1954 home and construct a new two-story single-family residence. The new home will have approximately 7,465 square feet of a/c living space. The proposed residence will have five bedrooms, five full bathrooms, two half baths, a two-car garage and a pool. Enclosed please find the site plan and elevations. (Item #2)

DESCRIPTION:

RECOMMENDED ACTION:

The design meets the Town Code and was approved by Lorraine Belle, Town Planner.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Martinez
 Ayanidys Martinez

ATTACHMENTS

1.	Narrative Barukhim Residence
2.	1290 99 Street DRB Set 6.9.2026
3.	BHI-DRB Staff Report-1260 99 St

toma design group inc.

20900 N.E. 30th Ave, Suite # 1001, Aventura, FL, 33180
T. 786-206-7290 / F. 1305 425 0327 / info@tomadesigngroup.com

LETTER OF INTENT

NARRATIVE AND PROJECT DESCRIPTION

Town of Bay Harbor Islands
Design Review Board Building and Zoning Department
9665 Bay Harbor Terrace
Bay Harbor Islands, Florida 33154
Building and Zoning Department

RE: Proposed New Custom Single-Family Residence

Property Address: **1260 99th Street**

Date: 3/16/2026

Dear Building and Zoning Department,

It is with great pleasure that we present the architectural design for a new two-story single-family residence located on an existing residential lot at 1260 99th Street.

The proposed project consists of the construction of a contemporary tropical residence designed to emphasize horizontal architectural expression, natural materials, and a strong integration between architecture, landscape, and outdoor living spaces. The design seeks to create a balanced and refined residential structure that responds to the South Florida climate while maintaining compatibility with the surrounding neighborhood scale and character.

The architectural concept is organized around a composition of clean rectilinear volumes defined by generous roof overhangs and layered façade elements. The building mass is articulated through the use of recessed planes, vertical screening elements, and framed architectural volumes that reduce the perceived scale of the structure while creating depth and visual interest along the street frontage. The overall massing is intentionally restrained, maintaining proportions consistent with neighboring residential homes while introducing a contemporary architectural language.

The front elevation is designed to provide privacy from the street while creating a welcoming and carefully layered entry sequence. A horizontal architectural frame defines the main entry portal and establishes a transitional space between the public streetscape and the private interior of the residence. Vertical wood-tone screening elements are incorporated to provide solar shading, privacy, and texture while maintaining visual permeability and lightness along the façade. Landscaping and low fencing further soften the street presence and contribute to a pedestrian-friendly frontage.

Exterior materials include natural stone cladding, warm wood-tone architectural screening elements, smooth stucco finishes, and large high performance glazing systems.

These materials were selected to ensure durability in a coastal environment while providing warmth, texture, and visual balance within the architectural composition. A continuous flat roof plane with extended overhangs provides solar protection, reinforces the strong horizontal expression of the design, and contributes to energy efficiency.

toma design group inc.

20900 N.E. 30th Ave, Suite # 1001, Aventura, FL, 33180
T. 786-206-7290 / F. 1305 425 0327 / info@tomadesigngroup.com

The interior program is organized to maximize natural light, spatial openness, and connection to exterior living areas. The ground floor contains the primary social spaces of the residence, including living, dining, and kitchen areas, which open directly onto covered terraces and outdoor entertainment areas. Large sliding glass openings in the rear allow for seamless indoor-outdoor connectivity while maintaining environmental performance through deep soffits and recessed glazing.

The rear elevation is designed to fully engage the outdoor living environment through expansive glazing, a covered terrace, and integrated outdoor amenities. The outdoor program includes a swimming pool, landscaped garden areas, and shaded gathering spaces that create a gradual transition between interior living areas and the backyard. These elements are arranged to promote outdoor living while maintaining privacy through thoughtful landscaping and architectural screening.

The second level accommodates the private bedroom suites and family areas of the home. The upper floor is expressed as a lighter horizontal volume that appears to float above the ground level through recessed glazing and vertical architectural elements. Planted terrace edges and integrated planters soften the architectural mass while providing additional greenery that enhances the tropical character of the residence.

Vehicular access and garage placement are carefully positioned to minimize visual prominence along the street façade. The garage door and driveway are integrated into the overall architectural composition through consistent materiality, landscaping, and horizontal design elements. Landscape design emphasizes tropical and native plant species that complement the architectural palette while supporting environmental sustainability and reducing irrigation requirements.

Overall, the project aims to create a refined contemporary residence that integrates architecture, landscape, and outdoor living into a cohesive and balanced design. Through careful attention to massing, material selection, environmental responsiveness, and contextual sensitivity, the proposed residence contributes positively to the character of the neighborhood while providing a high-quality residential environment suited to the South Florida climate.

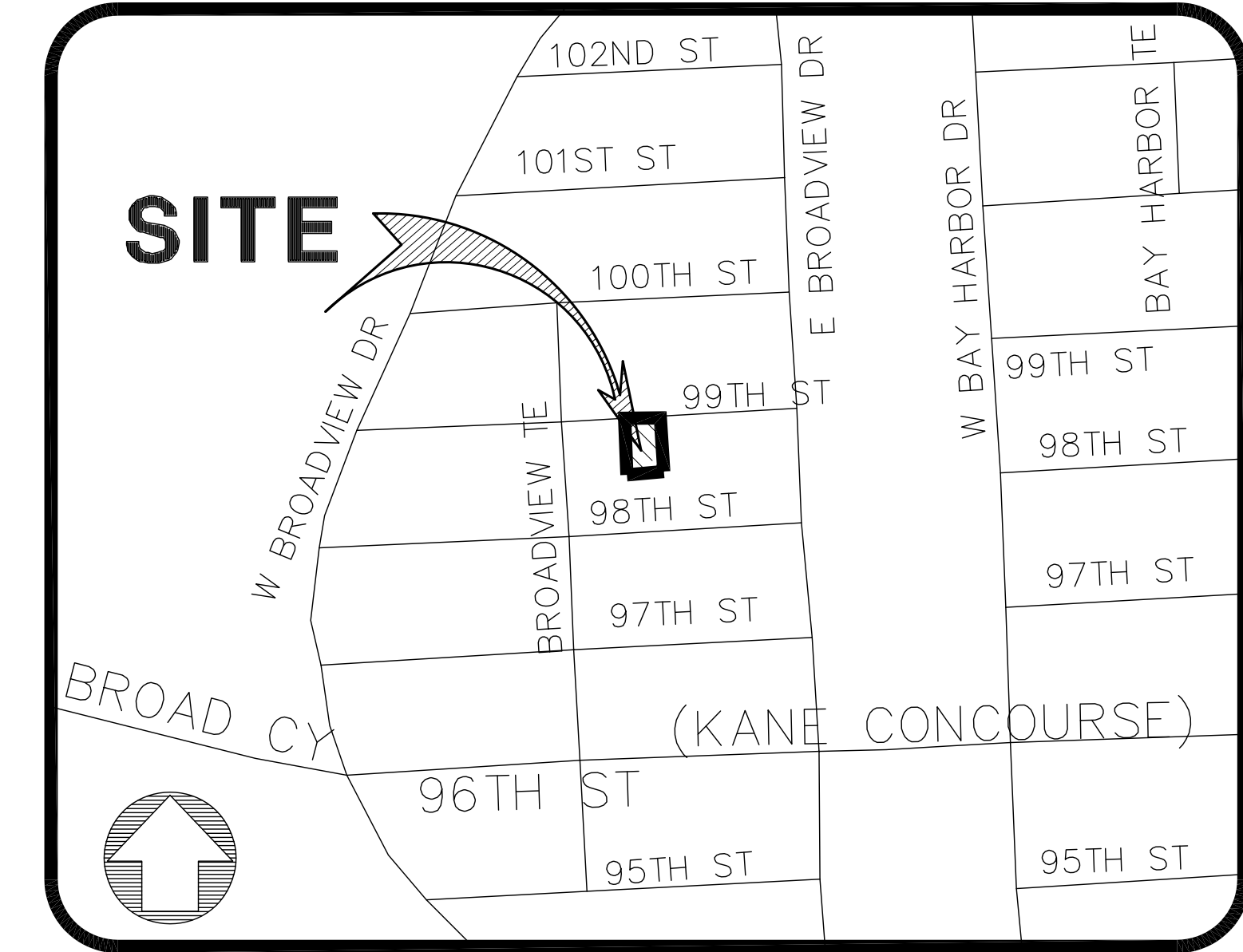
Sincerely,

Martin Litman

Toma Design Group Inc.

BOUNDARY & TOPOGRAPHIC SURVEY AND TREE SURVEY

OF
1260 99TH STREET,
BAY HARBOUR ISLANDS, FLORIDA 33154



VICINITY MAP
NOT TO SCALE

SURVEYOR'S NOTES:

SECTION 1) DATE OF FIELD SURVEY:

Last day of field work was performed on December 16th, 2025.

SECTION 2) LEGAL DESCRIPTION:

Lots 5, Block 28, "BAY HARBOR ISLAND," according to the Plat thereof, as recorded in Plat Book 46, at Page 5, of the Public Records of Miami-Dade County, Florida.

SECTION 3) ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the "Standards of Practice for Land Surveying in the State of Florida," require for this Type of Survey as defined in Rule 5J-17.051, Florida Administrative Code.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of (1"=15') or smaller.

SECTION 4) SOURCES OF DATA:

North arrow direction is based on an assumed Meridian.

Bearings as shown hereon are based upon the Centerline of 99th Street; with an assumed bearing of S86°54'14"W, said line to be considered a well established and monumented line.

This property is to be located in Flood Zone "AE", Elev.=8 feet, as per Federal Emergency Management Agency (FEMA) Community Number 120637 (Town of Bay Harbour Islands), Map Panel No. 12086C0144, Suffix L, Map Revised Date: September 11, 2009.

Elevations as shown hereon are based on the National Geodetic Vertical Datum of 1929, as per Miami-Dade County's Benchmark Number R-243, Elevation 6.61 feet.

SECTION 5) LIMITATIONS:

Since no other information were furnished other than what is cited in the Sources of Data, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Miami-Dade County.

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear of public records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities. No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

SECTION 6) CLIENT INFORMATION:

This Boundary Survey was prepared at the request of and certified to:

INNA BARUKHIN

SECTION 7) SURVEYOR'S CERTIFICATE:

I hereby certify: That this "Boundary Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary Survey" meets the intent of the applicable provisions of the "Standards of Practice for Land Surveying in the State of Florida", pursuant to Rule 5J-17.051 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

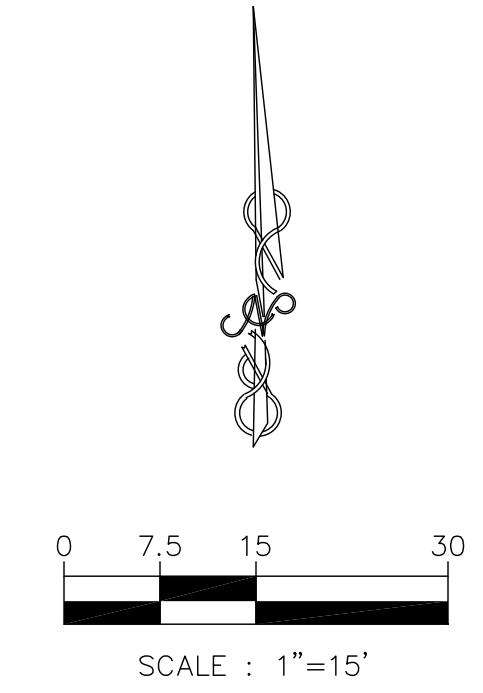
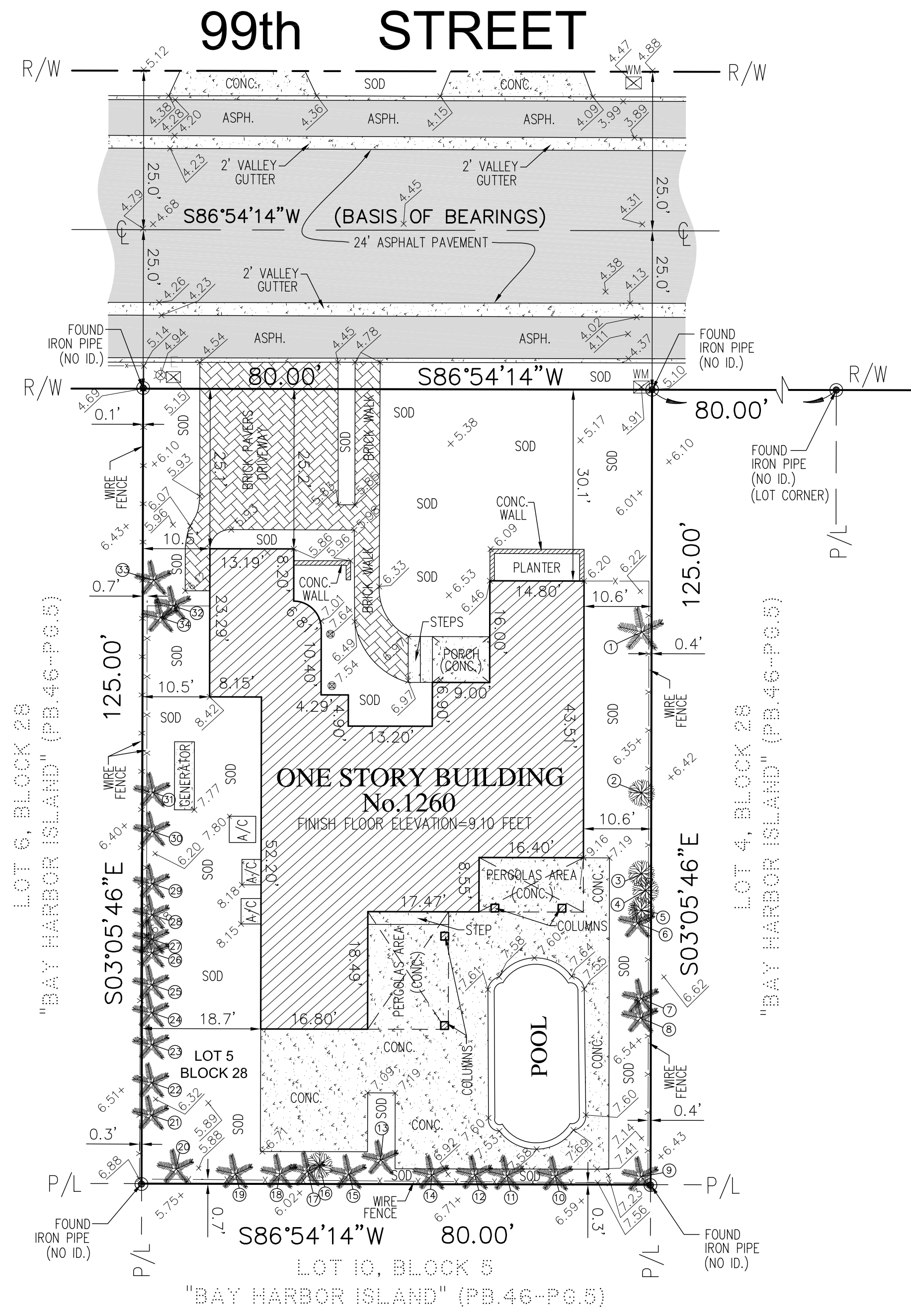
BENNY SUAREZ SURVEYING INC., a Florida Corporation
Florida Certificate of Authorization Number LB8104

By: Benigno J. Suarez, PSM Date: _____
Registered Surveyor and Mapper LS6583
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

ABBREVIATIONS
AND LEGEND

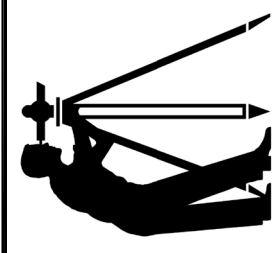
- = CENTRAL ANGLE
- = WOOD FENCE
- = WIRE FENCE
- = C.B.S. WALL
- = DIAMETER
- = IRON FENCE
- = METAL LIGHT POLE
- = GUY WIRE
- = UTILITY POWER POLE
- = FIRE HYDRANT
- = WATER METER
- = ELECTRIC BOX
- = TELEPHONE BOX
- = CONCRETE
- = LIGHT POLE
- = GAS VALVE
- = WATER VALVE
- = WATER MANHOLE
- = UNKNOWN MANHOLE
- = SPOT ELEVATION
- = SEWER MANHOLE
- = TRAFFIC SIGN
- = CATCH BASIN
- = IDENTIFICATION
- = ASPHALT
- = SIDEWALK
- = COVERED PORCH
- = UTILITY EASEMENT
- = UTILITY POLE
- = VALLEY GUTTER
- = WATER METER
- = WATER VALVE
- = DRIVEWAY
- = INVERTS
- = STORY
- = OVERHEAD WIRES
- = AIR CONDITIONING PAD
- = ARC DISTANCE
- = BUILDING
- = CANOPY
- = CATCH BASIN
- = CONCRETE BLOCK W/ STUCCO
- = CURB & GUTTER
- = CHORD DISTANCE
- = CLEAR
- = HEIGHT
- = LOWEST FLOOR ELEVATION
- = LIGHT POLE
- = MAINTENANCE & DRAINAGE EASEMENT
- = BLOCK CORNER
- = MANHOLE
- = MONUMENT LINE
- = METAL SHED ON CONCRETE
- = NATIONAL GEODETIC VERTICAL DATUM
- = PERMANENT REFERENCE MONUMENT
- = CENTER LINE
- = CONCRETE
- = CONCRETE SLAB
- = ENCROACHMENT
- = ELECTRIC TRANSFORMER PAD
- = FIRE HYDRANT
- = FOUND IRON PIPE
- = FOUND NAIL & DISK
- = FOUND REBAR
- = NOT TO SCALE
- = OVERHEAD
- = OFFICIAL RECORDS BOOK
- = PLAT BOOK
- = PERMANENT CONTROL POINT
- = PAGE
- = POINT OF BEGINNING
- = POINT OF COMMENCEMENT
- = MEASURED
- = RECORDED
- = PLANTER
- = PROPERTY LINE
- = RADIUS
- = RADIAL
- = RECORDED & MEASURED
- = RESIDENCE
- = RIGHT-OF-WAY
- = SECTION
- = FINISH FLOOR ELEVATION



TREE TABLE

Tree #	Tree Type	Diameter(in)	Height(ft)	Spread(ft)
1	ARECAS	4"	20'	9'
2	CHINESE BANYAN	60"	35'	35'
3	COCOPLUM	12"	15'	12'
4	COCOPLUM	12"	14'	10'
5	COCOPLUM	14"	15'	12'
6	PALM	8"	18'	10'
7	PALM	7"	16'	12'
8	PALM	8"	18'	12'
9	PALM	9"	17'	14'
10	PALM	9"	18'	10'
11	PALM	8"	18'	10'
12	PALM	8"	17'	10'
13	ARECAS	5"	18'	8'
14	PALM	6"	16'	8'
15	PALM	5"	15'	8'
16	COCOPLUM	14"	15'	12'
17	PALM	6"	16'	8'
18	PALM	7"	18'	8'
19	PALM	7"	19'	10'
20	PALM	6"	16'	9'
21	PALM	8"	15'	8'
22	PALM	6"	16'	9'
23	PALM	6"	15'	8'
24	PALM	7"	16'	8'
25	PALM	6"	12'	8'
26	PALM	8"	13'	8'
27	PALM	6"	13'	8'
28	PALM	6"	16'	10'
29	PALM	5"	14'	8'
30	PALM	5"	16'	10'
31	PALM	6"	16'	11'
32	ROYAL PALM	14"	10'	8'
33	PALM	7"	18'	10'
34	PALM	7"	19'	12'

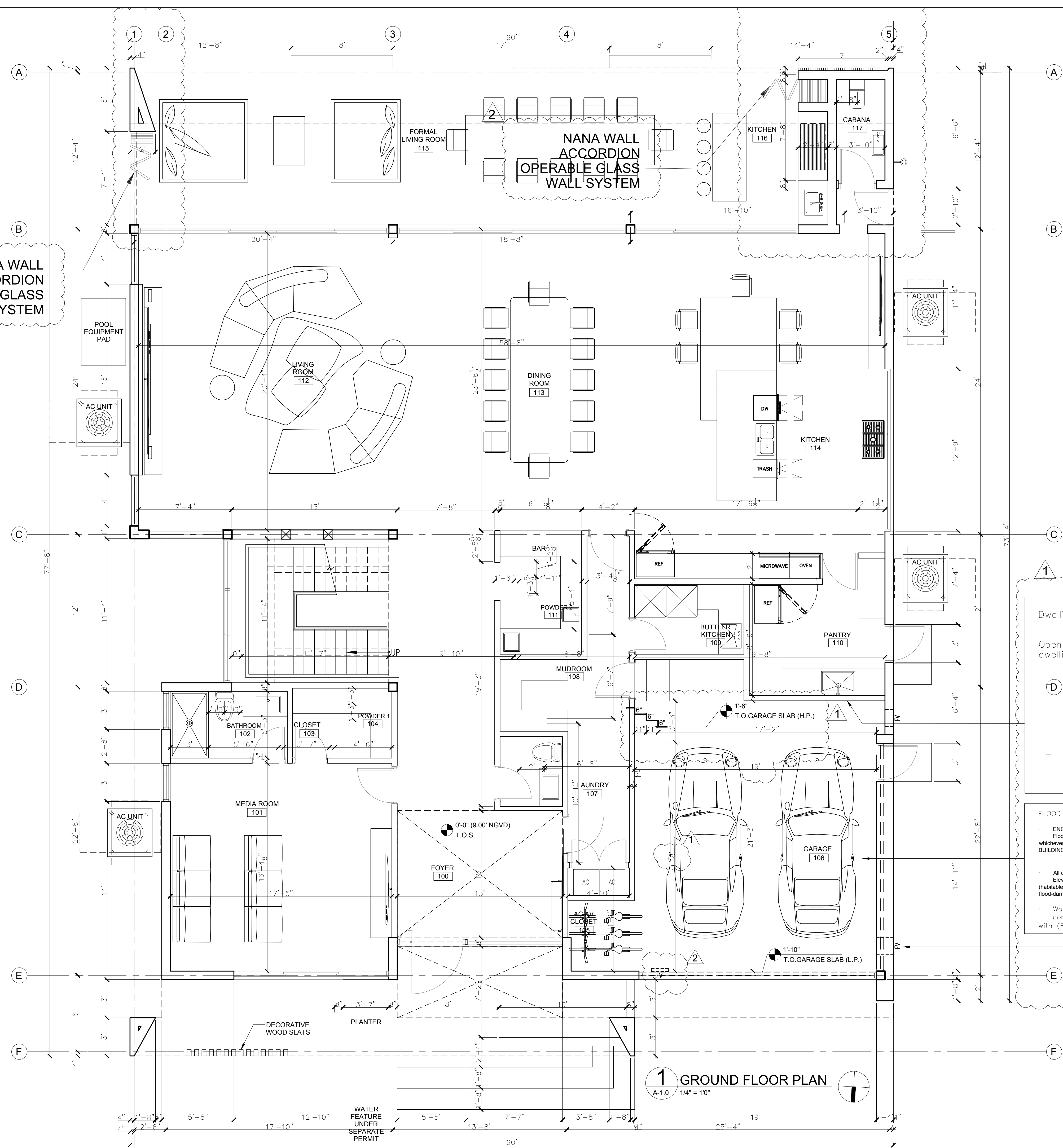
BENNY SUAREZ SURVEYING INC.
16631 S.W. 57th STREET, MIAMI, FLORIDA 33193
PH: (305) 807-8319 Email: benysuarez@msn.com



No.	DATE	DESCRIPTION
01-16-26		ADD ELEVATIONS

BOUNDARY & TOPOGRAPHIC SURVEY
INNA BARUKHIN
1260 99TH STREET, BAY HARBOUR ISLANDS, FLORIDA 33154

JOB No: 2025-166
DRAWN BY: A.T.
CHECKED BY: B.J.S.
FIELD BOOK: FILE
DATE: 12/23/2025
SCALE: AS SHOWN
SHEET: **1**
1 OF 1



NANA WALL
ACCORDION
OPERABLE GLASS
WALL SYSTEM

Dwelling-garage opening and penetration protection notes:

Openings and penetrations through the walls or ceilings separating the dwelling from the garage shall meet the following criteria:

- Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel, 1 inch (25.4 mm) minimum rigid nonmetallic Class 0 or Class 1 duct board, or other approved material and shall not have openings into the garage.
- Fireblocking shall be provided at openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E136 requirements.

FLOOD NOTES:

- ENCLOSED AREAS BELOW THE DFE OR, the Lowest Floor (habitable) elevation whichever is higher SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE
- All construction and finish material below Design Flood Elevation, OR the Lowest Floor (habitable) elevation whichever is higher shall be flood-damage-resistant material.
- Wood cladding on Exterior Walls must comply with (FBC 2023, 1403.5).

(2) 8X16 SMART VENT DUAL ACTION FLOOD AND VENTILATION VENT MODEL 1540-510, and,
(1) 8X16 GARAGE DOOR INSULATED FLOOD VENTILATION MODEL 1540-524 WITH A HYDROSTATIC RELIEF CAPACITY OF 200 S.F. PER VENT.
GARAGE AREA = 416 S.F.
REFER TO DETAIL ON PAGE A-6.2

NOTES:

- ANY LOUVERED, SCREEN OR OTHER OPENING COVER SHALL NO BLOCK OR IMPEDE THE AUTOMATIC FLOW OF THE FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA.
- FLOOD OPENINGS SHALL NOT BE LESS THAN 3" IN ANY DIRECTION IN THE PLANE OF THE WALL

1 GROUND FLOOR PLAN
A-1.0 1/4" = 1'0"

Revisions		
No.	Date	Description
1	02-09-26	DRB COMMENTS
2	04-30-26	DRB COMMENTS

OSVALDO MARRERO
ARCHITECT
ARCHITECT
MA • NCARB

AR0015952
AZ6003029

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TO THE BEST OF MY KNOWLEDGE THE PLANS AND APPLICABLE SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND 633 FLORIDA STATUTES, CHAPTER 1 105.13.4.4 OF (FLORIDA BUILDING CODE 2023)

BARUKHIN RESIDENCE
1260 99th ST
Bay Harbor Islands, FL 33154

PROJECT

GROUND FLOOR PLAN

SHEET TITLE

TOMA DESIGN GROUP INC.

1025 E. Palm Beach Blvd., Suite 100, West Palm Beach, FL 33411
Tel: (561) 401-2223 Fax: (561) 406-4077
2000 N.W. 20th Ave. #101 1025 E. Palm Beach Blvd., Suite 100, West Palm Beach, FL 33411
Atlanta, FL 33150

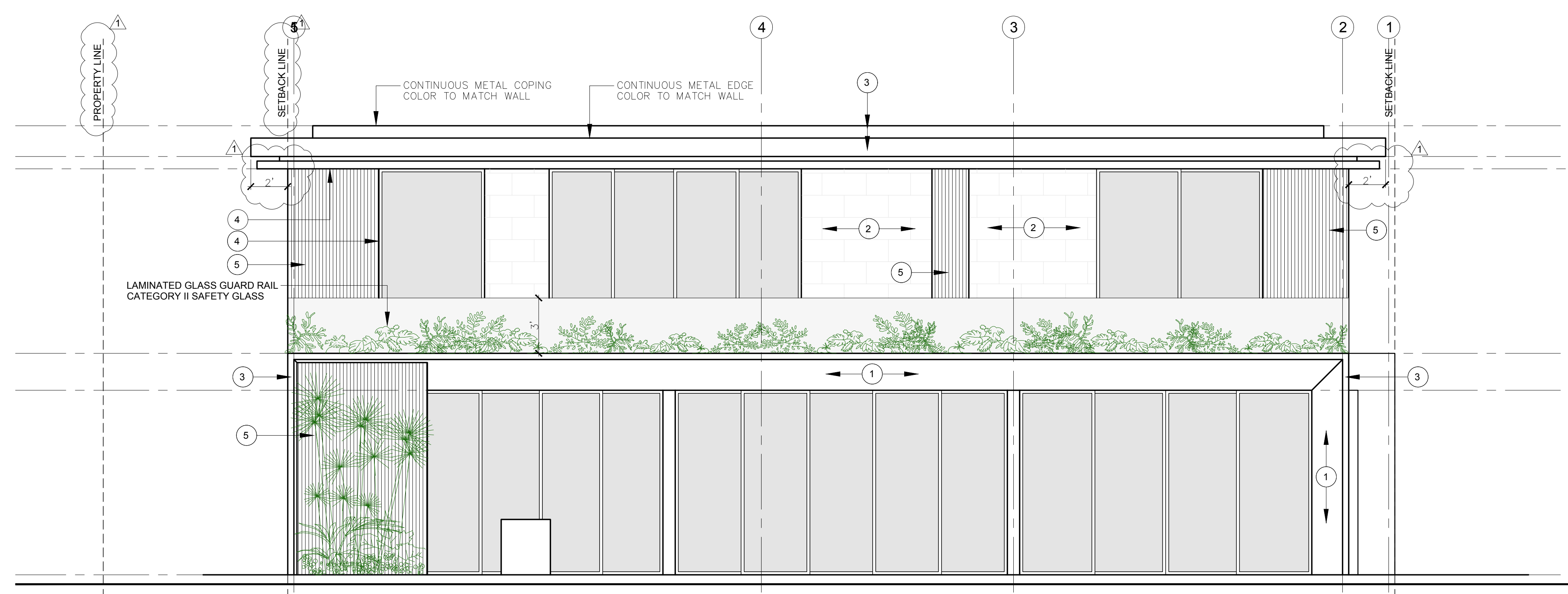
Date: 10/20/2025
Drawn by: M.T.
Checked by: M.L.
Scale: AS SHOWN

Sheet No: A-1.0
CAD ID:



1 FRONT (NORTH) ELEVATION
A-2.0 1/4" = 1'0"

SYMBOL LEGEND		
1	NewTechWood America Allweather Model US09 Composite Cladding Panels and fascia Color: Cedar	
2	Travertine Porcelain Tile	
3	SW 7005 PURE WHITE OVER STUCCO	
4	Bronze Anodized Aluminum Window and door frames, break metal and wall cladding	
5	Vertical wood slats color to match composite cladding	



2 REAR (SOUTH) ELEVATION
A-2.0 1/4" = 1'0"

	FINISH PERCENTAGES									
	FRONT (NORTH) ELEVATION		REAR(SOUTH) ELEVATION		RIGHT SIDE (WEST) ELEVATION		LEFT SIDE (EAST) ELEVATION		TOTALS	
	SF	%	SF	%	SF	%	SF	%	SF	%
COMPOSITE CLADDING	288	20%	100	7%	0	0%	0	0%	388	6%
TRAVERTINE PORCELAIN TILE	306	21%	169	12%	599	34%	529	32%	1603	26%
WHITE STUCCO	85	6%	94	7%	663	38%	521	31%	1363	22%
BRONZE ANODIZED ALUMINUM	70	5%	95	7%	138	8%	91	5%	394	6%
VERTICAL WOOD SLATS	278	19%	199	18%	92	5%	45	3%	618	10%
GLAZING	433	29%	710	49%	248	15%	486	29%	1874	30%
TOTALS	1460	100%	1367	100%	1741	100%	1672	100%	6240	100%

Revisions		
No.	Date	Description
1	02-09-26	DRB COMMENTS

OSVALDO MARRERO
ARCHITECT
ARCHITECT
AZ2603029

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF TOMA DESIGN GROUP, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF TOMA DESIGN GROUP, INC.

TO THE BEST OF MY KNOWLEDGE THE PLANS AND APPLICABLE SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND 633 FLORIDA STATUTES, CHAPTER 1, 105, 13, 4.4 OF (FLORIDA BUILDING CODE 2023)

BARUKHIN RESIDENCE
1260 99th St
Bay Harbor Islands, FL 33154

Project: _____
Sheet Title: FRONT/REAR ELEVATIONS

TOMA DESIGN GROUP INC.

Tel: (305) 401-2223
2905 NE 29th Ave #101
Atlanta, FL 33130

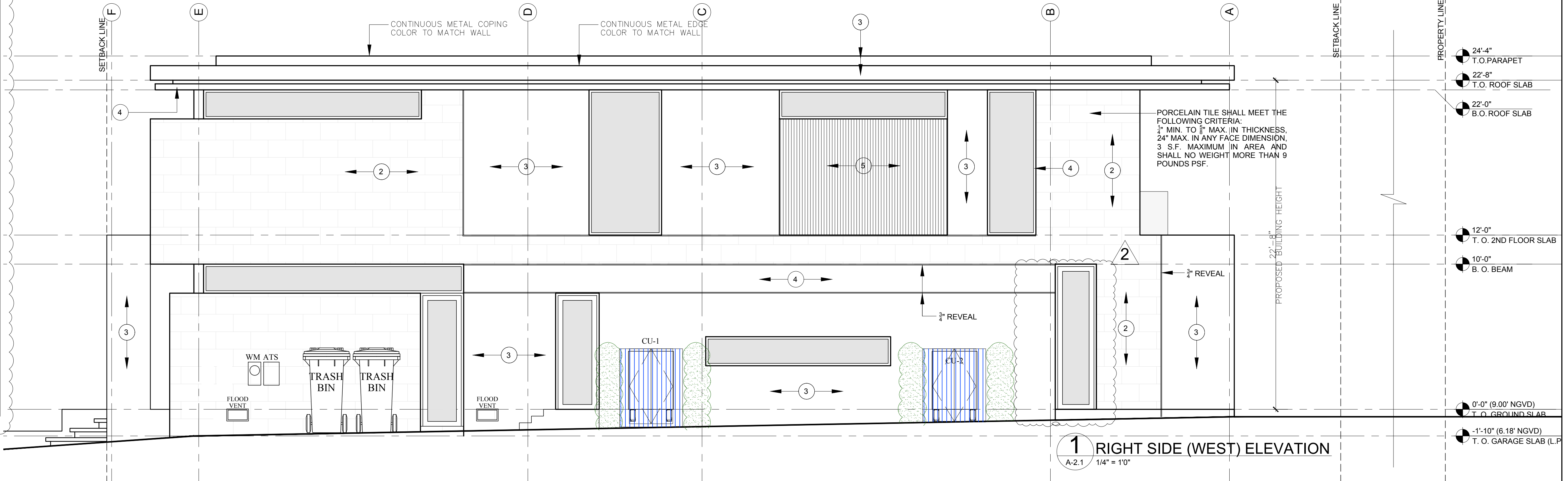
Fax: (305) 484-4077
1025 E. Marino Blvd
Southwest Ranches, FL 33330

Date	10/20/2025
Drawn by	M.T.
Checked by	M.L.
Scale	AS SHOWN

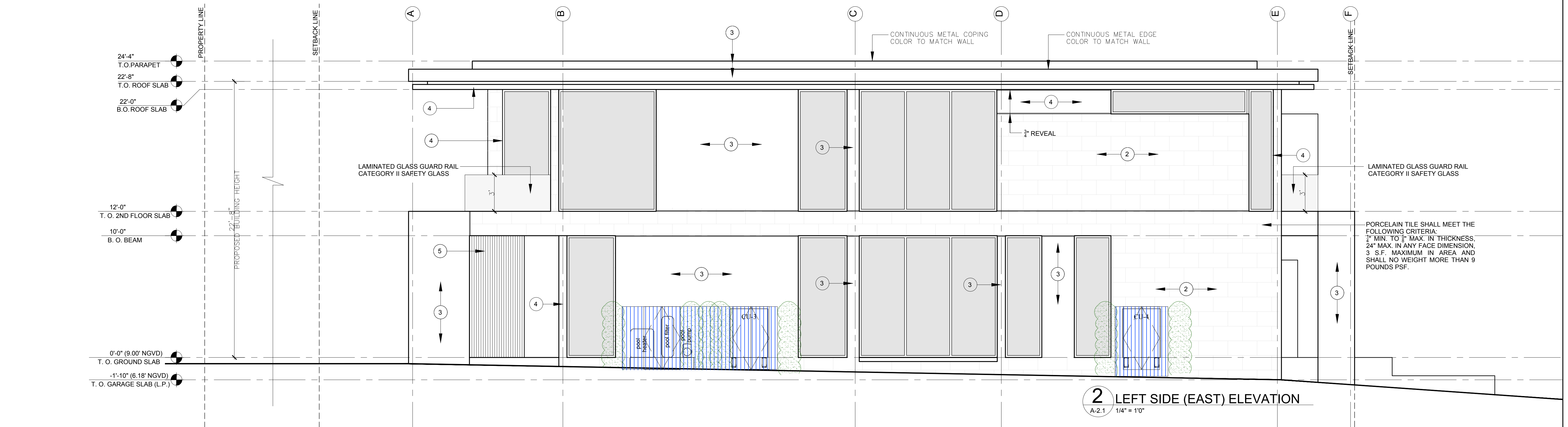
Sheet No:
A-2.0
CAD ID:

SYMBOL LEGEND

1	NewTechWood America Allweather Model US09 Composite Cladding Panels and fascia Color: Cedar	
2	Travertine Porcelain Tile	
3	SW 7005 PURE WHITE OVER STUCCO	
4	Bronze Anodized Aluminum Window and door frames, break metal and wall cladding	
5	Vertical wood slats color to match composite cladding	



1 RIGHT SIDE (WEST) ELEVATION
A-2.1 1/4" = 1'0"



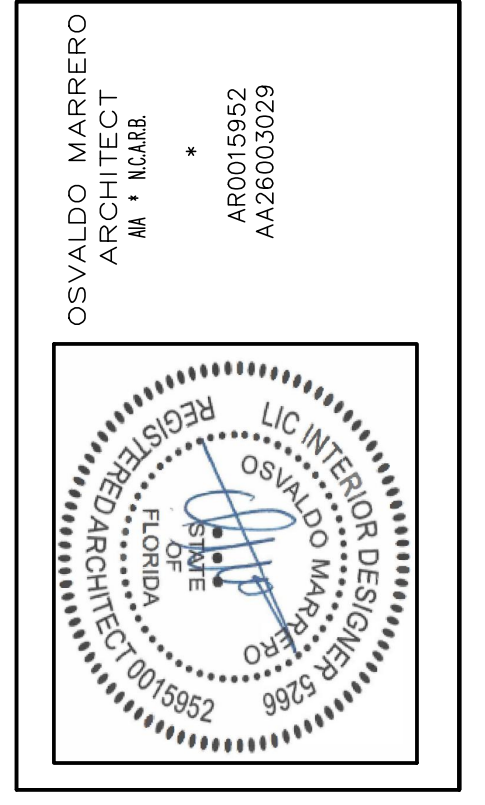
2 LEFT SIDE (EAST) ELEVATION
A-2.1 1/4" = 1'0"

FINISH PERCENTAGES

	FRONT (NORTH) ELEVATION		REAR(SOUTH) ELEVATION		RIGHT SIDE (WEST) ELEVATION		LEFT SIDE (EAST) ELEVATION		TOTALS	
	SF	%	SF	%	SF	%	SF	%	SF	%
COMPOSITE CLADDING	288	20%	100	7%	0	0%	0	0%	388	6%
TRAVERTINE PORCELAIN TILE	306	21%	169	12%	599	34%	529	32%	1603	26%
WHITE STUCCO	85	6%	94	7%	663	38%	521	31%	1363	22%
BRONZE ANODIZED ALUMINUM	70	5%	95	7%	138	8%	91	5%	394	6%
VERTICAL WOOD SLATS	278	19%	199	18%	92	5%	45	3%	618	10%
GLAZING	433	29%	710	49%	248	15%	486	29%	1874	30%
TOTALS	1460	100%	1367	100%	1741	100%	1672	100%	6240	100%

Revisions

No.	Date	Description
1	04-30-26	DRB COMMENTS



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BARUKHIN RESIDENCE
1260 99th St
Bay Harbor Islands, FL 33154

SIDE ELEVATIONS

TOMA DESIGN GROUP INC.
Tel: (305) 401-2223 Fax: (305) 406-4077
2700 NE 28th Ave #101 10251 E. Bayshore Blvd
Miami, FL 33136 Southfield, FL 33156

Date: 10/20/2025
Drawn by: M.T.
Checked by: M.L.
Scale: AS SHOWN

Sheet No: **A-2.1**



Revisions

No.	Date	Description
1	03-16-26	CITY COMMENTS
2	04-15-26	CITY COMMENTS

OSVALDO MAREFO
ARCHITECT
M. A. M.A.R.

AR0015952
AZ2603029

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Project: BARUKHIN RESIDENCE
1260 99th St
Bay Harbor Islands, FL 33154

Sheet Title: RENDERS

TOMA DESIGN GROUP INC.

The (305) 461-2223 Fax (305) 488-4077
2000 W. 20th Ave. #101 1223 S. Broward Blvd.
Aurora, FL 32706 Southwest Ranches, FL 33306

Date: 10/20/2025
Drawn by: M.T.
Checked by: M.L.
Scale: AS SHOWN

Sheet No: R-1.0
CAD ID:



Revisions

No.	Date	Description
1	03-16-26	CITY COMMENTS

OSVALDO MAREIRO
ARCHITECT
M.A. M.A.R.A.

AR0015952
AZ2600329

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Project: BARUKHIN RESIDENCE
1260 99th St
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Sheet Title: RENDERS

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Tel: (305) 461-2223 Fax: (305) 468-4077
3000 W. 20th Ave #101 1225 E. Memorial Drive
Miami, FL 33135 Southfield, FL 33233

Date: 10/20/2025
Drawn by: M.T.
Checked by: M.L.
Scale: AS SHOWN

Sheet N: R-3.0
CAD ID:

PRELIMINARY SITE DEVELOPMENT & DRAINAGE PLANS

BARUKHIN RESIDENCE – 1260 99th St BAY HARBOR ISLANDS, FLORIDA

ENGINEERING NOTES:

- IF DISCREPANCIES FOUND ON THESE PLANS ARE BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS OR ANY OMISSIONS OR ERRORS THAT MIGHT PRODUCE DAMAGES DERIVED FROM THIS DESIGN, IT SHALL BE BROUGHT TO THE ENGINEER PRIOR TO BIDDING OR START OF ANY CONSTRUCTION.
- CONTRACTOR, PRIOR TO START OF ANY CONSTRUCTION, SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES ON THE FIELD WITH THE APPROPRIATE UTILITY COMPANY. IN THE EVENT THAT ANY ADJUSTMENT BE NECESSARY DUE TO A DISCREPANCY FOR UTILITY LOCATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS BEFORE PROCEEDING. THE CONTRACTOR SHALL EXERT CARE AND CAUTION IN PROTECTING ALL UTILITIES DURING THE COMPLETION OF HIS WORK. IN THE EVENT OF ANY DAMAGE THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE APPROPRIATE UTILITY COMPANY. ANY AND ALL COSTS INCURRED DUE TO DAMAGE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. FORTY-EIGHT (48) HOURS BEFORE DIGGING CALL SUNSHINE, TOLL FREE 1-800-432-4770.
- EXISTING UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH HE FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. HE IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
- IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
- INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. THE ENGINEER IS TO REVIEW THEM AND BE PAID.
- ALL INSPECTIONS WILL BE MADE BY THE ENGINEER OF RECORD AND BE PAID. CONTRACTOR SHALL NOTIFY 48 HOURS IN ADVANCE THE ENGINEER OF RECORDS FOR INSPECTION. THE ENGINEER SHOULD BE ABLE TO PROVIDE CERTIFICATION FOR CONSTRUCTION COMPLETION BASED ON VISUAL INSPECTIONS, IF REQUIRED.
- ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- ALL FILL AND LIMEROCK BASE COURSE SHALL BE TESTED WITH DENSITY TESTS ACCORDING TO AASTHO SPECIFICATION T-180. COPIES OF RESULTS SHALL BE PROVIDED TO ENGINEER OF RECORDS PRIOR TO PLACING ASPHALT PAVEMENT.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD ONE COMPLETE SET OF AS-BUILT CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW AS-BUILT.
- ALL AS-BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.
- NO MODIFICATIONS TO THESE PLANS ARE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. NO AGENCY INSPECTOR, CONTRACTOR, NOR THE OWNER ARE AUTHORIZED TO UNILATERALLY MODIFY THESE PLANS.
- IT IS THE INTENT OF THE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- ALL DRIVING SURFACES MUST BE CONSTRUCTED ON AN EIGHT (8) INCH ROCK BASE THAT WILL PRODUCE A C.B.R. VALUE OF NO LESS THAN 25 WHEN COMPACTED TO A MINIMUM FIELD DENSITY OF 98% OF MAX. DENSITY AS DETERMINED BY AASTHO T-180. WITH REINFORCED CONCRETE SLAB. SEE STRUCTURAL PLANS FOR DETAILS.
- ALL DIMENSIONS IN THESE PLANS SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
- ALL WORK SHALL MEET CITY OF BAY HARBOR ISLANDS PUBLIC WORK DEPARTMENT STANDARDS.
- WATER TABLE PER W.C 2.2 IS 2.00 NGVD.
- ALL ELEVATIONS SHOWN ARE REFERRED TO NORTH GEODETIC VERTICAL DATUM 1929.
- UNDERGROUND CONTRACTOR SHALL COMPLY WITH THE TRENCH SAFETY ACT HB 3183, FLORIDA STATUTES.
- ALL MUCK, PEAT, AND/OR CLAY WITH HIGH PERCENTAGE OF ORGANIC MATERIAL AND OR EXISTING UNSUITABLE FILL MATERIAL SHALL BE REMOVED FROM PROPOSED RIGHT OF WAY OR PROPOSED PAVEMENT AREAS IF ANY.
- ALL TOP FINISHED GRADES FOR EXISTING MANHOLES, VALVE LIDS AND SIMILAR UTILITIES STRUCTURES SHALL BE ADJUSTED TO NEW FINISHED GRADES, IF AFFECTED FOR NEW GRADING.
- THESE PLANS WERE PREPARED USING INFORMATION FROM SURVEY DONE BY BENNY SUAREZ SURVEYING INC.
- FLOOD INSURANCE RATE MAP, ZONE AE NEW FLOOD PANEL 12086C0144L, MAP 09/11/2009. BASE FLOOD ELEV 8 NGVD
- SHOWN INFORMATION FOR EXISTING UTILITIES AS IT WAS RECEIVED BY UTILITIES OWNERS UNDER CHAPTER 556, FLORIDA STATUTES.
- DRAINAGE PIPING HIGH DENSITY POLYETHYLENE SHALL CONFORM ASTM F477, AASHTO M294, M252 REQUIREMENTS.

THE PROJECT



LOCATION MAP

NOT TO SCALE

NOTE:

ALL ELEVATIONS SHOWN HERE ON ARE REFERENCED TO NORTH GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929)

LEGAL DESCRIPTION:

LOT 5, BLOCK 28, "BAY HARBOR ISLAND", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, AT PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

FOLIO # 13-2227-001-5450

SEC. 27-52-42

INDEX:

- CS-1 COVER SHEET
- CS-2 PAVING, GRADING & DRAINAGE
- CS-3 DRAINAGE SECTIONS
- CS-4 DRAINAGE DETAILS
- SE SEDIMENT & EROSION CONTROL

GENERAL NOTES:

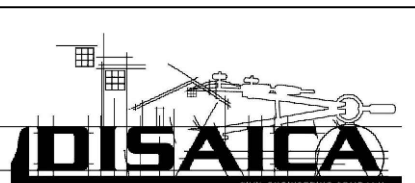
- THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
- THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF OTHER UTILITIES (NOT SHOWN ON THE PLAN) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS, THE CONTRACTOR SHALL INFORM THE CITY AND NOTIFY THE RESPECTIVE UTILITY OWNER TO RESOLVE THE UTILITY CONFLICTS AND THE UTILITY ADJUSTMENTS AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS OF ALL OTHER UTILITY FACILITIES.
- THE CONTRACTOR SHALL SCHEDULE INSPECTIONS AND TESTS WITH THE CITY A MINIMUM OF 24 HOURS IN ADVANCE.
- CONTRACTOR SHALL NOT DISTURB EXISTING CITY MAINS OR STRUCTURES WITHOUT THE PRESENCE OF A CITY INSPECTOR. CITY UTILITY SYSTEM VALVES AND APPURTENANCES MAY ONLY BE OPERATED BY CITY PERSONNEL.
- FACILITIES PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN ADVANCE BY THE CITY.
- PAVING, DRAINAGE AND TRAFFIC CONSTRUCTION SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND DESIGN STANDARDS, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- AS-BUILT DRAWINGS SHALL BE PREPARED BY A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA, AND SUBMITTED BY THE CONTRACTOR TO THE CITY. AS THE WORK PROGRESSES, THE ENGINEER OF RECORD (OR THEIR REPRESENTATIVE) SHALL RECORD ON ONE SET OF DRAWINGS THE LOCATION INCLUDING STATION AND OFFSET WITH SUFFICIENT DIMENSIONS AND DISTANCES TO ADEQUATELY DESCRIBE THE LOCATION OF THE IMPROVEMENT
- PAVING & DRAINAGE AS-BUILT DRAWINGS SHALL INCLUDE RIM ELEVATIONS, INVERT ELEVATIONS, PIPE SIZES, CONTROL STRUCTURE DIMENSIONS, AS WELL AS, AS-BUILT ELEVATIONS AS EVERY LOCATION A PROPOSED ELEVATION IS INDICATED ON THE CONSTRUCTION PLAN.
- ADEQUATE AS-BUILT ELEVATIONS SHALL BE PROVIDED ON EMBANKMENTS TO DETERMINE COMPLIANCE WITH MAXIMUM SLOPE REQUIREMENTS.
- PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553-851 FOR PROTECTION OF UNDERGROUND GAS PIPE LINES. SUB CONTRACTOR SHALL NOTIFY SUNSHINE STATE ONE (1-800-432-4770) 48 HOURS IN ADVANCE OF CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES DURING CONSTRUCTION AND SHALL BE REQUIRED TO PROVIDE ALL BARRICADES, LIGHTING, SIGNAGE AND FLAGMEN AS NECESSARY TO PROVIDE FOR THE SAFETY OF THE PUBLIC IN THE WORK AREA. THE CONTRACTOR SHALL SUBMIT A DETAILED TRAFFIC MAINTENANCE PLAN PRIOR TO CONSTRUCTION.
- EXISTING BASE MATERIAL THAT IS REMOVED DURING CONSTRUCTION SHALL NOT BE USED IN THE CONSTRUCTION OF NEW LIMEROCK BASE.
- ALL VEGETATION, DEBRIS, CONCRETE OR OTHER UNSUITABLE MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE IN AN AREA AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL UTILIZE CONSTRUCTION METHODS AND DEVICES, SUCH AS TURBIDITY SCREENS, CURTAINS AND FLOATING SILT BARRIERS WHERE NECESSARY IN ORDER TO COMPLY WITH ALL STATE AND LOCAL WATER QUALITY STANDARDS.
- ALL PAVED SURFACES SHALL BE PROPERLY MARKED PRIOR TO HOURS OF DARKNESS. PERMANENT PAVEMENT MARKING STALLS SHALL BE LAID OUT USING MARKING CHALK. LAYOUT TO BE REVIEWED BY THE CITY PRIOR TO PLACEMENT OF FINAL MARKING.



Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

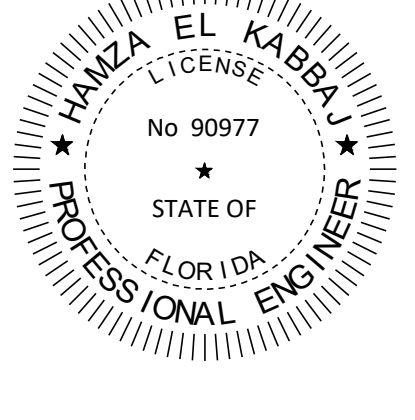
Revisions		
No.	Date	Description
1	04-20-26	CITY COMMENTS



ENGINEERING COMPANY
 LICENSE No. 37199
 3750 NW 97th AVE, SUITE 700, DORAL, FL 33178
 PHONE: +1 (786) 798-1672
Info@isaica.com

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4/28/2026



HAMZA EL KABBAJ
 P.E. No. 90977

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Project: BARUKHIN RESIDENCE
 1260 99th St
 Bay Harbor Islands, FL 33154

Sheet Title: COVER SHEET

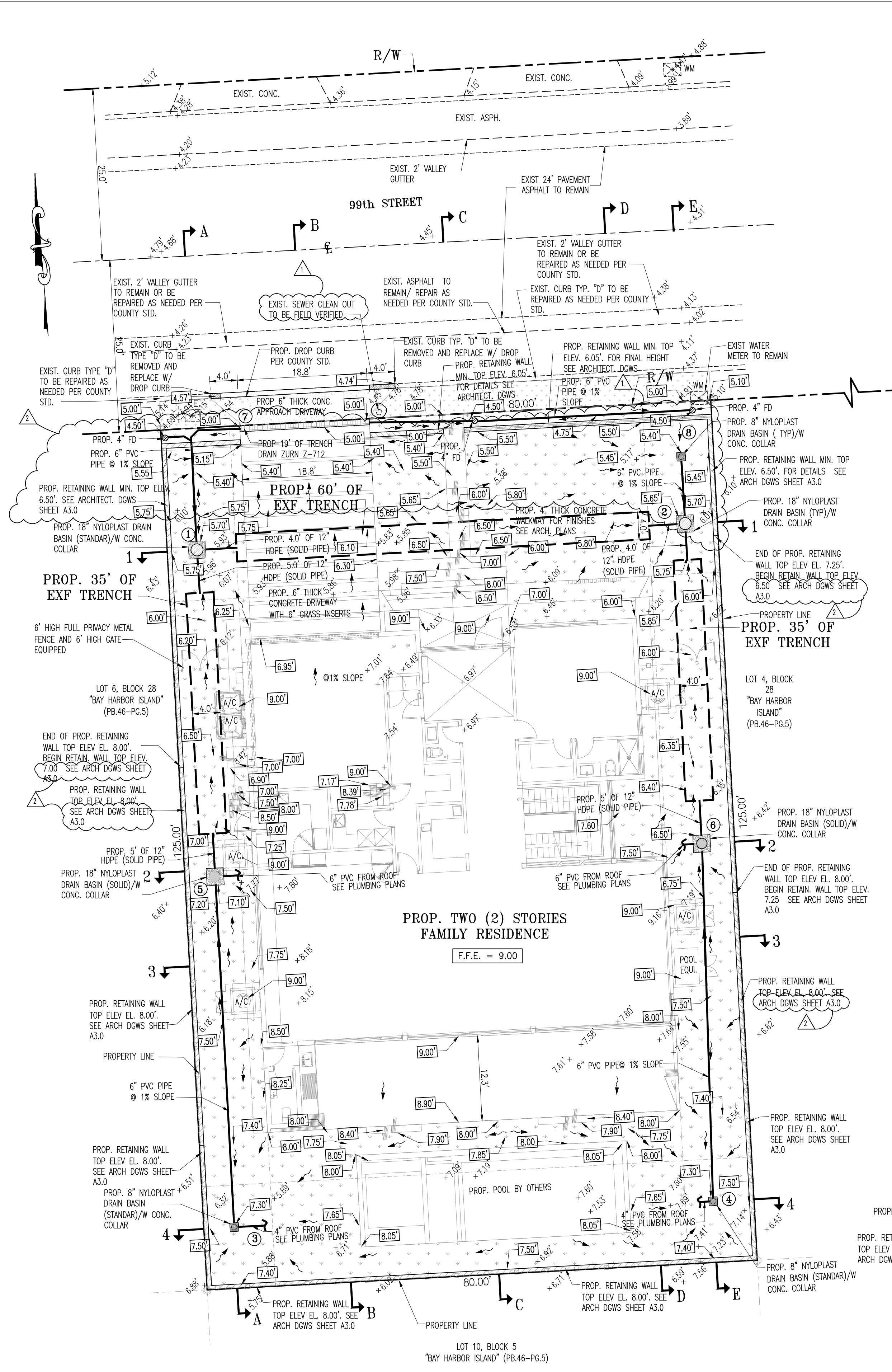
TOMA DESIGN GROUP INC.

Tel: (305) 461-2223 Fax: (305) 466-4077
 20600 NE 30th Ave #1001 13875 E. Palmetto Drive
 Aventura, FL 33180 Southfield, MI 48034

Date	03-13-26
Drawn by	J.B.
Checked by	H.K.
Scale:	AS SHOWN

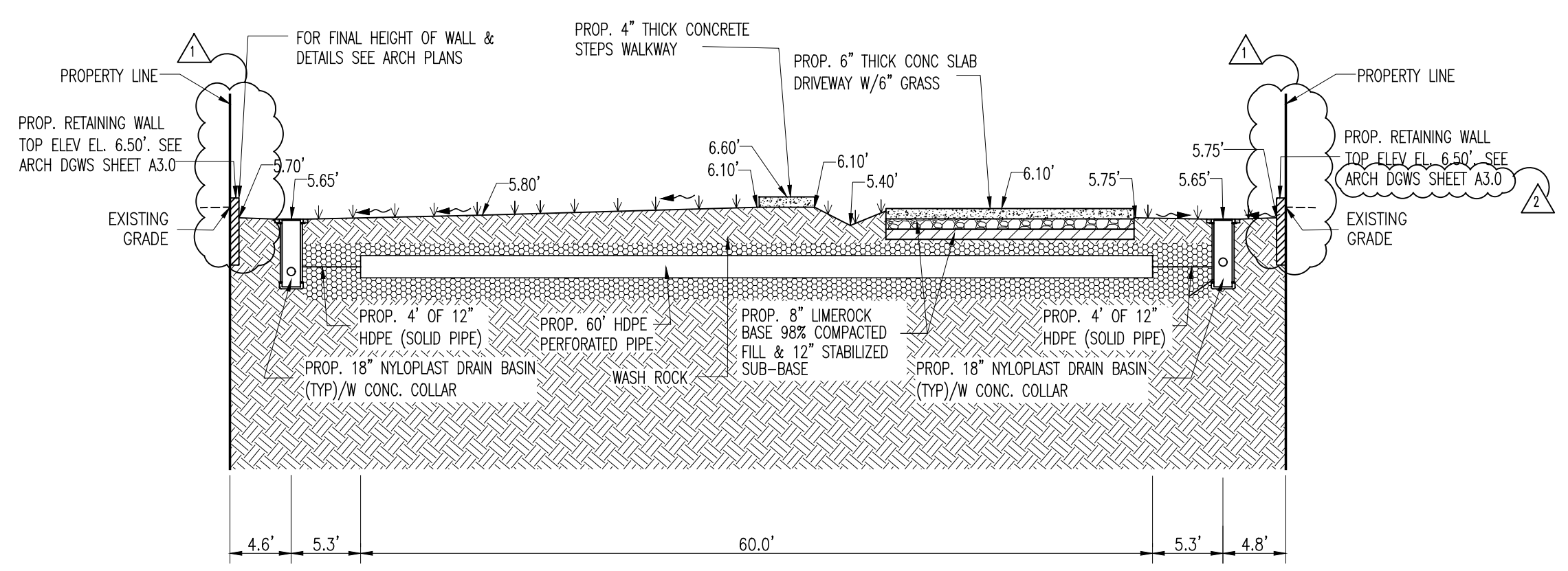
Sheet N: CS-1

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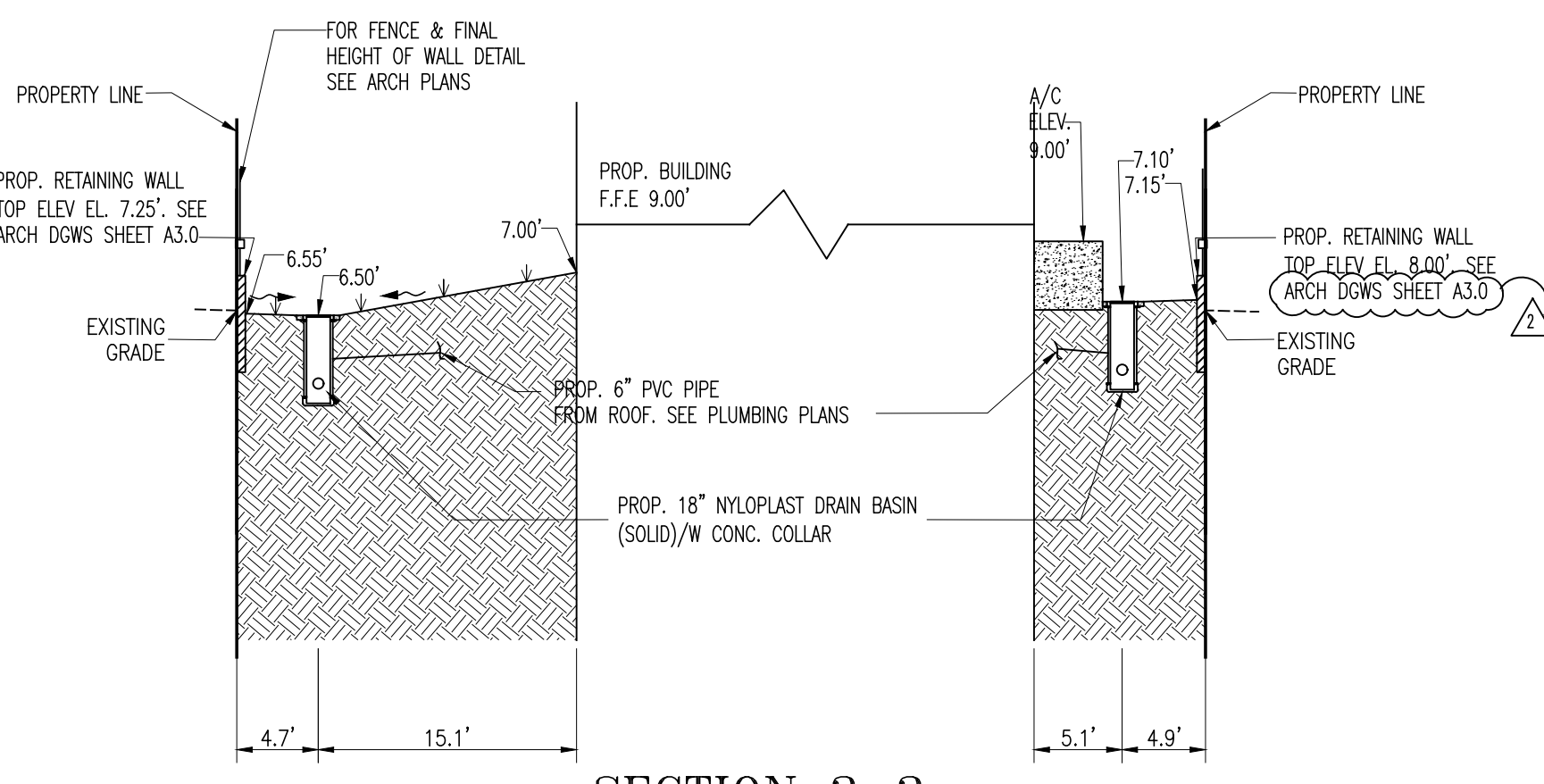


PAVING, DRAINAGE & GRADING PLAN
SCALE: 1"=10'

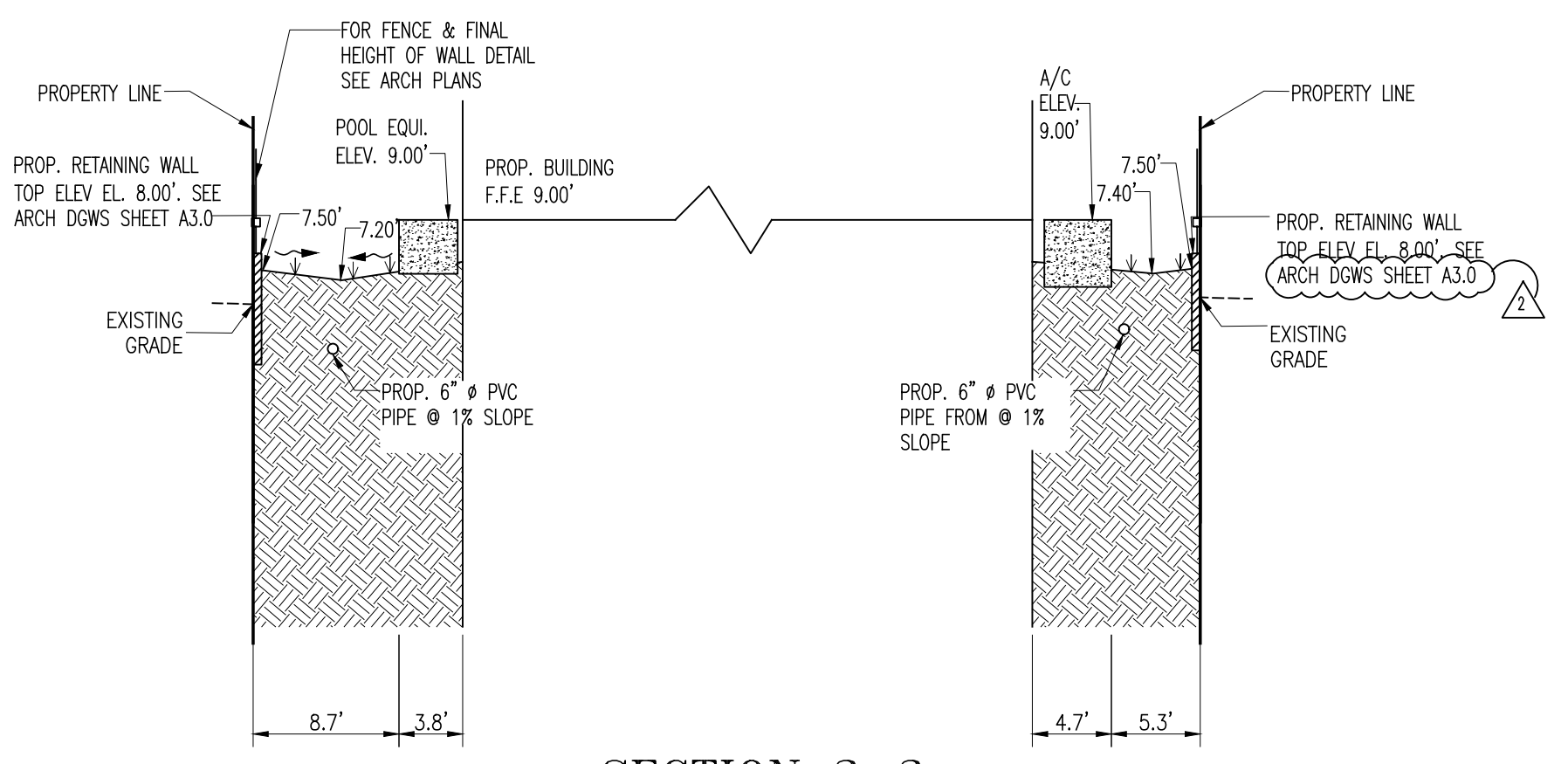
NOTE:
ALL ELEVATIONS SHOWN HERE ON ARE REFERENCED TO NORTH GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929)



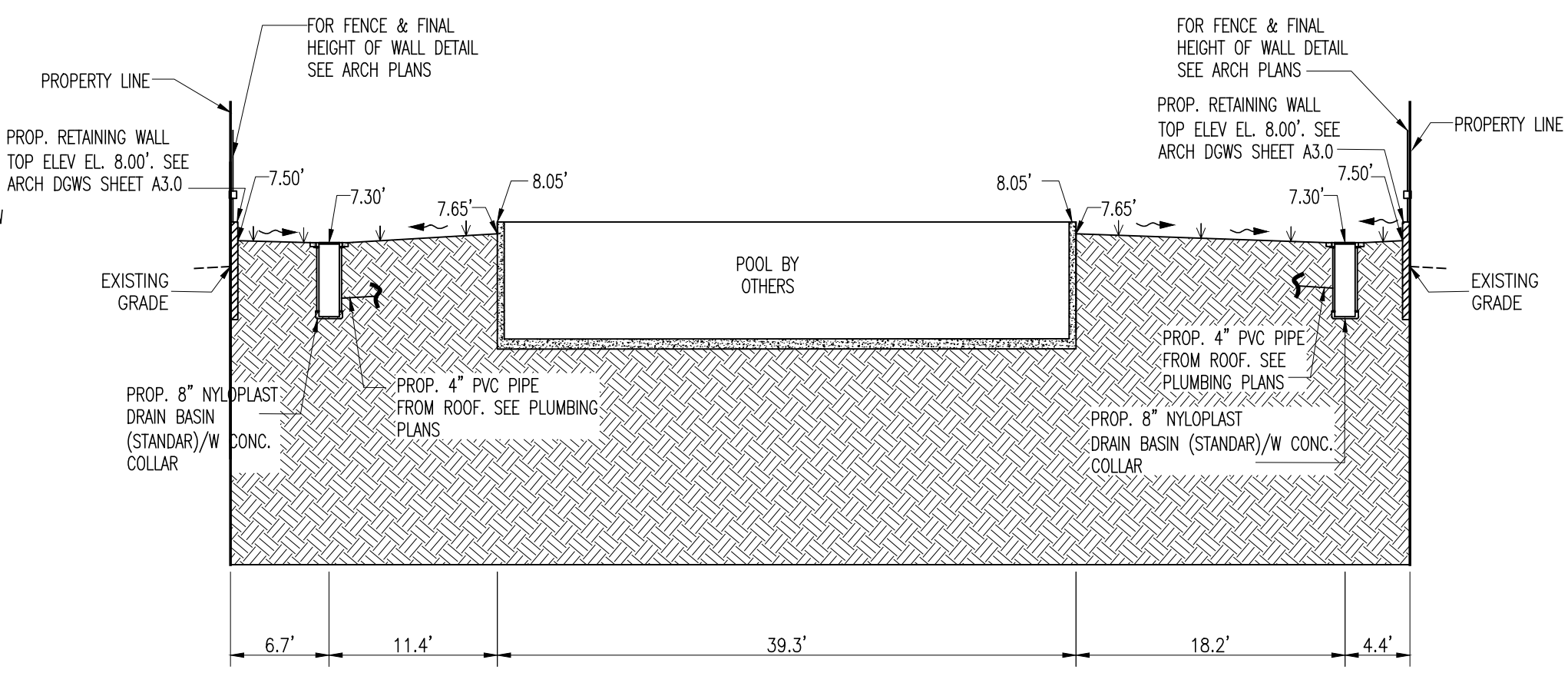
SECTION 1-1
N.T.S.



SECTION 2-2
N.T.S.



SECTION 3-3
N.T.S.



SECTION 4-4
N.T.S.

LEGEND:

- PROPOSED CONCRETE DRIVEWAY
- EXISTING ELEVATION
- 7.60 PROPOSED ELEVATION
- FFE = XXX PROPOSED FINISH FLOOR ELEVATION
- PROPOSED FLOW OF RUNOFF
- ADS BASIN-EXF TRENCH
- WATER METER
- LIGHT POLE
- 4" FD ZURN Z350

GENERAL NOTES:
DRIVEWAY

1. PROVIDE A STABILIZED BASE CONSISTING OF 6 INCHES MINIMUM LIMEROCK OR APPROVED CRUSHED CONCRETE, COMPACTED TO 98% OF MAXIMUM DRY DENSITY (MODIFIED PROCTOR).
2. WHERE REQUIRED, PROVIDE A 6-INCH MINIMUM GRANULAR SUBBASE, COMPACTED TO 98% OF MAXIMUM DRY DENSITY (MODIFIED PROCTOR). MINIMUM COMPACTED BASE AND SUBBASE THICKNESS SHALL BE 12 INCHES, UNLESS NOTED OTHERWISE.
3. INSTALL GEOTEXTILE SEPARATION FABRIC BETWEEN SUBGRADE AND SUBBASE WHERE LOOSE, SANDY, OR UNSTABLE SOILS ARE ENCOUNTERED.
4. DRIVEWAY SLOPES SHALL PROVIDE POSITIVE DRAINAGE AND SHALL NOT DIRECT RUNOFF TOWARD STRUCTURES, ADJACENT PROPERTIES, OR THE PUBLIC RIGHT-OF-WAY.
5. WHERE DRIVEWAY GRADES DRAIN TOWARD THE STREET, PROVIDE A TRENCH DRAIN OR EQUIVALENT INTERCEPTION SYSTEM CONNECTED TO THE ON-SITE DRAINAGE SYSTEM PRIOR TO THE RIGHT-OF-WAY LINE.
6. DRIVEWAY CONSTRUCTION SHALL NOT OBSTRUCT SIDEWALK DRAINAGE OR ALTER THE PUBLIC ROADWAY DRAINAGE PATTERN.
7. ALL DISTURBED PAVEMENT, CURB, GUTTER, OR SIDEWALK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE RESTORED IN KIND.
8. CONTRACTOR SHALL COORDINATE DRIVEWAY CONSTRUCTION WITH EXISTING UTILITIES AND MAINTAIN REQUIRED CLEARANCES.
9. ALL BASE AND SUBBASE MATERIALS AND CONSTRUCTION SHALL COMPLY WITH CITY REQUIREMENTS AND ACCEPTED MIAMI-DADE COUNTY AND FDOT ENGINEERING STANDARDS TO ENSURE STRUCTURAL INTEGRITY AND LONG-TERM PERFORMANCE OF THE DRIVEWAY.
10. COMPACTION TESTING MAY BE REQUIRED DURING CONSTRUCTION TO VERIFY COMPLIANCE WITH SPECIFIED DENSITY REQUIREMENTS. ANY FAILED AREAS SHALL BE REWORKED AND RETESTED.
11. EXISTING CURB, GUTTER, OR SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND.

STRUCTURE DRAINAGE DATA													
STRUCT. NUMBER	TYPE OF STRUCT.	SIZE OF STRUCT.	RIM EL.	PIPE INV. EL.	BOTTOM TRENCH EL.	EXFILTRATION TRENCHES	FROM STR. #	TO STR. #	TRENCH (L.F.)	WIDTH (FT.)	PIPE DIA. (IN.)	PIPE TYPE	BAFFLE/ENVIROHOOD
1	NYLOPLAST DRAIN BASIN PEDESTRIAN GRATE	18" x 5.70'	3.70'(N)	2.25'(E)	(-)0.75'	(-)3.80'	1	2	60	4.0	6	P.V.C.	-
											12	H.D.P.E.	(E)
2	NYLOPLAST DRAIN BASIN PEDESTRIAN GRATE	18" x 5.65'	3.30'(N)	2.25'(W)	(-)0.75'	-	-	-	-	-	12	H.D.P.E.	(W)
											12	H.D.P.E.	(S)
3	NYLOPLAST DRAIN BASIN PEDESTRIAN GRATE	8" x 7.30'	5.15'(N)	5.30'(E)	4.65'	-	-	-	-	-	6	P.V.C.	-
											4	P.V.C.	-
4	NYLOPLAST DRAIN BASIN PEDESTRIAN GRATE	8" x 7.30'	5.15'(N)	5.30'(W)	4.65'	-	-	-	-	-	6	P.V.C.	-
											4	P.V.C.	-
5	NYLOPLAST DRAIN BASIN PEDESTRIAN GRATE	18" x 7.10'	4.60'(S)	2.25'(N)	(-)0.75'	(-)3.10'	5	1	35	4.0	6	P.V.C.	-
											6	H.D.P.E.	(N)
6	NYLOPLAST DRAIN BASIN PEDESTRIAN GRATE	18" x 6.50'	4.60'(S)	2.25'(N)	(-)0.75'	(-)3.40'	6	2	35	4.0	6	P.V.C.	-
											12	H.D.P.E.	(N)
7	TRENCH DRAIN ZURN Z-712	SEE DETAIL	5.00'	4.00'(W)	-	-	-	-	-	-	6	P.V.C.	-
											6	P.V.C.	-
8	NYLOPLAST DRAIN BASIN PEDESTRIAN GRATE	8" x 5.40'	3.40'(S)	2.90'	-	-	-	-	-	-	6	P.V.C.	-
											6	P.V.C.	-

Sunshine811
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Revisions

No.	Date	Description
1	04-20-26	CITY COMMENTS
2	05-26-26	CITY COMMENTS

DISAICA
ENGINEERING COMPANY
LICENSE No. 37199
3750 NW 97th Ave, Suite 700, Doral, FL 33178
PHONE: +1 (786) 798-1672
Disaica@disaica.us

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5/26/2026
HAMZA EL KABBALI
LICENSE No. 90977
STATE OF FLORIDA
PROFESSIONAL ENGINEER
HAMZA EL KABBALI
P.E. No. 90977

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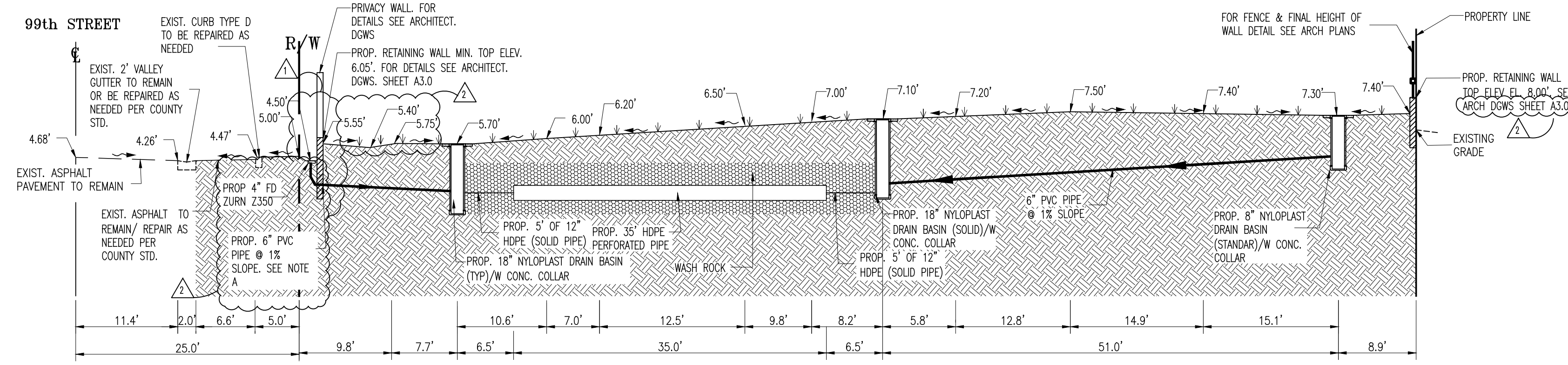
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BARUKHIN RESIDENCE
1260 99th St
Bay Harbor Islands, FL 33154
Project: _____
Sheet Title: **PAVING, GRADING & DRAINAGE**
Sheet No.: _____

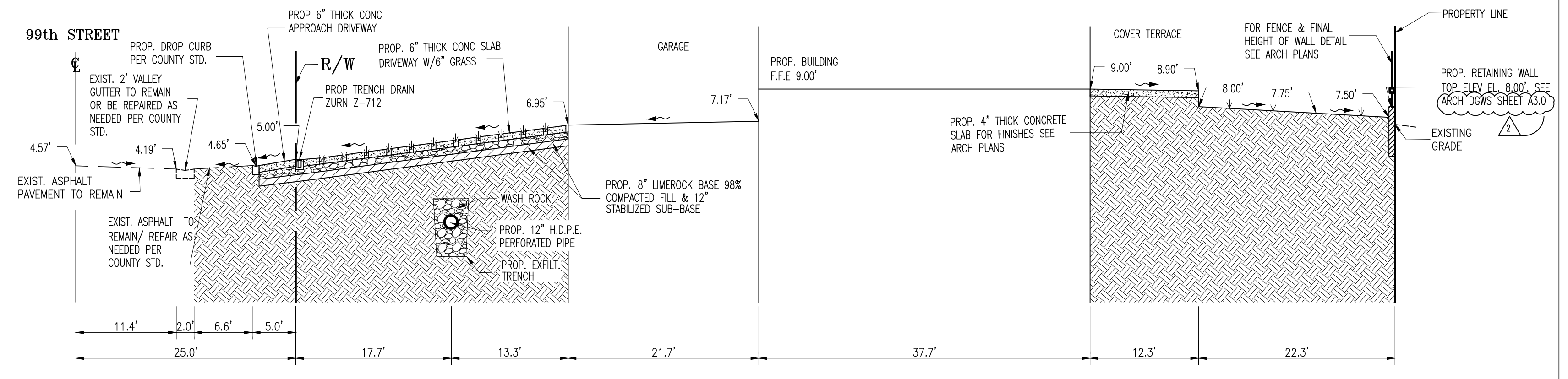
TOMA DESIGN GROUP INC.
Tel: (305) 461-2223 Fax: (305) 466-4077
20900 NE 30th Ave #101 13972 E. Palmetto Drive
Aventura, FL 33180 South Miami Beach, FL 33130

Date: 03-13-26
Drawn by: J.B.
Checked by: H.K.
Scale: AS SHOWN

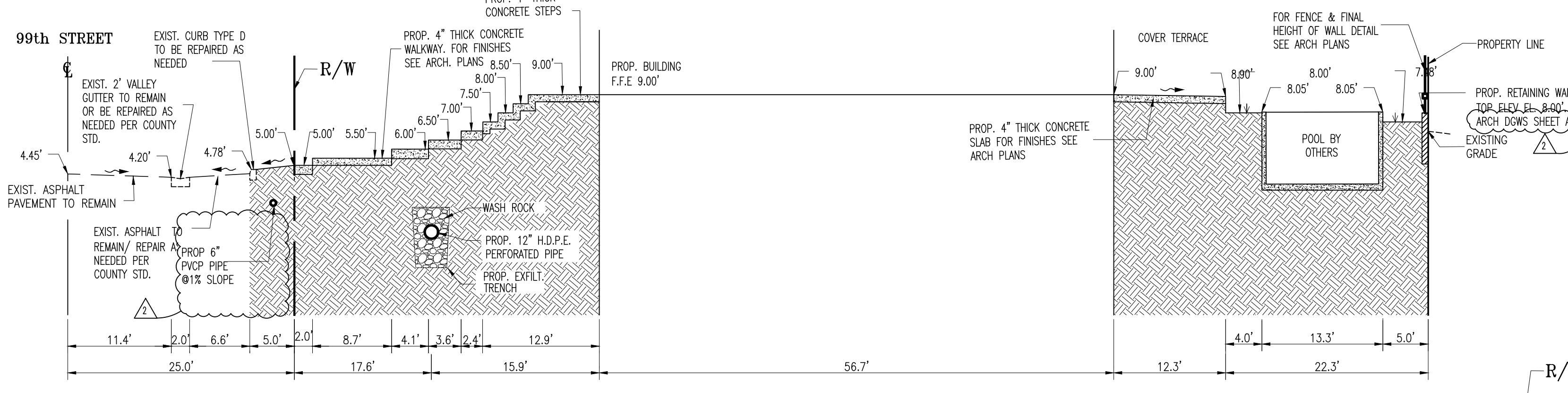
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CAD ID: CAD ID



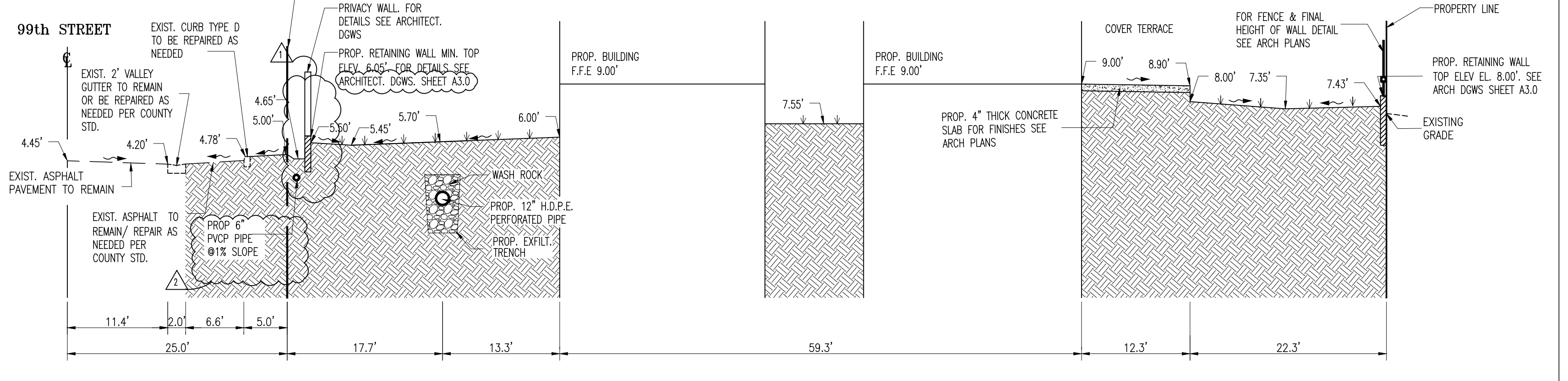
SECTION A-A



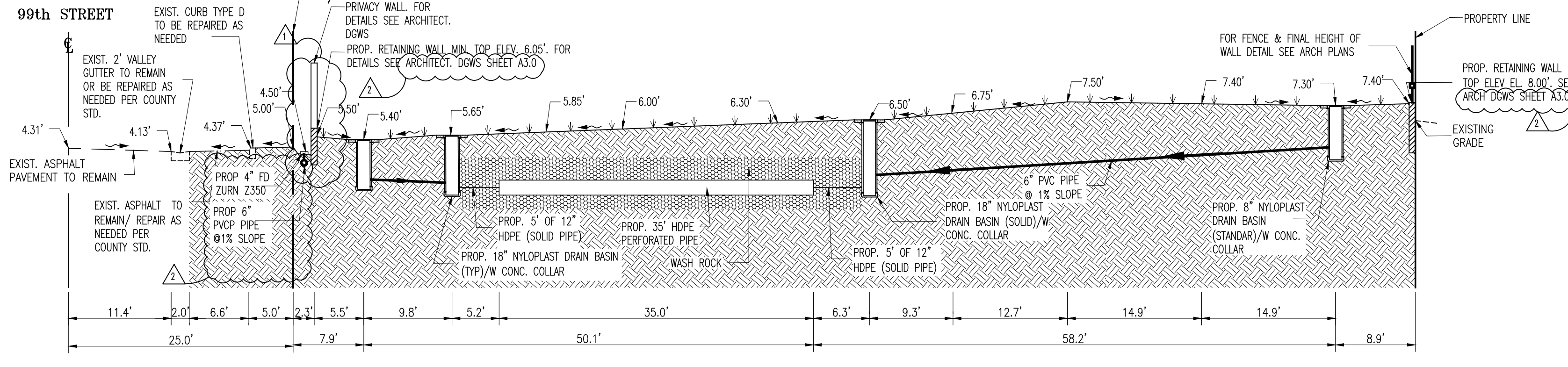
SECTION B-B



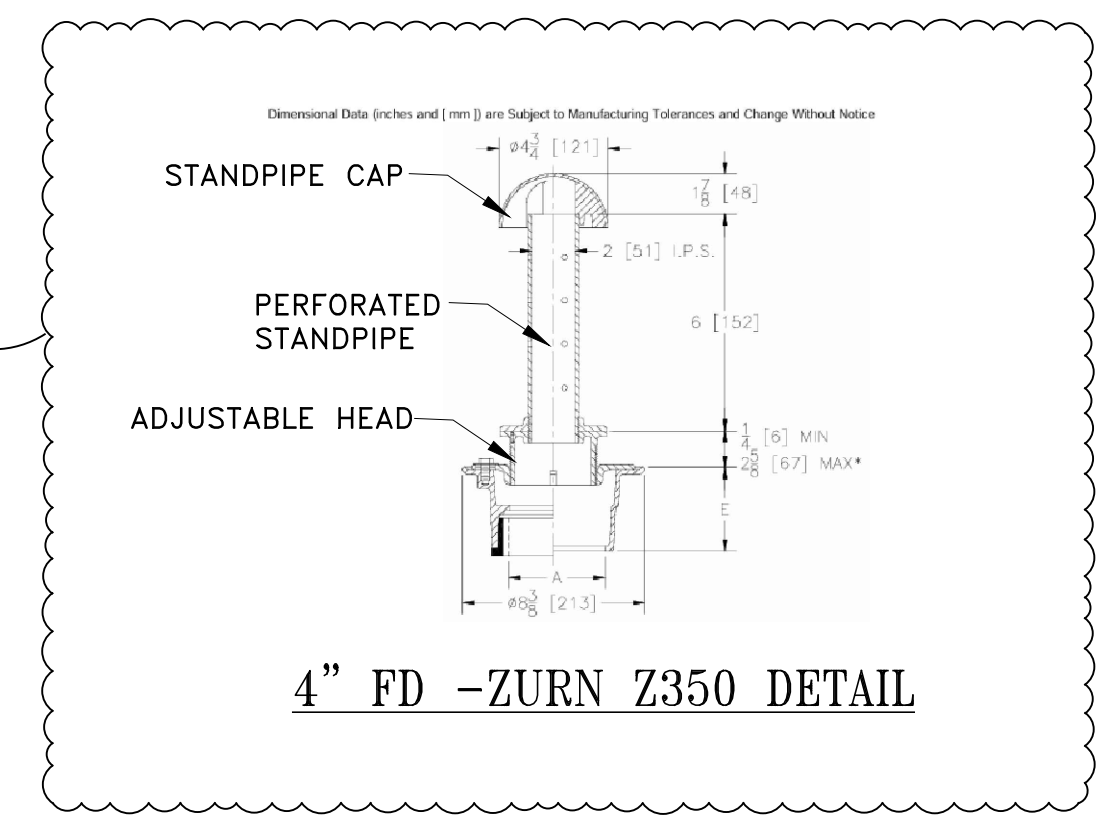
SECTION C-C



SECTION D-D



SECTION E-E



NOTE:
ALL ELEVATIONS SHOWN HERE ON ARE REFERENCED TO NORTH GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929)

Revisions		
No.	Date	Description
1	04-20-26	CITY COMMENTS
2	05-26-26	CITY COMMENTS

DISAICA
ENGINEERING COMPANY
3750 NW 97th Ave, Suite 700, Doral, FL 33178
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Disaica@disaica.us

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HAMZA EL KABBAJ
P.E. No. 90977

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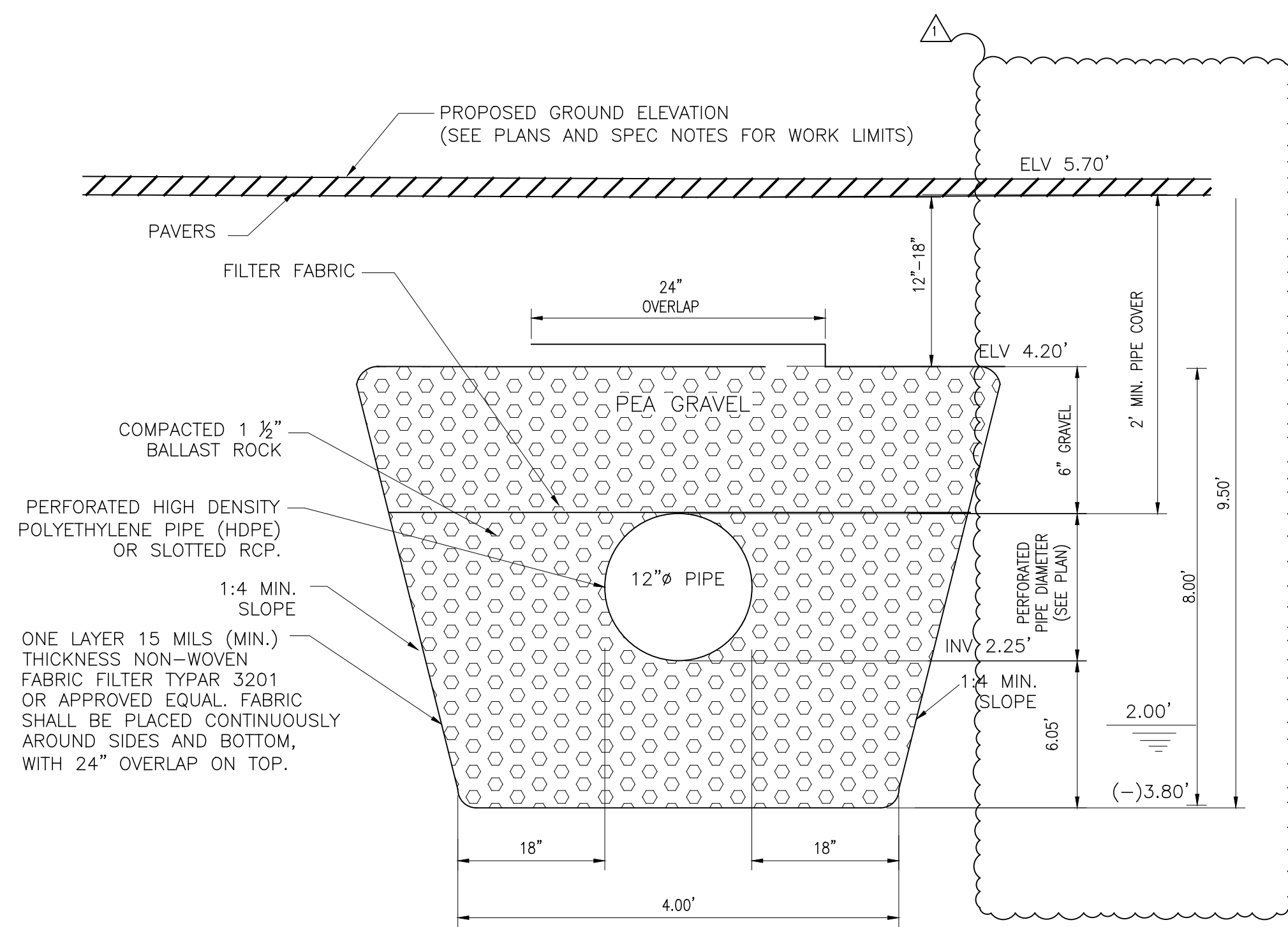
Project: **BARUKHIN RESIDENCE**
1260 99th St
Bay Harbor Islands, FL 33154

Sheet Title: **DRAINAGE SECTIONS**

TOMA DESIGN GROUP INC.

Tel: (305) 461-2223 Fax: (305) 466-4077
20000 NE 30th Ave #101 13972 E. Palmetto Drive
Aventura, FL 33180 South Miami Heights, FL 33156

Date: 03-13-26
Drawn by: J.B.
Checked by: H.K.
Scale: AS SHOWN

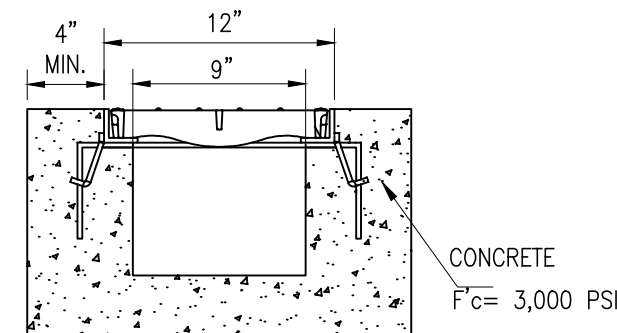


TRANSVERSE CROSS SECTION

NOTES:

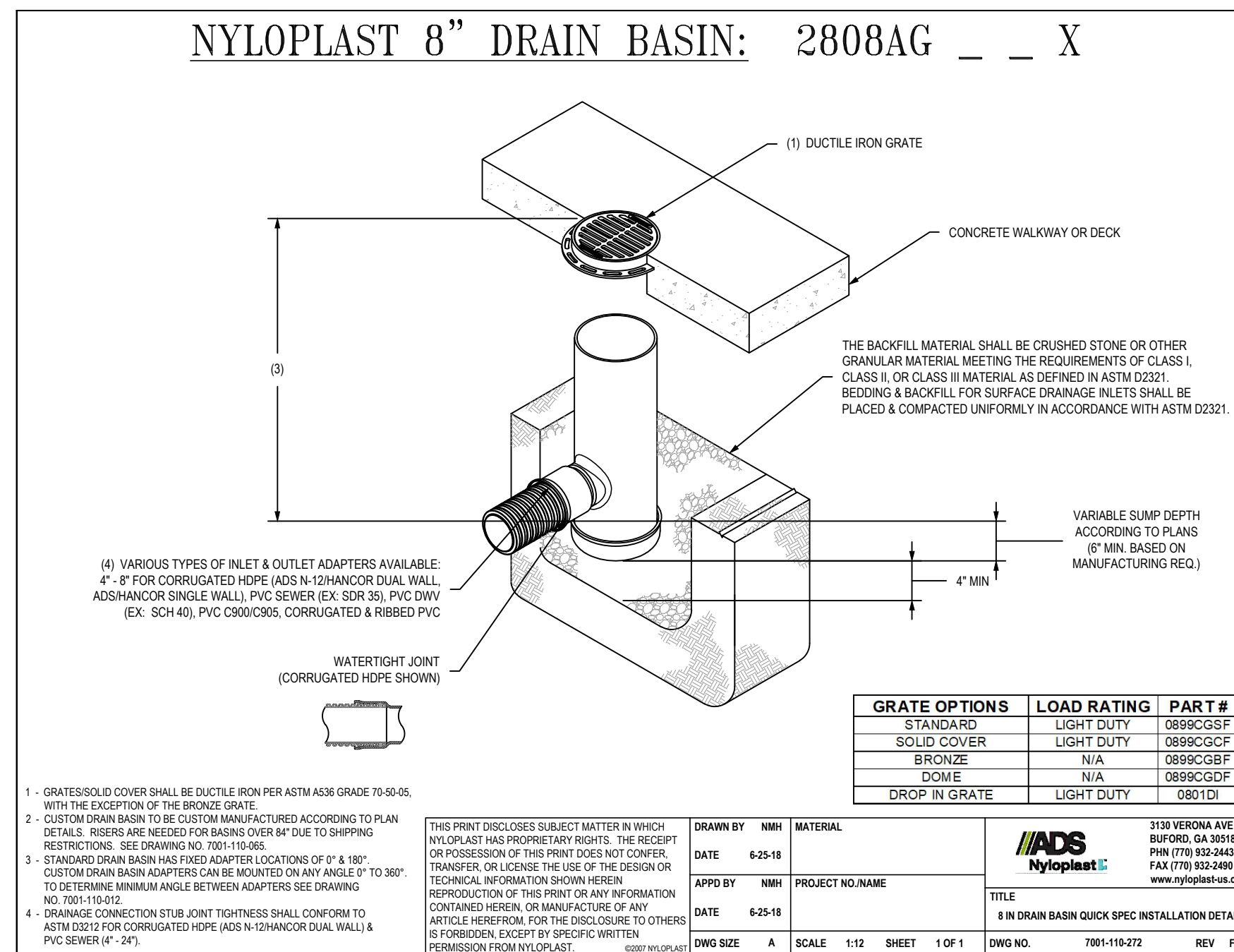
- CONTRACTOR MUST READ AND ABIDE THE CITY'S GENERAL CONSTRUCTION NOTES AND DRAINAGE DESIGN NOTES PRIOR TO STARTING CONSTRUCTION.
- THE STANDARD CROSS SECTION SHALL BE CONSTRUCTED UNLESS OTHER SECTIONS ARE DESCRIBED OR DETAILED ON PLANS.
- THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE TRENCH WITH SAND, SILT AND FOREIGN MATERIALS.
- THE 12" WEEP HOLE SHALL NOT BE USED IF THE BOTTOM OF THE INLET OR MANHOLE IS BELOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN ON PLANS.
- FRENCH DRAINS MUST BE INSPECTED BY THE ENGINEERING INSPECTOR PRIOR TO CONTRACTOR BACKFILLING.

EXFILTRATION TRENCH SYSTEM DRIVEWAY AREA
NOT TO SCALE



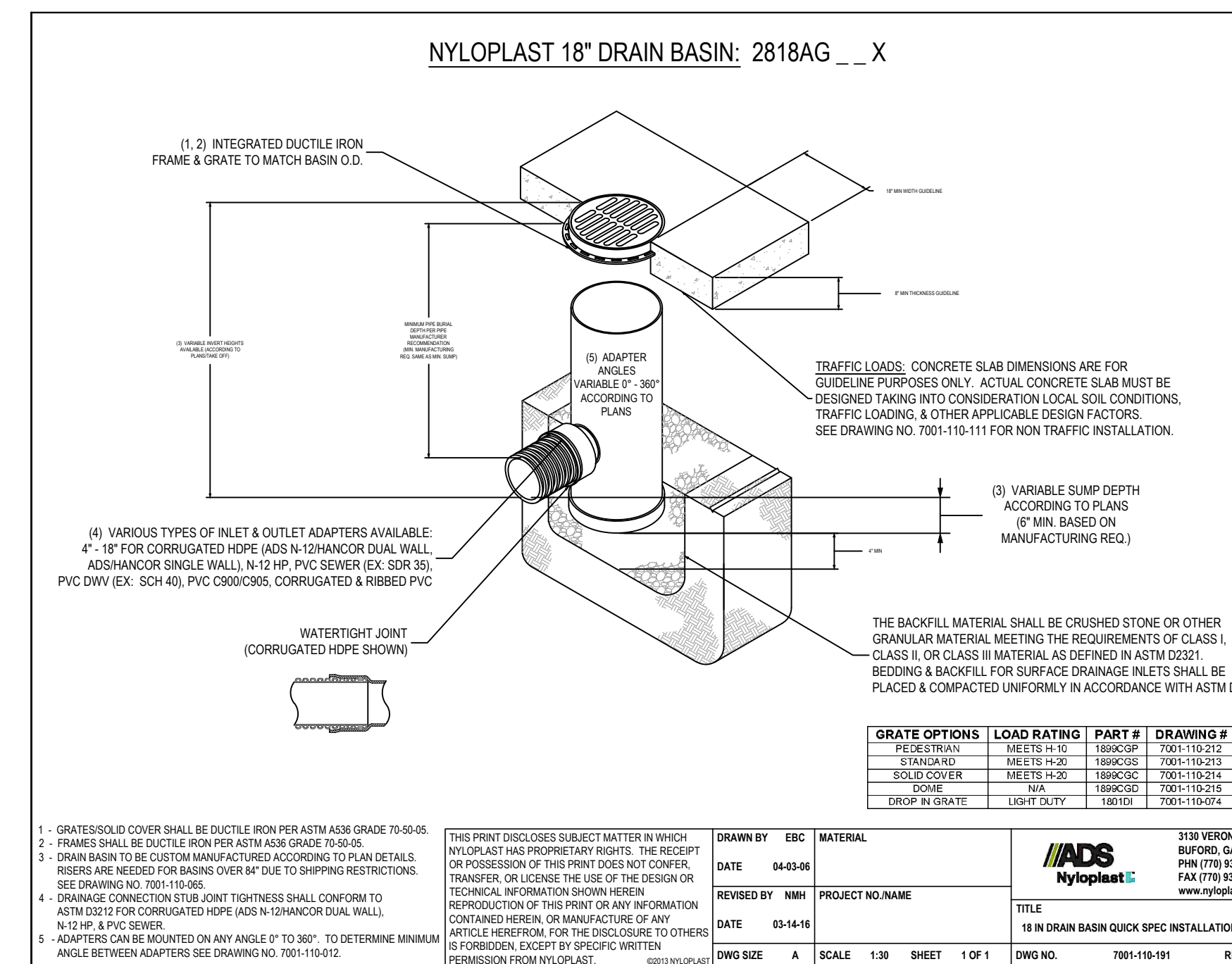
ZURN CHANNEL TRENCH

(Z-712 PRE SLOPPED PERMA TRENCH) NTS



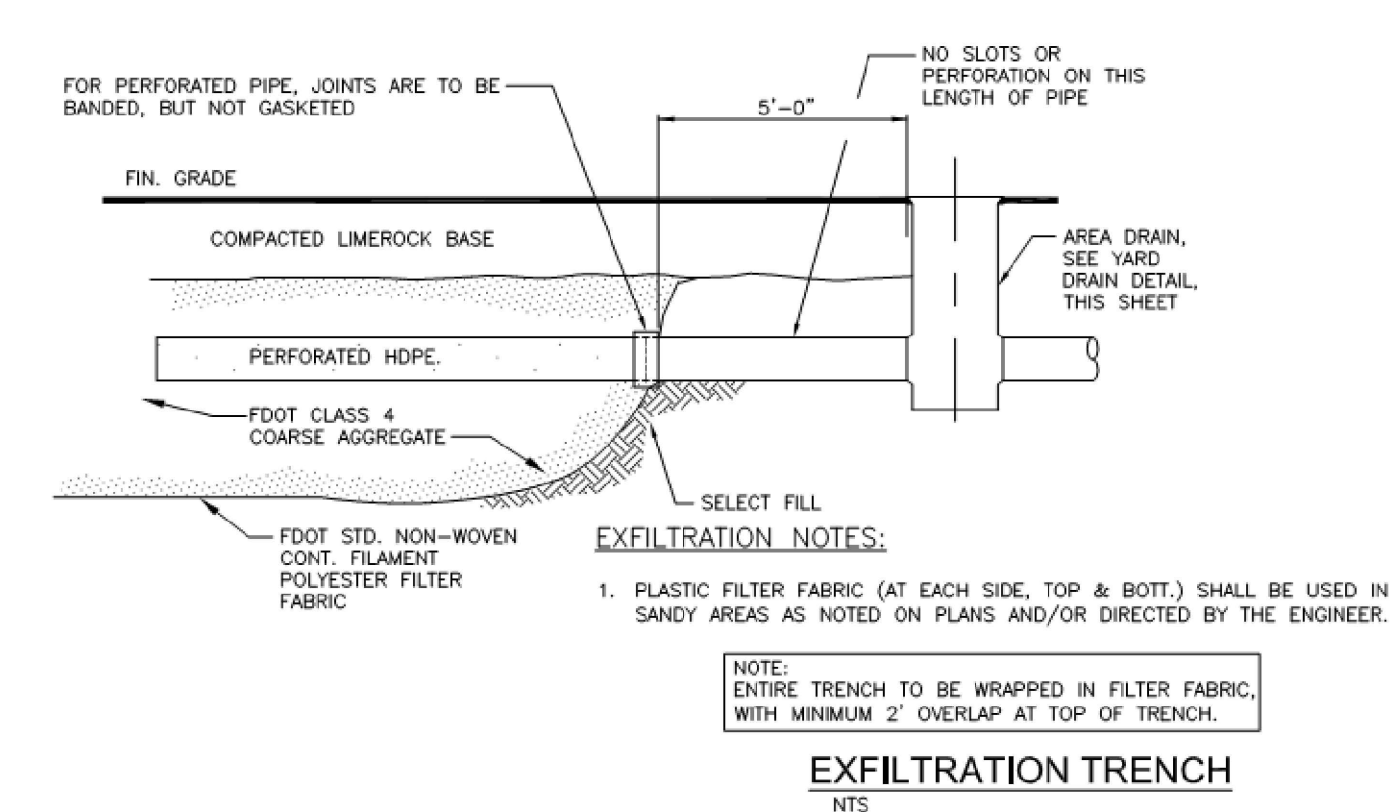
GRATE OPTIONS	LOAD RATING	PART #
STANDARD	LIGHT DUTY	089RCGSP
SOLID COVER	LIGHT DUTY	089RCGSP
BRONZE	N/A	089RCGSP
DOME	N/A	089RCGSP
DROP IN GRATE	LIGHT DUTY	089RCI

1. GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
 2. CUSTOM DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 8' DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-06.
 3. STANDARD DRAIN BASIN HAS FIXED ADAPTER LOCATIONS OF 0° & 90°. CUSTOM DRAIN BASIN ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-02.
 4. DRAINAGE CONNECTION SUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D2151 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL & PVC SEWER (EX. SCR 36), PVC DWV (EX. SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC.

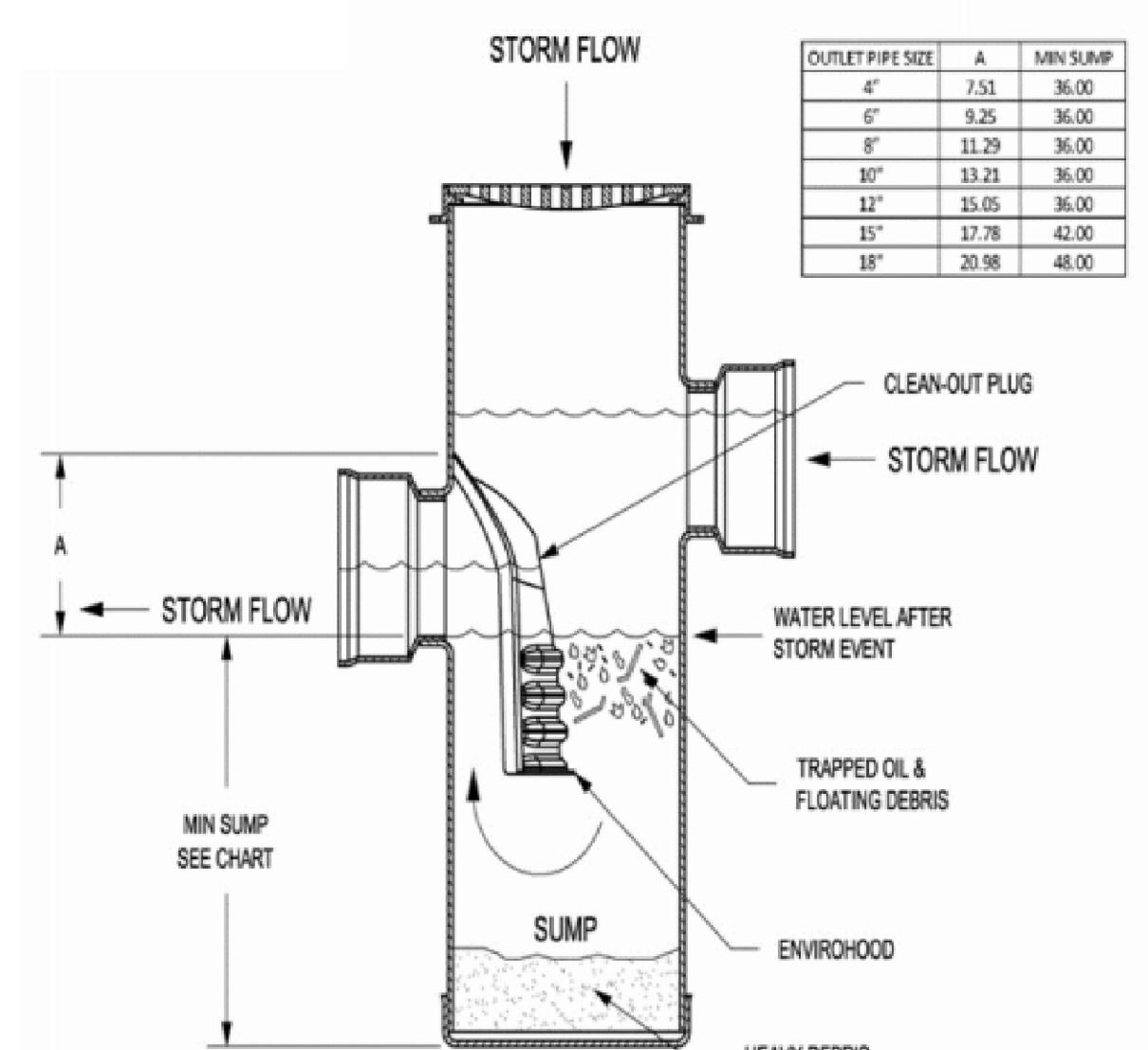


GRATE OPTIONS	LOAD RATINGS	PART #	DRAWING #
STANDARD	MEETS H-20	189RCGSP	7001-110-212
SOLID COVER	MEETS H-20	189RCGSP	7001-110-213
DOME	N/A	189RCGSP	7001-110-214
DROP IN GRATE	LIGHT DUTY	189RCI	7001-110-215

1. GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
 2. FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
 3. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 8' DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-06.
 4. DRAINAGE CONNECTION SUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D2151 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL & PVC SEWER (EX. SCR 36), PVC DWV (EX. SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC.
 5. ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-02.

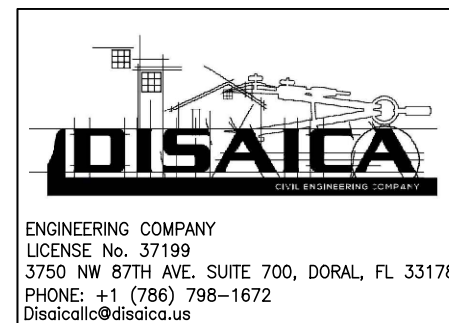


EXFILTRATION NOTES:
 1. PLASTIC FILTER FABRIC (AT EACH SIDE, TOP & BOT.) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND/OR DIRECTED BY THE ENGINEER.
 NOTE: ENTIRE TRENCH TO BE WRAPPED IN FILTER FABRIC, WITH MINIMUM 2' OVERLAP AT TOP OF TRENCH.

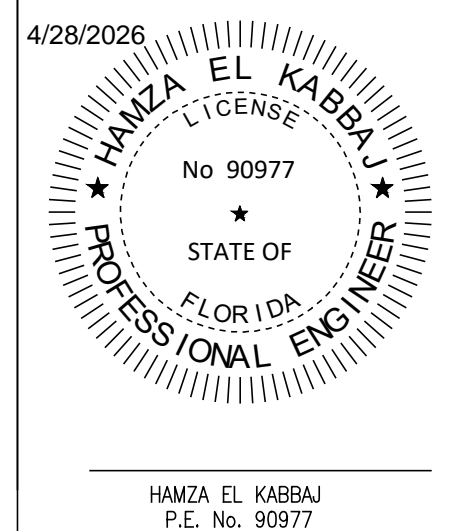


NYLOPLAST ENVIROHOOD/BAFFLE
TYPICAL INSTALLATION

Revisions		
No.	Date	Description
1	04-20-26	CITY COMMENTS



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Project: BARUKHIN RESIDENCE
1260 99th St
Bay Harbor Islands, FL 33154
Sheet Title: DRAINAGE DETAILS

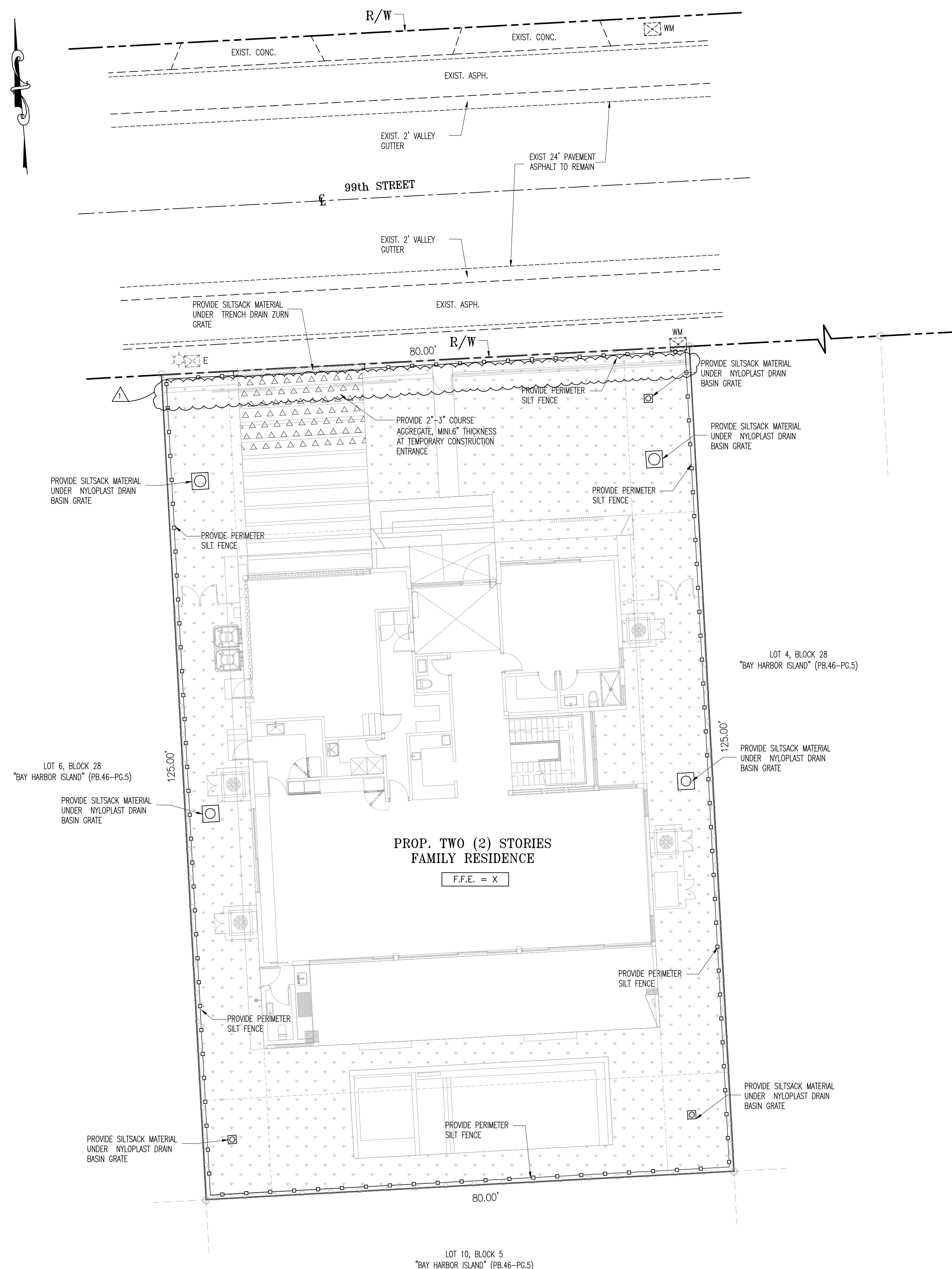
TOMA DESIGN GROUP INC.

Tel: (305) 401-2223 Fax: (305) 496-4077
20000 NE 30th Ave, #1001 12072 E. Palmetto Drive
Aventura, FL 33180 Southmead Palmetto, FL 33330

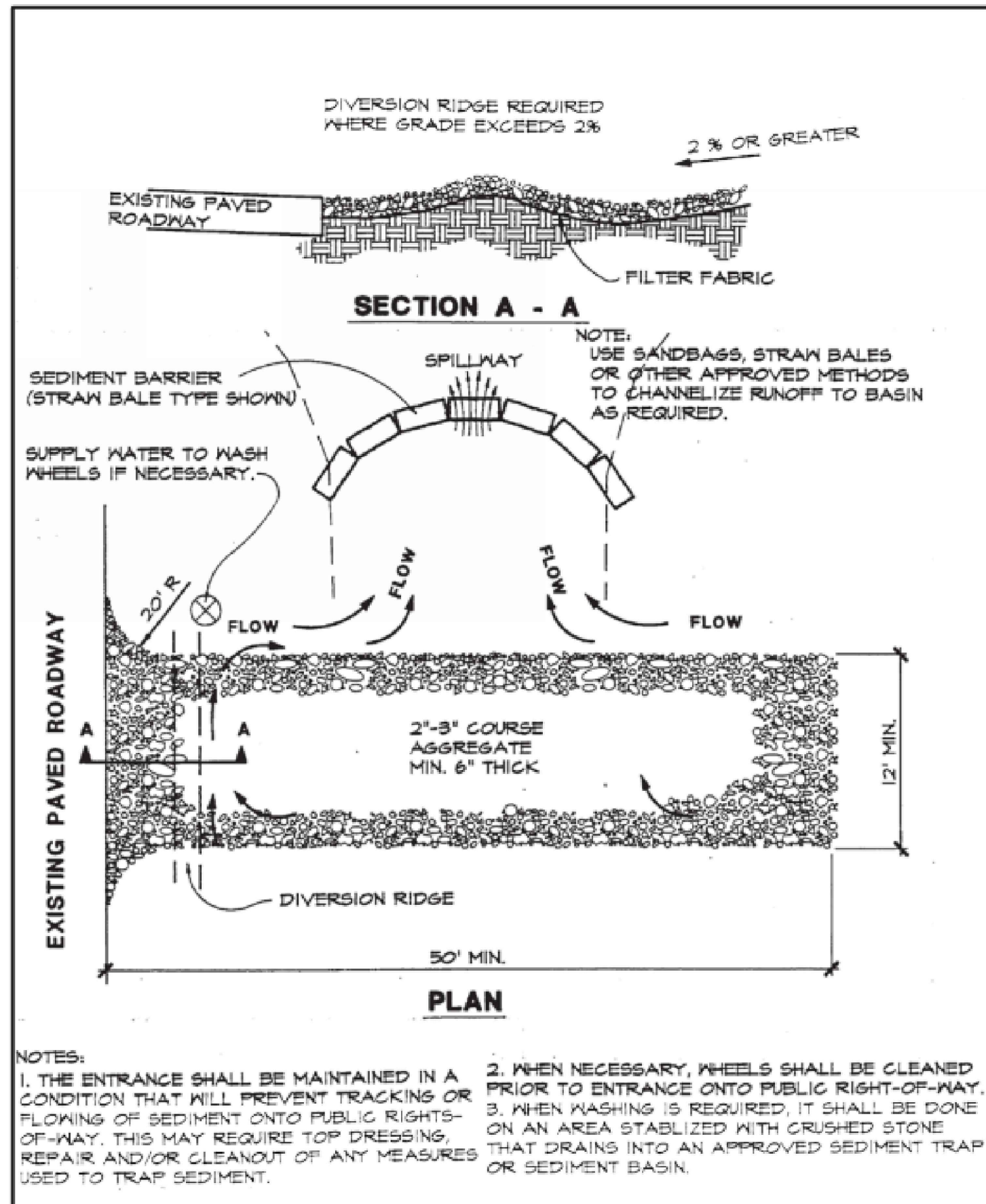
Date: 03-13-26
 Drawn by: J.B.
 Checked by: H.K.
 Scale: AS SHOWN

Sheet No: CS-4
 CAD ID: CAD ID

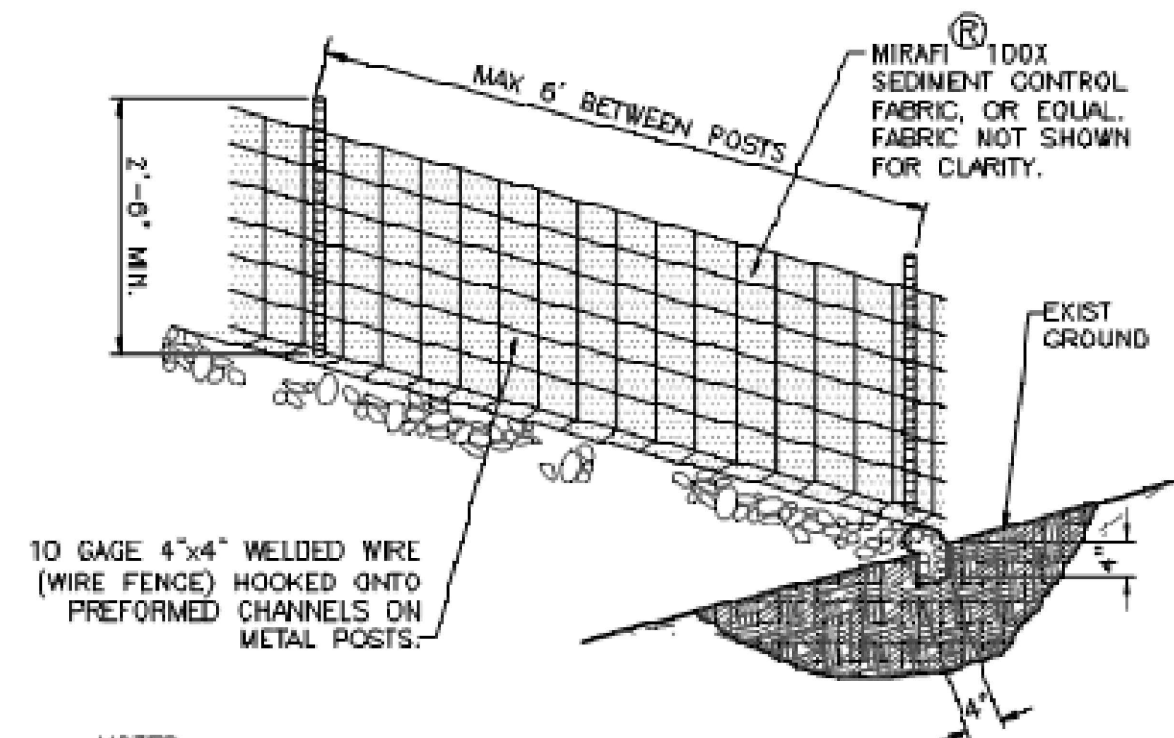




SEDIMENT & EROSION CONTROL PLAN
SCALE: 1"=10'



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
NOT TO SCALE

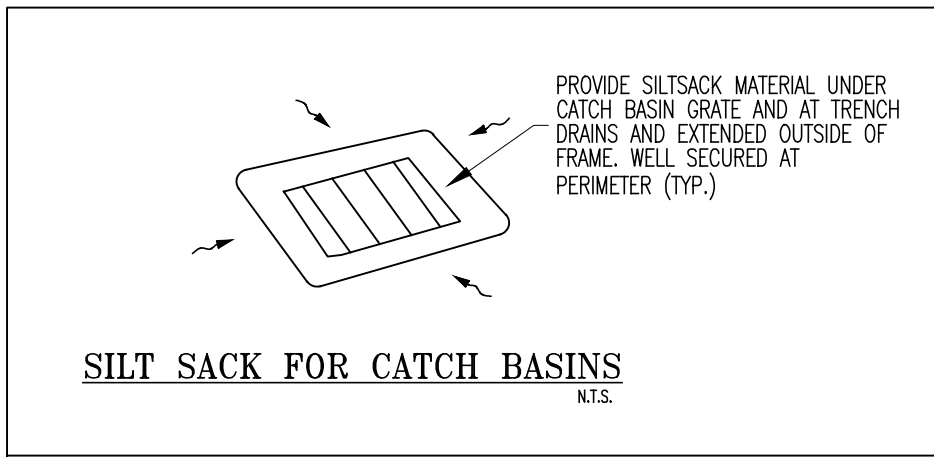


- NOTES:**
1. DRIVE WOOD POSTS (1.3 LBS/FT MIN) 18" MIN INTO GROUND AND EXCAVATE A 4"x4" TRENCH UPHILL 5' LONG (MIN) ALONG LINE OF POSTS. WOOD.
 2. POSTS 4" IN DIAMETER OR 2"x4" MAY BE USED. ATTACH WIRE FENCE TO POSTS AND EXTEND THE BOTTOM OF THE FENCE 6" INTO THE EXCAVATED TRENCH. ALTERNATE - USE SEDIMENT CONTROL FABRIC WITH PRE-SEWN POCKETS FOR POSTS SO THAT WIRE FENCE IS NOT REQ'D.
 3. ATTACH THE SEDIMENT CONTROL FABRIC (36" WIDE) TO THE WIRE FENCE W/METAL CLIPS OR WIRE AND EXTEND THE BOTTOM OF THE FABRIC 6" INTO THE TRENCH.
 4. BOTTOM OF SEDIMENT CONTROL FABRIC MUST BE PLACED IN TRENCH AND SECURED WITH GRANULAR FILL TO A HEIGHT OF 6" ABOVE GROUND LEVEL, SO THAT RUNOFF IS FORCED TO GO THROUGH THE FENCE AND CANNOT GO UNDER IT.
 5. SILT FENCE SHALL BE MAINTAINED AND TRAPPED SEDIMENTS SHALL BE REMOVED BY THE CONTRACTOR PERIODICALLY AS DETERMINED BY THE ENGINEER OR AS NECESSARY (MAX. 6 MONTHS).
 6. THE CONTRACTOR IS REQUIRED TO REMOVE ALL SILT FENCES AND AREA TO BE RESTORED TO THE ORIGINAL CONDITION UPON COMPLETION OF CONSTRUCTION.

SILT FENCE DETAIL
NOT TO SCALE

NOTE TO CONTRACTOR

CONTRACTOR TO PROVIDE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION AS PER CURRENT NDPS STANDARDS TO PREVENT ANY DISCHARGE FROM THE SITE UNTIL PROJECT IS COMPLETED AND FULL STABILIZATION IS OBTAINED



- NOTES:**
1. - WHERE USED, SILT FENCE IS TO BE CONSTRUCTED ON 0% GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.
 2. - DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
 3. - FOR GRAVEL, 3/4" MAX. SIZE CAN BE USED OR BALLAST ROCK USUALLY CALLED WASHED ROCK MAY SUBSTITUTE THE GRAVEL.
 4. - PROTECTION ON CATCH BASINS, USE HEAVY DUTY FILTER FABRIC POLYETHYLENE REMOVABLE.
 5. - NEARBY STORM WATER CATCH BASINS WILL BE PROTECTED FROM SEDIMENT RUNOFF FROM THE SITE WITH GRATE LINERS AND THESE LINERS WILL BE REPLACED AFTER RAIN EVENTS OR AS REQUIRED.

Revisions		
No.	Date	Description
1	04-20-26	CITY COMMENTS

ISAICA
ENGINEERING COMPANY
LICENSE No. 37199
3750 NW 97th AVE, SUITE 700, DORAL, FL 33178
PHONE: +1 (786) 798-1672
Doral@isaica.com

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4/28/2026
HAMZA EL KABBAL
LICENSE
No. 90977
STATE OF FLORIDA
PROFESSIONAL ENGINEER
HAMZA EL KABBAL
P.E. No. 90977

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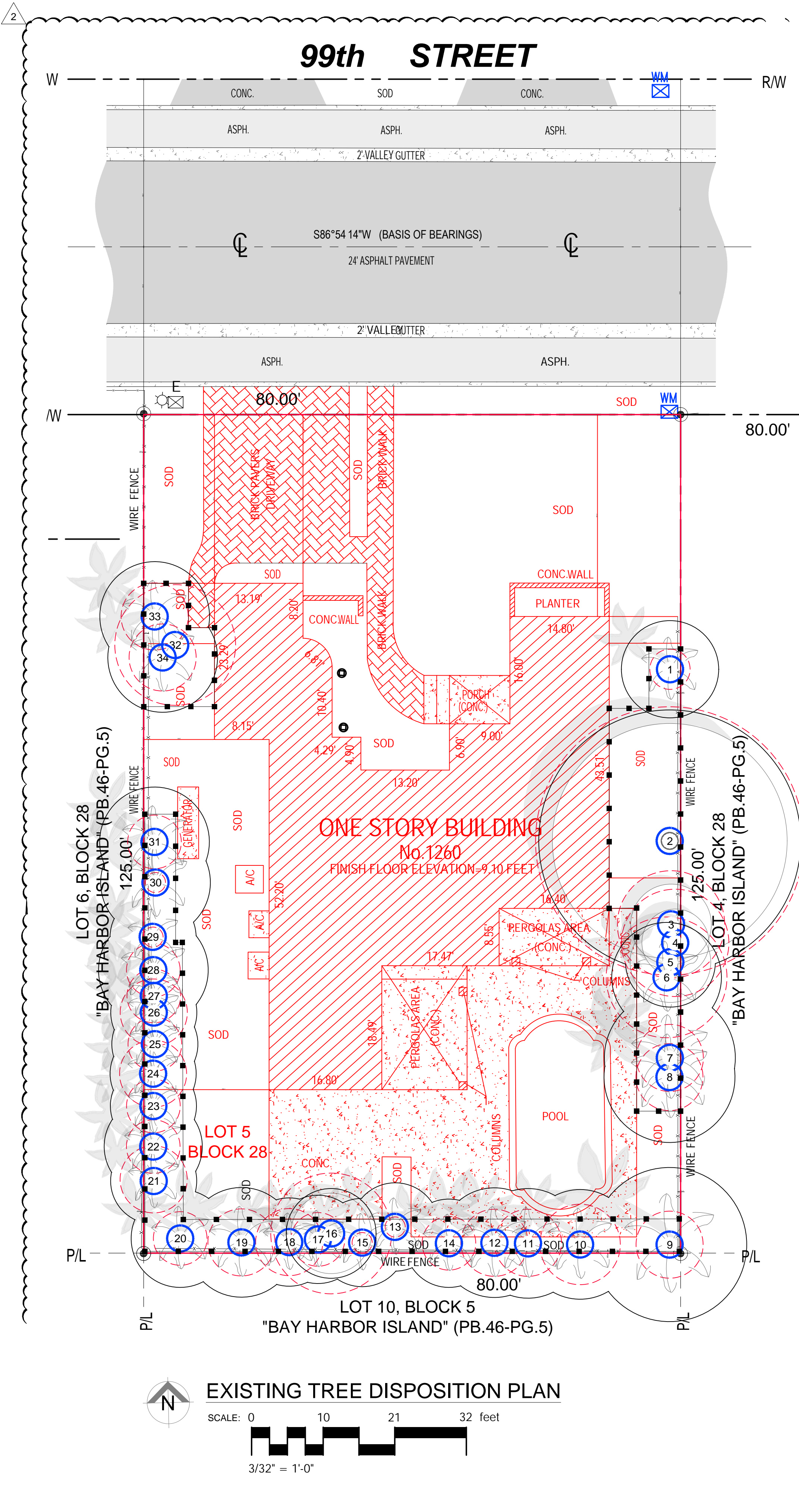
Project: **BARUKHIN RESIDENCE**
1260 99th St
Bay Harbor Islands, FL 33154

Sheet Title: **SEDIMENT & EROSION CONTROL**

TOMA DESIGN GROUP INC.
Tel: (305) 401-2223 Fax: (305) 466-4077
20000 NE 30th Ave #101 19972 E. Palmetto Drive
Aventura, FL 33180 Southwest Homestead, FL 33030

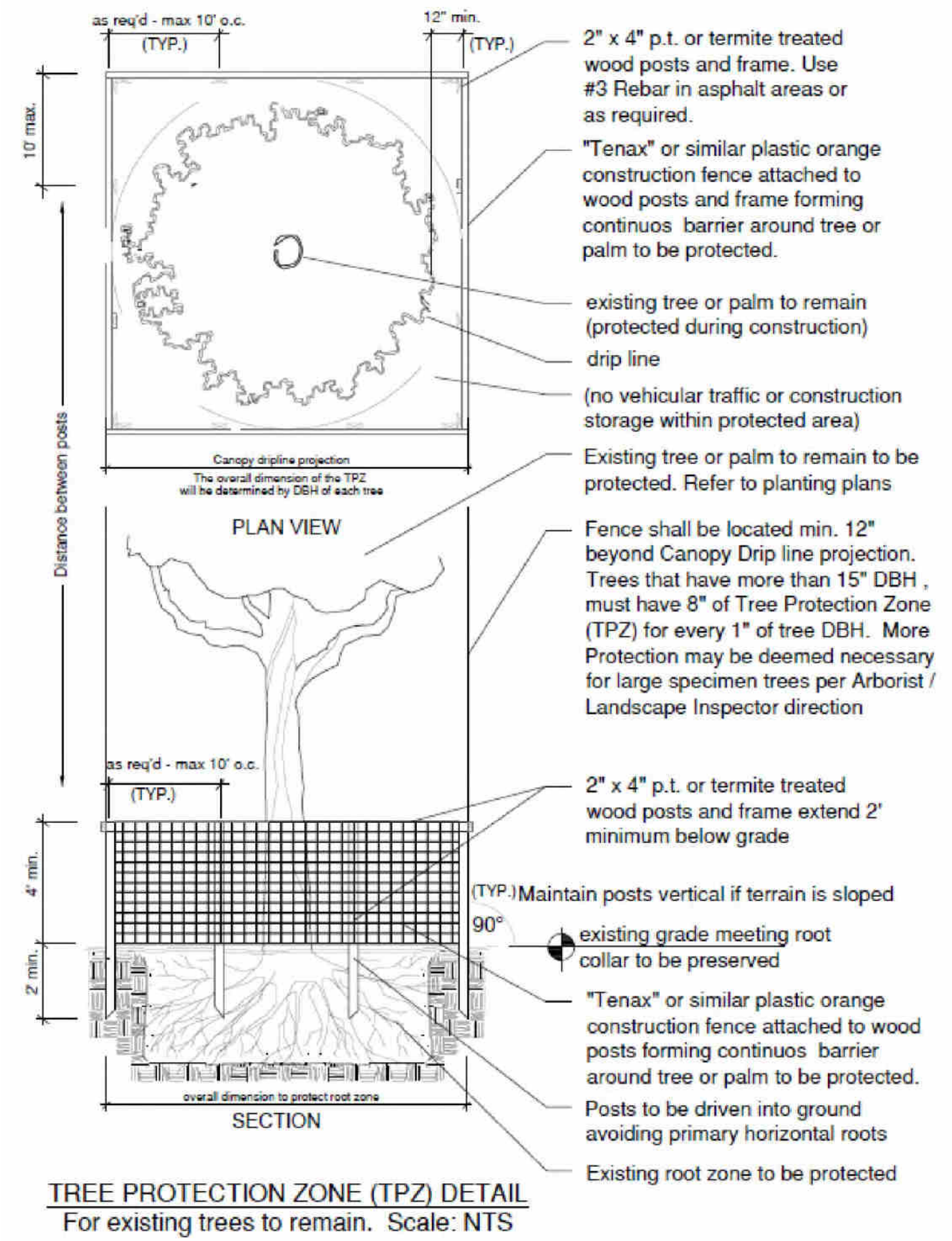
Date	03-13-26
Drawn by	J.B.
Checked by	H.K.
Scale:	AS SHOWN

Sheet N:
SE
CAD ID: CAD ID



EXISTING TREE DISPOSITION CHART							
NUMBER	COMMON NAME	BOTANICAL NAME	HEIGHT (FT)	CANOPY (FT)	DBH (INCH)	TREE PROTECTION ZONA (TPZ) (Radius)	DISPOSITION
1	Areca palm	<i>Dypsis lutescens</i>	20	9	4	3	Remain
2	Chinese banyan	<i>Ficus microcarpa</i>	35	35	60	40	Remain
3	Cocoplum	<i>Chrysobalanus icaco</i>	15	12	12	8	Remain
4	Cocoplum	<i>Chrysobalanus icaco</i>	14	10	12	8	Remain
5	Cocoplum	<i>Chrysobalanus icaco</i>	15	12	14	9	Remain
6	Veitchia montgomeryana	<i>Montgomery palm</i>	18	10	8	5	Remain
7	Veitchia montgomeryana	<i>Montgomery palm</i>	16	12	7	5	Remain
8	Veitchia montgomeryana	<i>Montgomery palm</i>	18	12	8	5	Remain
9	Veitchia montgomeryana	<i>Montgomery palm</i>	17	14	9	6	Remain
10	Veitchia montgomeryana	<i>Montgomery palm</i>	18	10	9	6	Remain
11	Veitchia montgomeryana	<i>Montgomery palm</i>	18	10	8	5	Remain
12	Veitchia montgomeryana	<i>Montgomery palm</i>	17	10	8	5	Remain
13	Areca palm	<i>Dypsis lutescens</i>	18	8	5	3	Remain
14	Veitchia montgomeryana	<i>Montgomery palm</i>	16	8	6	4	Remain
15	Veitchia montgomeryana	<i>Montgomery palm</i>	15	8	5	3	Remain
16	Cocoplum	<i>Chrysobalanus icaco</i>	15	12	14	9	Remain
17	Veitchia montgomeryana	<i>Montgomery palm</i>	16	8	6	4	Remain
18	Veitchia montgomeryana	<i>Montgomery palm</i>	18	8	7	5	Remain
19	Veitchia montgomeryana	<i>Montgomery palm</i>	19	10	7	5	Remain
20	Veitchia montgomeryana	<i>Montgomery palm</i>	16	9	6	4	Remain
21	Veitchia montgomeryana	<i>Montgomery palm</i>	15	8	8	5	Remain
22	Veitchia montgomeryana	<i>Montgomery palm</i>	16	9	6	4	Remain
23	Veitchia montgomeryana	<i>Montgomery palm</i>	15	8	6	4	Remain
24	Veitchia montgomeryana	<i>Montgomery palm</i>	16	8	7	5	Remain
25	Veitchia montgomeryana	<i>Montgomery palm</i>	12	8	6	4	Remain
26	Veitchia montgomeryana	<i>Montgomery palm</i>	13	8	8	5	Remain
27	Veitchia montgomeryana	<i>Montgomery palm</i>	13	8	6	4	Remain
28	Veitchia montgomeryana	<i>Montgomery palm</i>	16	10	6	4	Remain
29	Veitchia montgomeryana	<i>Montgomery palm</i>	14	8	5	3	Remain
30	Veitchia montgomeryana	<i>Montgomery palm</i>	16	10	5	3	Remain
31	Veitchia montgomeryana	<i>Montgomery palm</i>	16	11	6	4	Remain
32	Royal palm	<i>Roystonea regia</i>	10	8	14	9	Remain
33	Veitchia montgomeryana	<i>Montgomery palm</i>	18	10	7	5	Remain
34	Veitchia montgomeryana	<i>Montgomery palm</i>	19	12	7	5	Remain
TOTAL PROPOSED CANOPY LOSS (in square feet)							

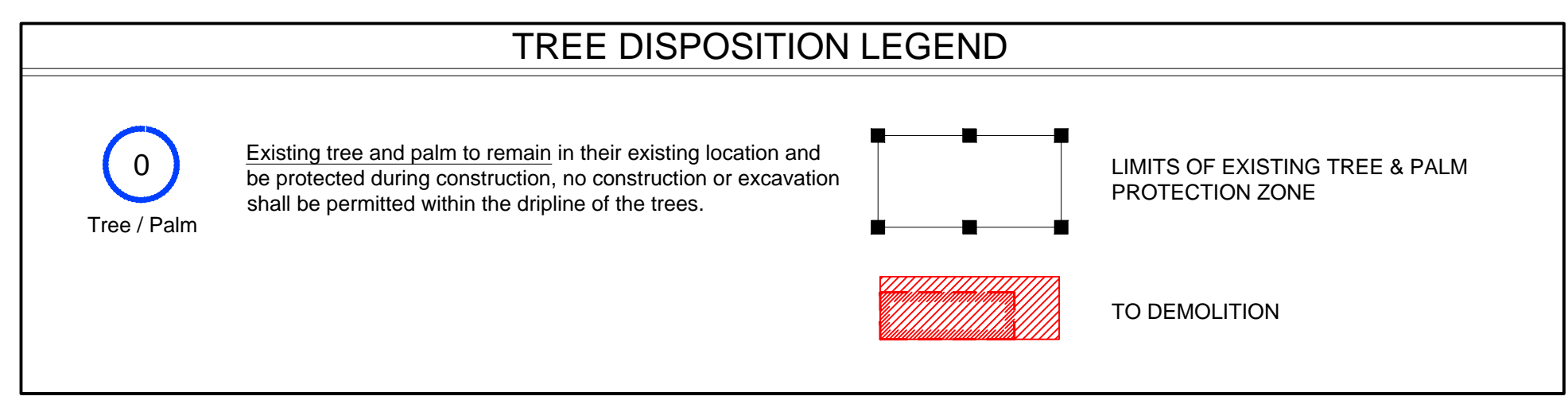
All Shrubs/Vegetation Not Shown On This Schedule Are To Be Removed.



TREE PROTECTION NOTES

- Before beginning work, the Contractor is required to meet with the Landscape Architect at the site to review all work procedures, access routes, storage areas, and tree protection measures.
- The General Contractor is required to coordinate with the Landscape Architect to determine the amount of tree canopy or root zone that the General Contractor will be responsible for pruning. THE TRIMMING SHALL BE AS PER ANSI A300 STANDARDS.
- Fences shall be erected to protect trees to be preserved. Fences define a specific Tree Protection Zone (TPZ) for each tree or group of trees. Fences are to remain until all site work has been completed. Fences may not be relocated or removed without the written permission of the Landscape Architect. Refer to TREE PROTECTION ZONE (TPZ) DETAIL.
- Construction trailers, traffic and storage areas must remain outside fenced areas at all times.
- All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree.
- No materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree protection zone (fenced area).
- Additional tree pruning required for clearance during construction must be performed by an ISA qualified arborist AS PER ANSI A300 STANDARDS, and not by construction personnel.
- Any herbicides placed under paving materials must be safe for use around trees and labeled for that use. Any pesticides used on site must be tree-safe and not easily transported by water.
- If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Landscape Contractor and the Landscape Architect should be notified immediately.
- Any grading, construction, demolition, or other work that is expected to encounter tree roots must be monitored by the Landscape Contractor.
- All trees shall be irrigated three times a week. Each irrigation procedure shall wet the soil within the tree protection zone, 2-3 GALLONS OF WATER PER INCH OF TRUNK CALIPER.
- All trees to remain on-site shall be fertilized three times per year using a granular 8-12-12 "Palm Special" product at standard rates. Fertilizer shall be broadcast on the ground beneath the canopy of each tree and watered in.
- Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent site erosion and siltation situations and/or erosion within the tree protection zones.
- Before grading, pad preparation, or excavation for foundations, footings, walls, or trenching near trees the trees shall be root pruned 12 inches outside the tree protection zone by cutting all roots cleanly to a depth of 36 inches. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root-pruning equipment.
- Any roots damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a saw.
- If temporary haul or access roads must pass over the root area of trees to be retained, a road bed of 6 inches of mulch or gravel shall be created to protect the soil. The road bed material shall be replenished as necessary to maintain a 6-inch depth.
- Spoil from trenches, basements, or other excavations shall not be placed within the tree protection zone, either temporarily or permanently.
- No burn piles or debris pits shall be placed within the tree protection zone. No ashes, debris, or garbage may be dumped or buried within the tree protection zone.
- Maintain fire-safe areas around fenced areas. Also, no heat sources, flames, ignition sources, or smoking is allowed near mulch or trees.

NOTE:
Any demolition or other work that is expected to encounter tree roots must be manually.



ALL LANDSCAPE DATA INC
 Landscape Architect LA6667045
 (305) 303 7059 / 4459 NW 97 CT.
 Doral, FL 33178
 www.alllandscapeata.net
 www.alllandscapeata.com

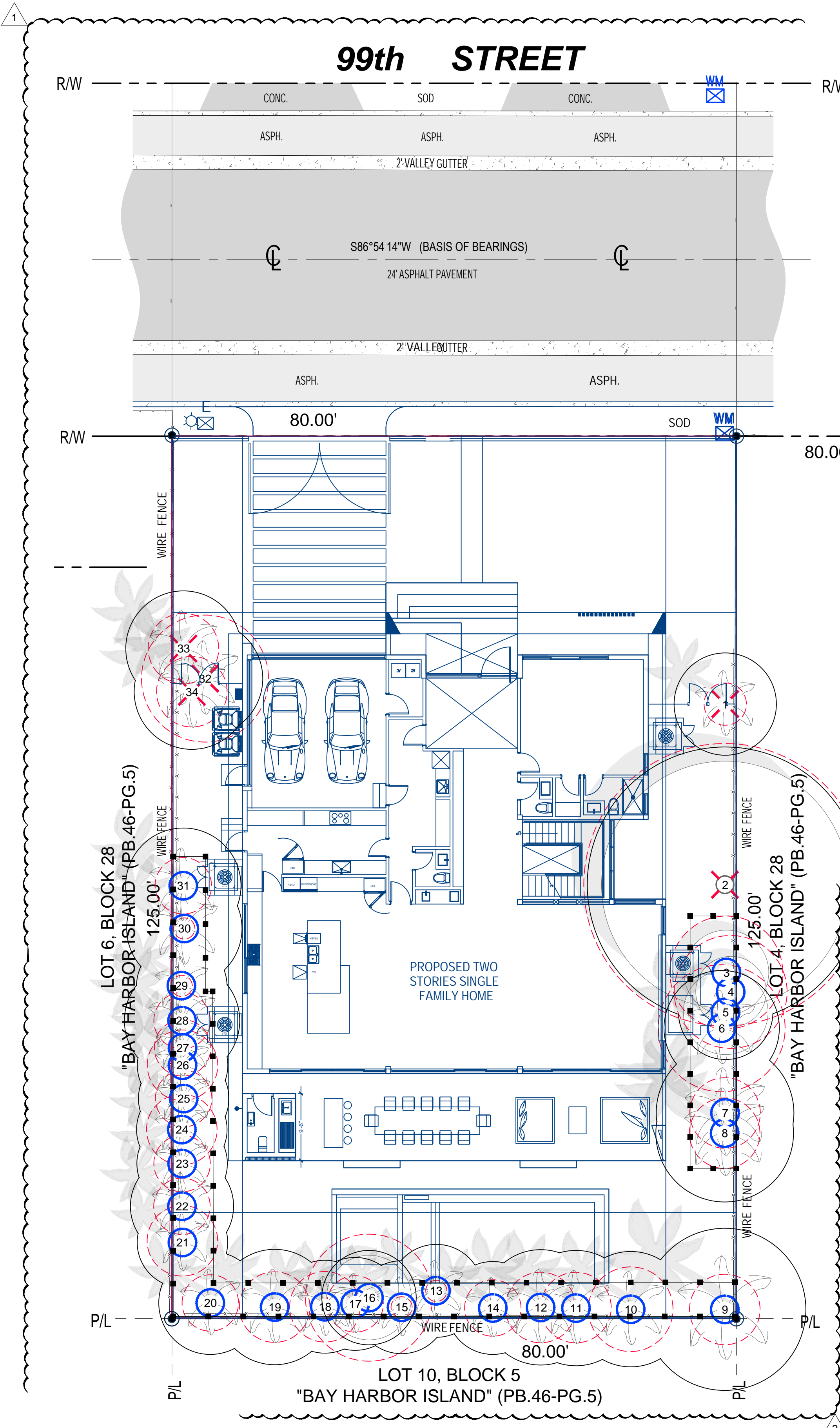
DERICK LANGE
 Landscape Architect LA6667045

REVISIONS:
 #2 City Comments & Background coordination 04-21-26

PROJECT NAME
BARUKHIN RESIDENCE
 1260 99th St
 Bay Harbor Islands, FL 33154

SHEET INFORMATION:
 Drawing Size 24x36
 Project #: 2025-12-121 TDG
 Drawn By: L.A.
 Checked By: ALD
 Title: **DEMOLITION PLAN**
 Sheet Number: **L-O-O**
 Date: - April 29, 2026

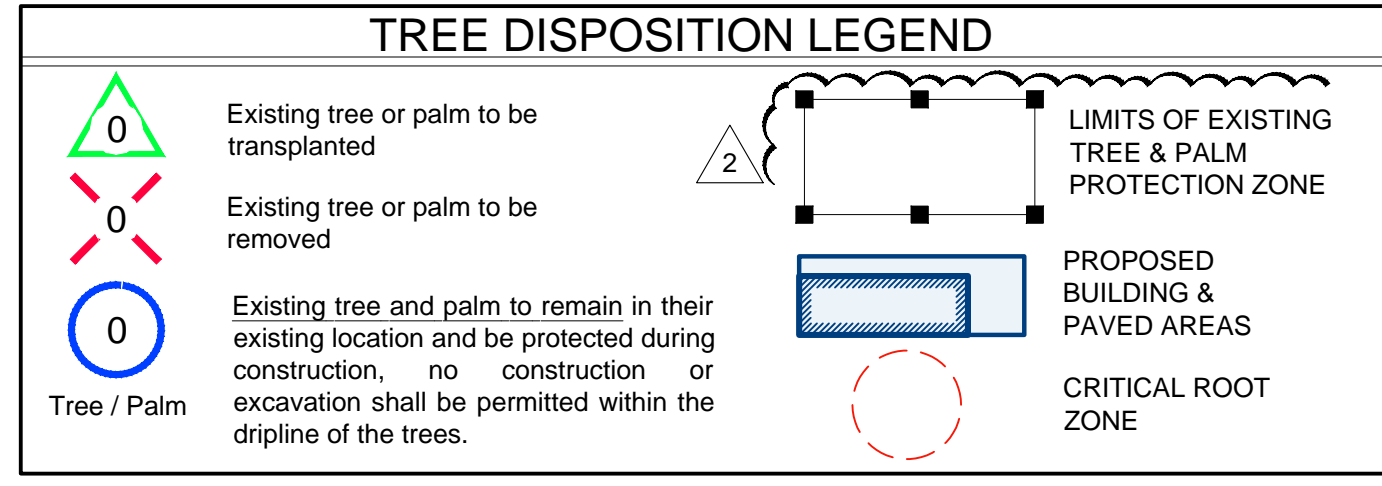
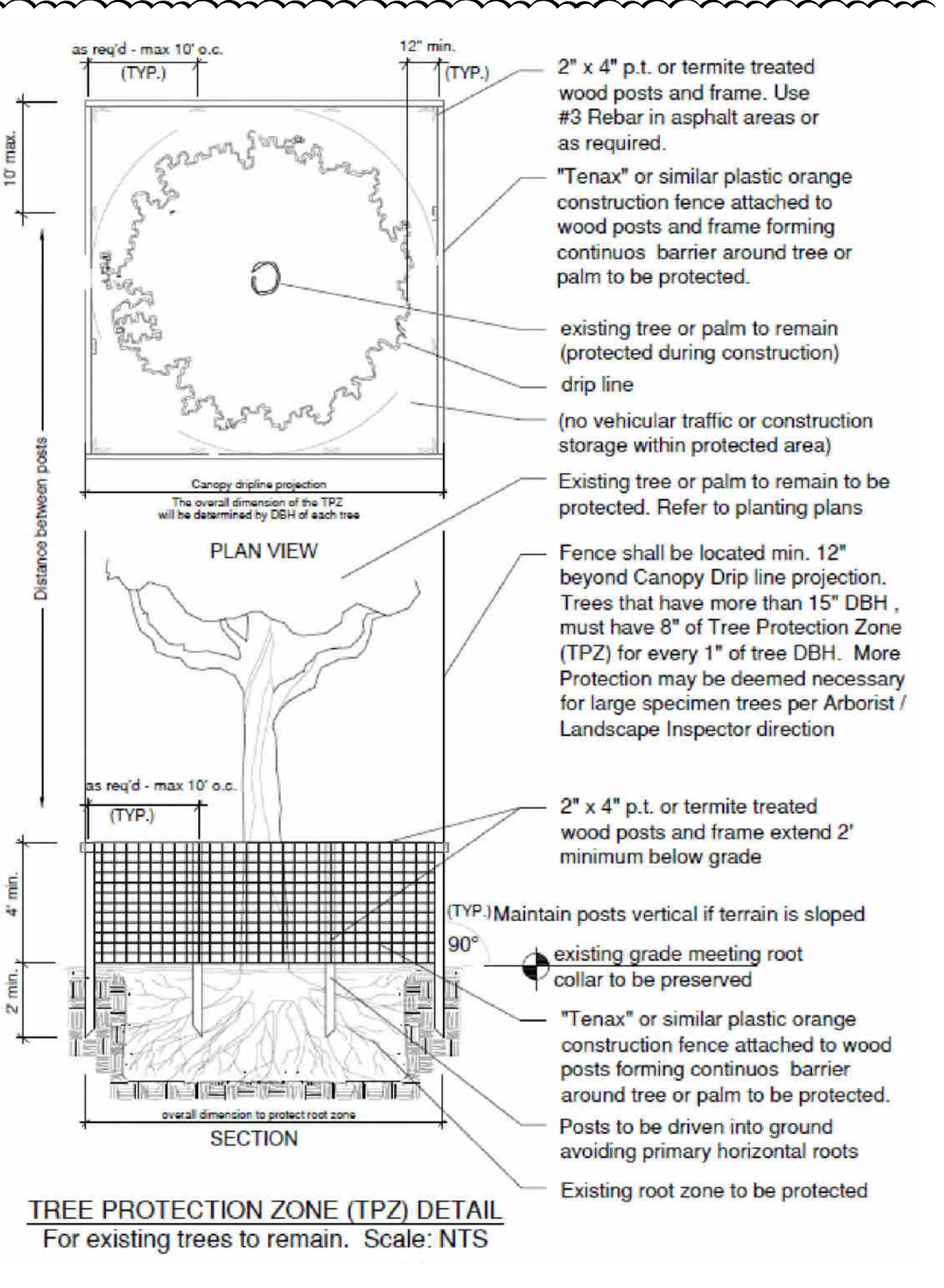
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EXISTING TREE DISPOSITION PLAN
 SCALE: 0 10 21 32 feet
 3/32" = 1'-0"

EXISTING TREE DISPOSITION CHART									
NUMBER	COMMON NAME	BOTANICAL NAME	HEIGHT (FT)	CANOPY (FT)	DBH (INCH)	TREE PROTECTION ZONE (TPZ) (Radius)	CANOPY (SQ.FT)	CANOPY LOSS	DISPOSITION
1	Areca palm	<i>Dypsis lutescens</i>	20	9	4	3	64	N/A	Remove without mitigation
2	Chinese banyan	<i>Ficus microcarpa</i>	35	35	60	40	962	N/A	Remove without mitigation. Listed as a Category I invasive species for central and south Florida by Florida Invasive Species Council.
3	Cocoplum	<i>Chrysobalanus icaco</i>	15	12	12	8	113		Remain
4	Cocoplum	<i>Chrysobalanus icaco</i>	14	10	12	8	79		Remain
5	Cocoplum	<i>Chrysobalanus icaco</i>	15	12	14	9	113		Remain
6	Veitchia montgomeryana	<i>Montgomerya palm</i>	18	10	8	5	79		Remain
7	Veitchia montgomeryana	<i>Montgomerya palm</i>	16	12	7	5	113		Remain
8	Veitchia montgomeryana	<i>Montgomerya palm</i>	18	12	8	5	113		Remain
9	Veitchia montgomeryana	<i>Montgomerya palm</i>	17	14	9	6	154		Remain
10	Veitchia montgomeryana	<i>Montgomerya palm</i>	18	10	9	6	79		Remain
11	Veitchia montgomeryana	<i>Montgomerya palm</i>	18	10	8	5	79		Remain
12	Veitchia montgomeryana	<i>Montgomerya palm</i>	17	10	8	5	79		Remain
13	Areca palm	<i>Dypsis lutescens</i>	18	8	5	3	50		Remain
14	Veitchia montgomeryana	<i>Montgomerya palm</i>	16	8	6	4	50		Remain
15	Veitchia montgomeryana	<i>Montgomerya palm</i>	15	8	5	3	50		Remain
16	Cocoplum	<i>Chrysobalanus icaco</i>	15	12	14	9	113		Remain
17	Veitchia montgomeryana	<i>Montgomerya palm</i>	16	8	6	4	50		Remain
18	Veitchia montgomeryana	<i>Montgomerya palm</i>	18	8	7	5	50		Remain
19	Veitchia montgomeryana	<i>Montgomerya palm</i>	19	10	7	5	79		Remain
20	Veitchia montgomeryana	<i>Montgomerya palm</i>	16	9	6	4	64		Remain
21	Veitchia montgomeryana	<i>Montgomerya palm</i>	15	8	8	5	50		Remain
22	Veitchia montgomeryana	<i>Montgomerya palm</i>	16	9	6	4	64		Remain
23	Veitchia montgomeryana	<i>Montgomerya palm</i>	15	8	6	4	50		Remain
24	Veitchia montgomeryana	<i>Montgomerya palm</i>	16	8	7	5	50		Remain
25	Veitchia montgomeryana	<i>Montgomerya palm</i>	12	8	6	4	50		Remain
26	Veitchia montgomeryana	<i>Montgomerya palm</i>	13	8	8	5	50		Remain
27	Veitchia montgomeryana	<i>Montgomerya palm</i>	13	8	6	4	50		Remain
28	Veitchia montgomeryana	<i>Montgomerya palm</i>	16	10	6	4	79		Remain
29	Veitchia montgomeryana	<i>Montgomerya palm</i>	14	8	5	3	50		Remain
30	Veitchia montgomeryana	<i>Montgomerya palm</i>	16	10	5	3	79		Remain
31	Veitchia montgomeryana	<i>Montgomerya palm</i>	16	11	6	4	95		Remain
32	Royal palm	<i>Roystonea regia</i>	10	8	14	9	50	50	Remove
33	Veitchia montgomeryana	<i>Montgomerya palm</i>	18	10	7	5	79	79	Remove
34	Veitchia montgomeryana	<i>Montgomerya palm</i>	19	12	7	5	113	113	Remove
TOTAL PROPOSED CANOPY LOSS (in square feet)								242	

All Shrubs/Vegetation Not Shown On This Schedule Are To Be Removed.



MIAMI-DADE COUNTY TREE MITIGATION SUMMARY CHART				
PROPOSED CANOPY LOSS				
242 s.f. Proposed Canopy Loss (see Existing Tree Disposition List)				242 s.f.
REQUIRED CANOPY MITIGATION				242 s.f.
QUANTITY	REPLACEMENT TYPE	CANOPY CREDIT	MIN. SIZE AT PLANTING	CANOPY MITIGATED (Sq.Ft)
5	Shade (Hardwood) Tree 1	500	12' OAH	2,500
0	Shade (Hardwood) Tree 2	300	8' OAH	300
0	Palm Tree 1	300	10' CT	0
0	Palm Tree 2	100	3' CT	0
0	Small Tree	200	6' OAH	0
PROVIDED CANOPY MITIGATION				2,500
1	Tree required for mitigation	1	Palms allowed (no more than 30%)	
1	Native Trees required 50%	0	Native Trees removed	
7	Native Trees provided	7	Native Trees provided	

Please note if more than ten (10) trees (based on the categories listed above) are required to be planted then a minimum of fifty (50) percent of all replacement trees shall be native to Miami-Dade County and no more than thirty (30) percent of the replacement trees shall be palms. However, when native trees are removed, all replacement trees shall be native species.

TREE PROTECTION NOTES

- Before beginning work, the Contractor is required to meet with the Landscape Architect at the site to review all work procedures, access routes, storage areas, and tree protection measures.
- The General Contractor is required to coordinate with the Landscape Architect to determine the amount of tree canopy or root zone that the General Contractor will be responsible for pruning. THE TRIMMING SHALL BE AS PER ANSI A300 STANDARDS.
- Fences shall be erected to protect trees to be preserved. Fences define a specific Tree Protection Zone (TPZ) for each tree or group of trees. Fences are to remain until all site work has been completed. Fences may not be relocated or removed without the written permission of the Landscape Architect. Refer to TREE PROTECTION ZONE (TPZ) DETAIL.
- Construction trailers, traffic and storage areas must remain outside fenced areas at all times.
- All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree.
- No materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree protection zone (fenced area).
- Additional tree pruning required for clearance during construction must be performed by a ISA qualified arborist AS PER ANSI A300 STANDARDS, and not by construction personnel.
- Any herbicides placed under paving materials must be safe for use around trees and labeled for that use. Any pesticides used on site must be tree-safe and not easily transported by water.
- If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Landscape Contractor and the Landscape Architect should be notified immediately.
- Any grading, construction, demolition, or other work that is expected to encounter tree roots must be monitored by the Landscape Contractor.
- All trees shall be irrigated three times a week. Each irrigation procedure shall wet the soil within the tree protection zone, 2-3 GALLONS OF WATER PER INCH OF TRUNK CALIPER.
- All trees to remain on-site shall be fertilized three times per year using a granular 8-12-12 "Palm Special" product at standard rates. Fertilizer shall be broadcast on the ground beneath the canopy of each tree and watered in.
- Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent site erosion and siltation situations and/or erosion within the tree protection zones.
- Before grading, pad preparation, or excavation for foundations, footings, walls, or trenching near trees the trees shall be root pruned 12 inches outside the tree protection zone by cutting all roots cleanly to a depth of 36 inches. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root-pruning equipment.
- Any roots damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a saw.
- If temporary haul or access roads must pass over the root area of trees to be retained, a road bed of 6 inches of mulch or gravel shall be created to protect the soil. The road bed material shall be replenished as necessary to maintain a 6-inch depth.
- Spoil from trenches, basements, or other excavations shall not be placed within the tree protection zone, either temporarily or permanently.
- No burn piles or debris pits shall be placed within the tree protection zone. No ashes, debris, or garbage may be dumped or buried within the tree protection zone.
- Maintain fire-safe areas around fenced areas. Also, no heat sources, flames, ignition sources, or smoking is allowed near mulch or trees.

NOTE: For trees to be removed a separate permit will be pulled.

ALL LANDSCAPE DATA INC.
 Landscape Architect LA6667045

DERICK LANGEL
 Landscape Architect LA6667045

REVISIONS:
 #1 City Comments 02-20-26
 #2 City Comments & Background coordination 04-21-26

PROJECT NAME
BARUKHIN RESIDENCE
 1260 99th St
 Bay Harbor Islands, FL 33154

Drawing Size 24x36
 Project #: 2025-12-121 TDG
 Drawn By: L.A.
 Checked By: ALD

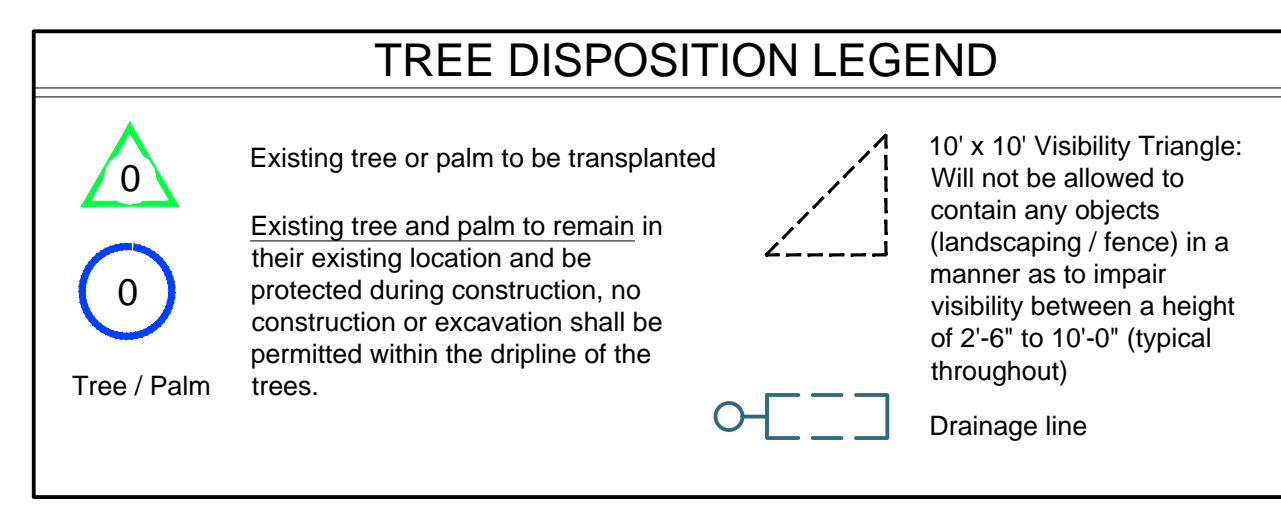
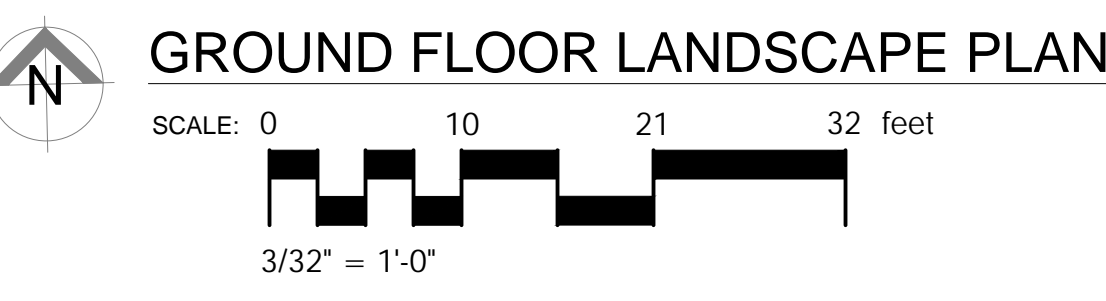
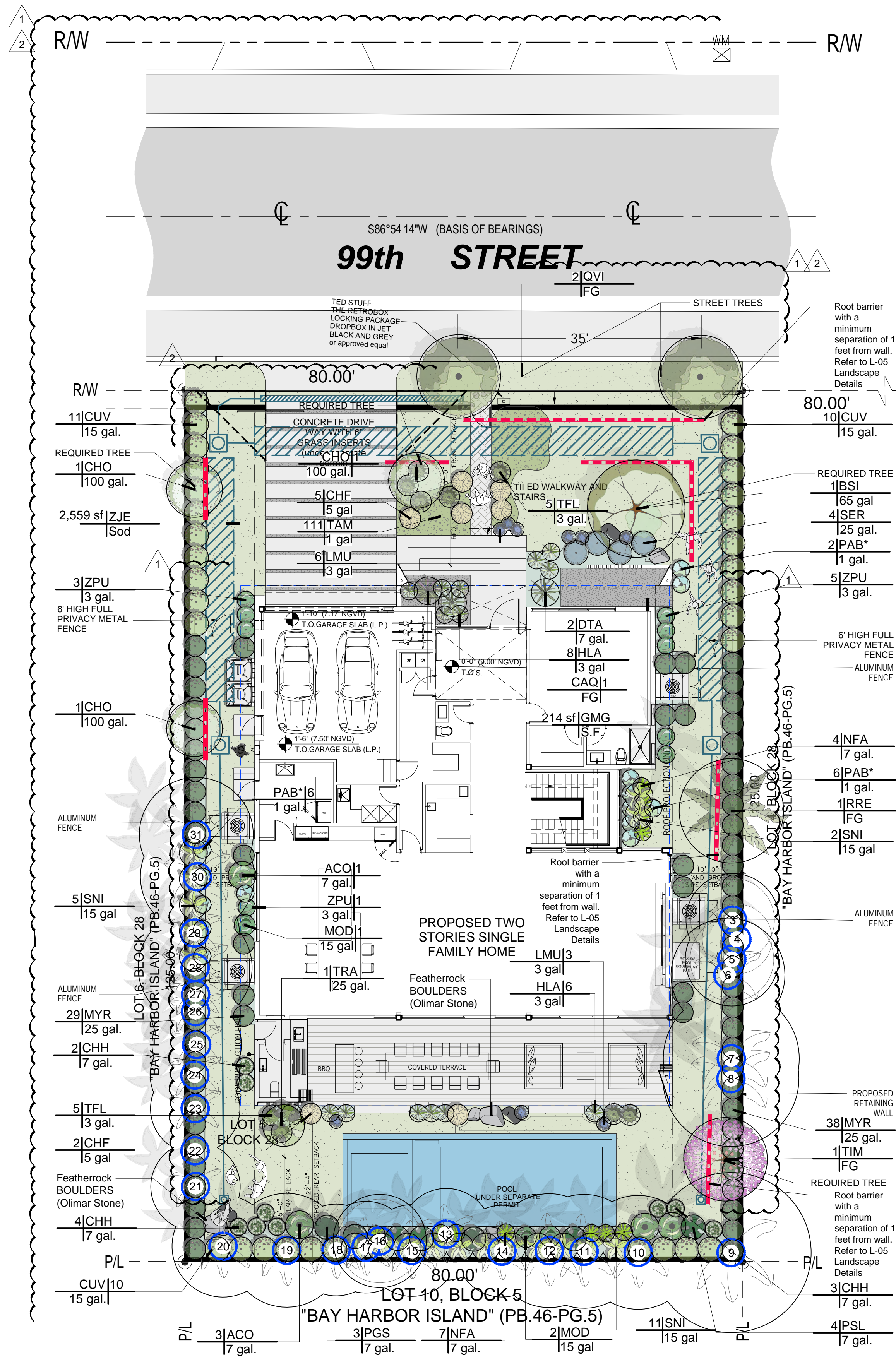
TITLE:
EXISTING TREE DISPOSITION PLAN

SHEET NUMBER:
L-1.0

DATE:
 April 29, 2026

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EXISTING TREES TO REMAIN								
NUMBER	COMMON NAME	BOTANICAL NAME	HEIGHT (FT)	CANOPY (FT)	DBH (INCH)	CANOPY (SQ.FT)	CANOPY LOSS	DISPOSITION
3	Cocoplum	Chrysobalanus icaco	15	12	12	113		Remain
4	Cocoplum	Chrysobalanus icaco	14	10	12	79		Remain
5	Cocoplum	Chrysobalanus icaco	15	12	14	113		Remain
6	Veitchia montgomeryana	Montgomery palm	18	10	8	79		Remain
7	Veitchia montgomeryana	Montgomery palm	16	12	7	113		Remain
8	Veitchia montgomeryana	Montgomery palm	18	12	8	113		Remain
9	Veitchia montgomeryana	Montgomery palm	17	14	9	154		Remain
10	Veitchia montgomeryana	Montgomery palm	18	10	9	79		Remain
11	Veitchia montgomeryana	Montgomery palm	18	10	8	79		Remain
12	Veitchia montgomeryana	Montgomery palm	17	10	8	79		Remain
13	Areca palm	Dypsis lutescens	18	8	5	50		Remain
14	Veitchia montgomeryana	Montgomery palm	16	8	6	50		Remain
15	Veitchia montgomeryana	Montgomery palm	15	8	5	50		Remain
16	Cocoplum	Chrysobalanus icaco	15	12	14	113		Remain
17	Veitchia montgomeryana	Montgomery palm	16	8	6	50		Remain
18	Veitchia montgomeryana	Montgomery palm	18	8	7	50		Remain
19	Veitchia montgomeryana	Montgomery palm	19	10	7	79		Remain
20	Veitchia montgomeryana	Montgomery palm	16	9	6	64		Remain
21	Veitchia montgomeryana	Montgomery palm	15	8	8	50		Remain
22	Veitchia montgomeryana	Montgomery palm	16	9	6	64		Remain
23	Veitchia montgomeryana	Montgomery palm	15	8	6	50		Remain
24	Veitchia montgomeryana	Montgomery palm	16	8	7	50		Remain
25	Veitchia montgomeryana	Montgomery palm	12	8	6	50		Remain
26	Veitchia montgomeryana	Montgomery palm	13	8	8	50		Remain
27	Veitchia montgomeryana	Montgomery palm	13	8	6	50		Remain
28	Veitchia montgomeryana	Montgomery palm	16	10	6	79		Remain
29	Veitchia montgomeryana	Montgomery palm	14	8	5	50		Remain
30	Veitchia montgomeryana	Montgomery palm	16	10	5	79		Remain
31	Veitchia montgomeryana	Montgomery palm	16	11	6	95		Remain

All Shrubs/Vegetation Not Shown On This Schedule Are To Be Removed.

PLANT SCHEDULE GROUND FLOOR							
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD
PALM TREES							
RRE	1	Roystonea regia	Royal Palm	FG	18"	10' GW	16'
REQUIRED TREES							
BSI	1	Bursera simaruba Florida Native - Miami-Dade Landscape Manual - Drought Tolerant. Four feet of clear wood before branching.	Gumbo Limbo	65 gal	4"	14'-16' OA	8'
CHO	3	Chrysophyllum oliviforme STD - Florida Native - Miami-Dade Landscape Manual - Very Drought Tolerant	Satinleaf	100 gal.	2.5"	14' OA	6'
TIM	1	Tabebuia impetiginosa STD - Miami-Dade Landscape Manual - Very Drought Tolerant. 4 feet clear truck.	Pink Trumpet Tree	FG	2.5"	14' OA	6'
STREET TREE							
QVI	2	Quercus virginiana Florida Native - Miami-Dade Landscape Manual. Six feet of clear wood before branching.	Southern Live Oak	FG	4"	15' OA	6'
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	WIDTH	
SHRUBS							
ACO	4	Alocasia callidora	Elephant's Ear	7 gal.	4'-5'	3'-4'	
CHF	7	Cenchrus alopecuroides 'Hameln' Drought Tolerant	Hameln Fountain Grass	5 gal	3'	3'	
CHH	9	Chrysobalanus icaco 'Horizontalis' Florida Native - Drought Tolerant	Horizontal Coco Plum	7 gal.	2'	2'	
CAQ	1	Crinum augustum 'Queen Emma' Dracaena marginata 'Tarzan'	'Queen Emma' Crinum	FG	4' OA	4'	
DTA	2	Hymenocallis latifolia	Spider Lily	3 gal	2'	2'	
HLA	14	Liriope muscari	Lily Turf	3 gal	1.5'	1'	
LMU	9	Monstera deliciosa Miami-Dade Landscape Manual	Ceriman	15 gal	4'-5'	4'	
MOD	3	Nephrolepis biserrata Florida Native - Miami-Dade Landscape Manual	Macho Fern	7 gal.	3'	2'	
PSL	4	Philodendron bipinnatifidum	Spit Leaf Philodendron	7 gal.	2.5' OA	2.5'	
PGS	3	Philodendron gloriosum	Philodendron Gloriosum	7 gal.	2.5' OA	2.5'	
PAB*	14	Shade Plant Phlebodium aureum 'Blue Star' Florida Native - Epiphytic and Terrestrial Growth - Shade Grown	Blue Star Fern	1 gal.			
SER	4	Serenoa repens 'Cinerea' Florida Native - Miami-Dade Landscape Manual - Drought Tolerant	Saw Palmetto	25 gal.	3'	3'	
TFL	10	Tripsacum floridanum Florida Native	Florida Gamagrass	3 gal.	2'	2'	
ZPU	9	Zamia pumila Florida Native - Miami-Dade Landscape Manual	Coontie	3 gal.	2'	2'	
ACCENTS							
SNI	18	Streptozia nicolai	White Bird of Paradise	15 gal	6'	4'	
LARGE SHRUBS							
CUV	31	Coccoloba uvifera Bush - Florida Native	Sea Grape	15 gal.	6'	3.5'	
MYR	67	Myrcianthes fragrans Florida Native - Drought Tolerant - Shrub Type	Simpson's Stopper	25 gal.	6'	3'	
TRA	1	Thrinax radiata Single - Florida Native - Miami-Dade Landscape Manual - Drought Tolerant	Florida Thatch Palm	25 gal.	5'	4'-5'	

Town of Bay Harbor Islands
Landscape Code (Sec. 24-16) Requirements Legend

Residential - Single-Family and Two-Family Home Sites
RD-SINGLE AND TWO-FAMILY DISTRICT

A. Shade Trees Required*

	Required	Provided
1. Single-Family Non-Waterfront Lot	5	5
2. Single-Family Waterfront Lot	6	N/A
3. Two-Family Lot	5	N/A
4. Number of Shade Trees in Front Yard	2	2
5. Native Species Required - 50%	3	5
6. Drought Tolerant and Low Maintenance Species Require - 50%	3	5
7. Street Trees Required: Linear street frontage 80' / 35 = 2,2	2	2

B. Shrubs Required**

	Required	Provided
1. Single-Family Non-Waterfront Lot x10 ten per required tree	70	211
2. Single-Family Waterfront Lot	60	N/A
3. Two-Family Lot	50	N/A
4. Native Species Required 80%	170	170
5. Drought Tolerant and Low Maintenance Species Require - 50%	106	152

C. Maximum Lawn Area Allowed***

	50% of Net Lot Area	5,000 s.f. (Max)	2,559 s.f.
D. Open Space 40 % at ground level (10,000 s.f.)	4,000 s.f. (Max)		4,294 s.f.

Notes:
* Required Shade Trees at time of planting must be a minimum of: 12 feet in overall height; have 4 feet of clear wood before branching; and have a 2 1/2 inch caliper. Palm Trees can be substituted at a 3:1 ratio (except approved larger varieties) to a maximum of 25% of the required trees.
** Required Shrubs at time of planting must be a minimum of 24 inches in overall height; if used as a visual screen must be a minimum of 36 inches in overall height.
*** Miami-Dade County Landscape Ordinance Sec. 18A-5 (A)(5)

PLANT SCHEDULE GROUND FLOOR

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
TAM	111	Trachelospermum asiaticum 'Minima'	Minima Jasmine	1 gal	15" o.c.
GROUND COVERS					
TAM	111	Trachelospermum asiaticum 'Minima'	Minima Jasmine	1 gal	15" o.c.
AGGREGATES					
GMG	214 sf	Gray Marble Gravel 1/2" 3" Layer - Substitute for Gray Pearock if Desired	1/2" Grey Marble Gravel	S.F.	
SOD/SEED					
ZJE	2,559 sf	Zoysia japonica 'Empire'	Korean Grass	Sod	

ALL LANDSCAPE DATA INC
DERICK LANGEL
Landscape Architect LA6667045

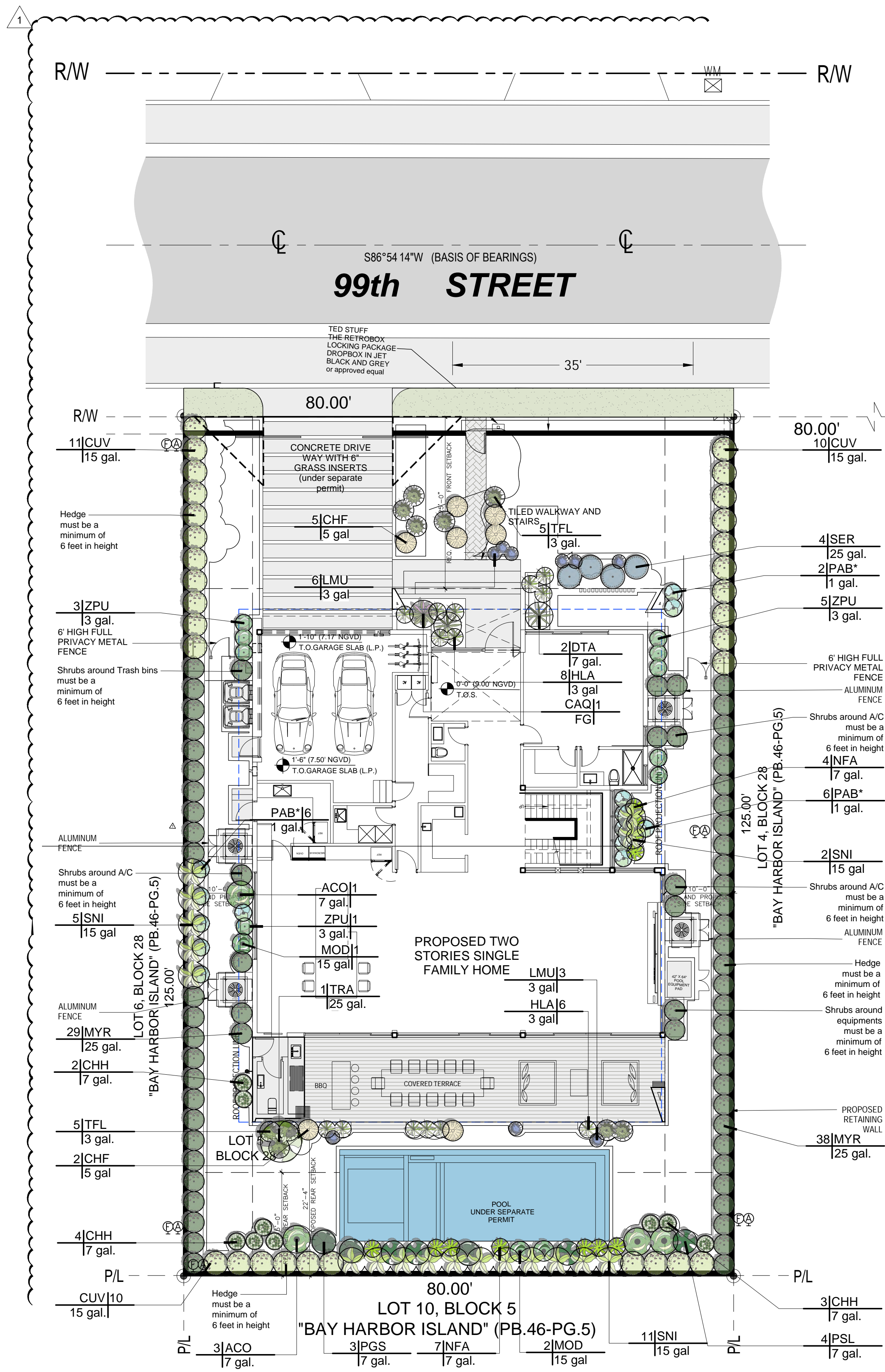
REVISIONS:
#1 City Comments 02/20/26
#2 City Comments & Background coordination 04-21-26

PROJECT NAME
BARUKHIN RESIDENCE
1260 99th St
Bay Harbor Islands, FL 33154

SHEET INFORMATION:
Drawing Size 24x36
Project #: 2025-12-121 TDG
Drawn By: L.A.
Checked By: ALD
Title:
GROUND FLOOR LANDSCAPE PLAN
Sheet Number:
L-2.0
Date: - April 29, 2026

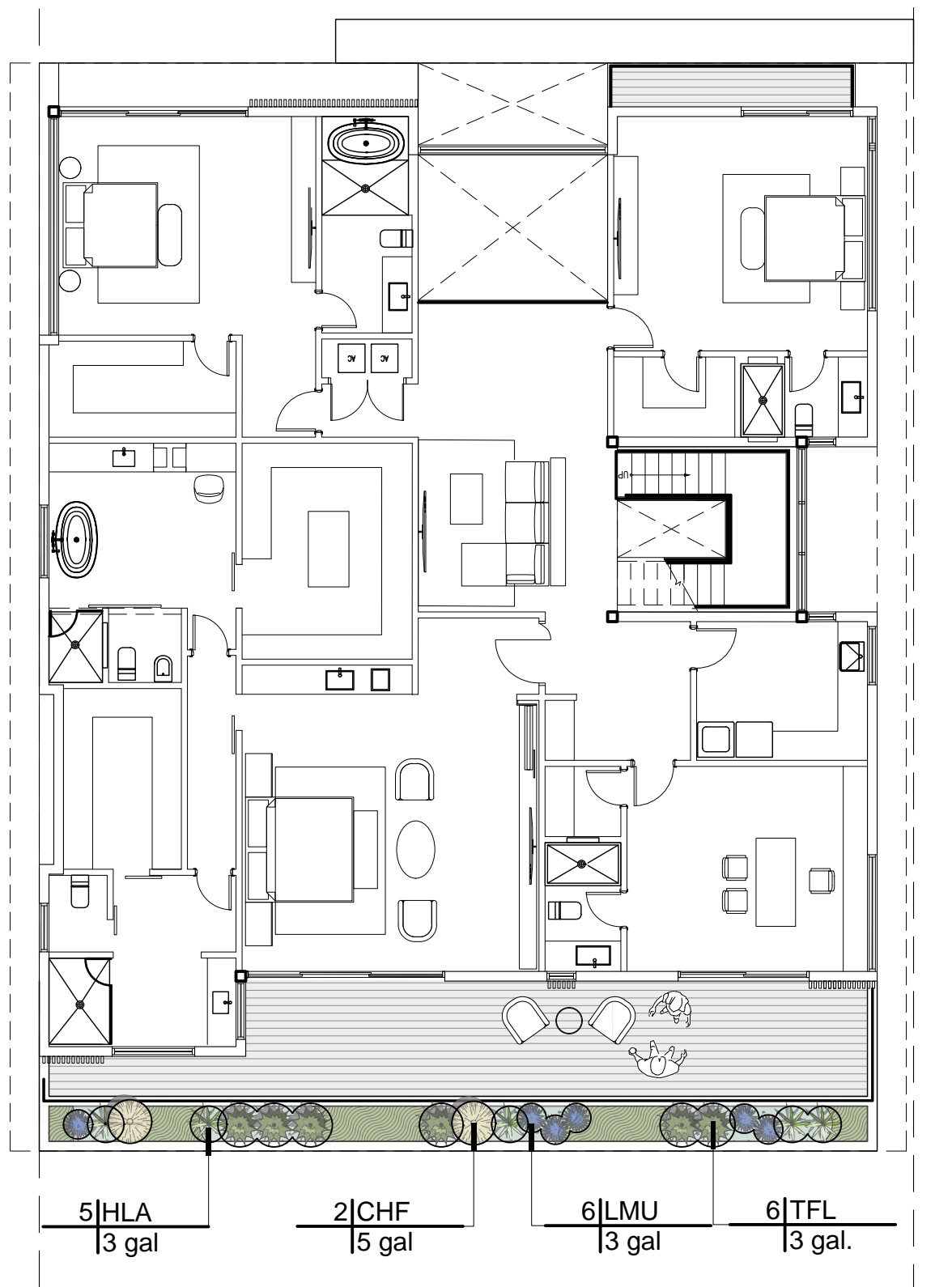
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PLANT SCHEDULE GROUND FLOOR

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	WIDTH	REMARKS
SHRUBS							
ACO	4	Alocasia calidora	Elephant's Ear	7 gal.	4'-5'	3'-4'	
CHF	6	Cenchrus alopecuroides 'Hameln'	Hameln Fountain Grass	5 gal	3'	3'	Drought Tolerant
CHH	9	Chrysobalanus icaco 'Horizontalis'	Horizontal Coco Plum	7 gal.	2'	2'	Florida Native - Drought Tolerant
CAQ	1	Crinum augustum 'Queen Emma'	'Queen Emma' Crinum	FG	4' OA	4'	
DTA	2	Dracaena marginata 'Tarzan'	Tarzan Dracaena	7 gal.	4'	3.5'	
HLA	14	Hymenocallis latifolia	Spider Lily	3 gal	2'	2'	
LMU	9	Liriope muscari	Lily Turf	3 gal	1.5'	1'	Drought Tolerant - Miami-Dade County Landscape Manual
MOD	3	Monstera deliciosa	Ceriman	15 gal	4'-5'	4'	Miami-Dade Landscape Manual
NFA	11	Nephrolepis biserrata	Macho Fern	7 gal.	3"	2"	Florida Native - Miami-Dade Landscape Manual
PSL	4	Philodendron bipinnatifidum	Split Leaf Philodendron	7 gal.	2.5' OA	2.5'	
PGS	3	Philodendron gloriosum	Philodendron Gloriosum	7 gal.	2.5' OA	2.5'	Shade Plant
PAB*	14	Phlebodium aureum 'Blue Star'	Blue Star Fern	1 gal.			Florida Native - Epyphytic and Terrestrial Growth - Shade Grown
SER	5	Serenoa repens 'Cinerea'	Saw Palmetto	25 gal.	3'	3'	Florida Native - Miami-Dade Landscape Manual - Drought Tolerant
TFL	10	Tripsacum floridanum	Florida Gamagrass	3 gal.	2'	2'	Florida Native
ZPU	9	Zamia pumila	Coontie	3 gal.	2'	2'	Florida Native - Miami-Dade Landscape Manual
ACCENTS							
SNI	18	Strelitzia nicolai	White Bird of Paradise	15 gal	6'	4'	
LARGE SHRUBS							
CUV	31	Coccoloba uvifera	Sea Grape	15 gal.	6'	3.5'	Bush - Florida Native
MYR	67	Myrcianthes fragrans	Simpson's Stopper	25 gal.	6'	3'	Florida Native - Drought Tolerant - Shrub Type
TRA	1	Thrinax radiata	Florida Thatch Palm	25 gal.	5'	4'-5'	Single - Florida Native - Miami-Dade Landscape Manual - Drought Tolerant



PLANT SCHEDULE SECOND

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	WIDTH	
SHRUBS							
CHF	2	Cenchrus alopecuroides 'Hameln'	Hameln Fountain Grass	5 gal	3'	3'	
HLA	5	Hymenocallis latifolia	Spider Lily	3 gal	2'	2'	
LMU	6	Liriope muscari	Lily Turf	3 gal	1.5'	1'	Drought Tolerant - Miami-Dade County Landscape Manual
TFL	6	Tripsacum floridanum	Florida Gamagrass	3 gal.	2'	2'	Florida Native
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	SPD	SPACING
GROUND COVERS							
ELI2	39	Ernodea littoralis	Golden Creeper Curtain	3 gal.	1'	1.5'	15" o.c.



ALL LANDSCAPE DATA INC

DERICK LANGEL
Landscape Architect LA6667045

LA 6667045
LA 6667045
LA 6667045
LA 6667045

REVISIONS:
#2 City Comments & Background coordination 04-21-26

PROJECT NAME
BARUKHIN RESIDENCE
1260 99th St
Bay Harbor Islands, FL 33154

SHRUBS & SECOND FLOOR LANDSCAPE PLAN

Sheet Number:
L-3.0

Date: - April 29, 2026

Drawing Size 24x36
Project #: 2025-12-121 TDG
Drawn By: L.A.
Checked By: ALD

Title:
GROUND FLOOR LANDSCAPE PLAN-SHRUBS & SECOND FLOOR LANDSCAPE PLAN

Sheet Number:
L-3.0

Date: - April 29, 2026

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1 Elevation- Front Side
SCALE: N.T.S.



2 Elevation- Rear Side
SCALE: N.T.S.



3 Elevation- Left Side
SCALE: N.T.S.



2 Elevation- Right Side
SCALE: N.T.S.

ALL LANDSCAPE DATA INC

DERICK LANGEL
Landscape Architect LA6667045

REVISIONS:
#1 City Comments 02-20-26

PROJECT NAME
BARUKHIN RESIDENCE
1260 99th St
Bay Harbor Islands, FL 33154

SHEET INFORMATION:
Drawing Size 24x36
Project #: 2025-12-121 TDG
Drawn By: L.A.
Checked By: ALD
Title: FACADES
Sheet Number: L-4.0
Date: - April 29, 2026

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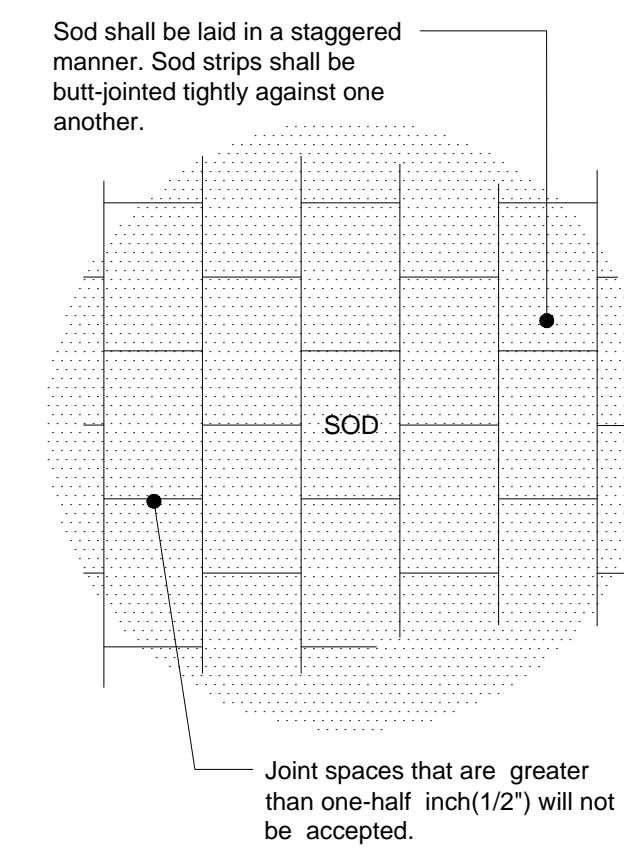
GENERAL NOTES

- Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
- Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for change orders.
- Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
- No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting.
- All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
- All planted areas to be outfitted with automatic irrigation system providing 100% coverage and 50% overlap. A rain sensor must be part of the irrigation system.
- Landscape Contractor shall be responsible for providing temporary hand watering to all proposed & landscape areas, during construction.
- The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the Tree/Palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
- All permitting and fees to be the responsibility of the Contractor.

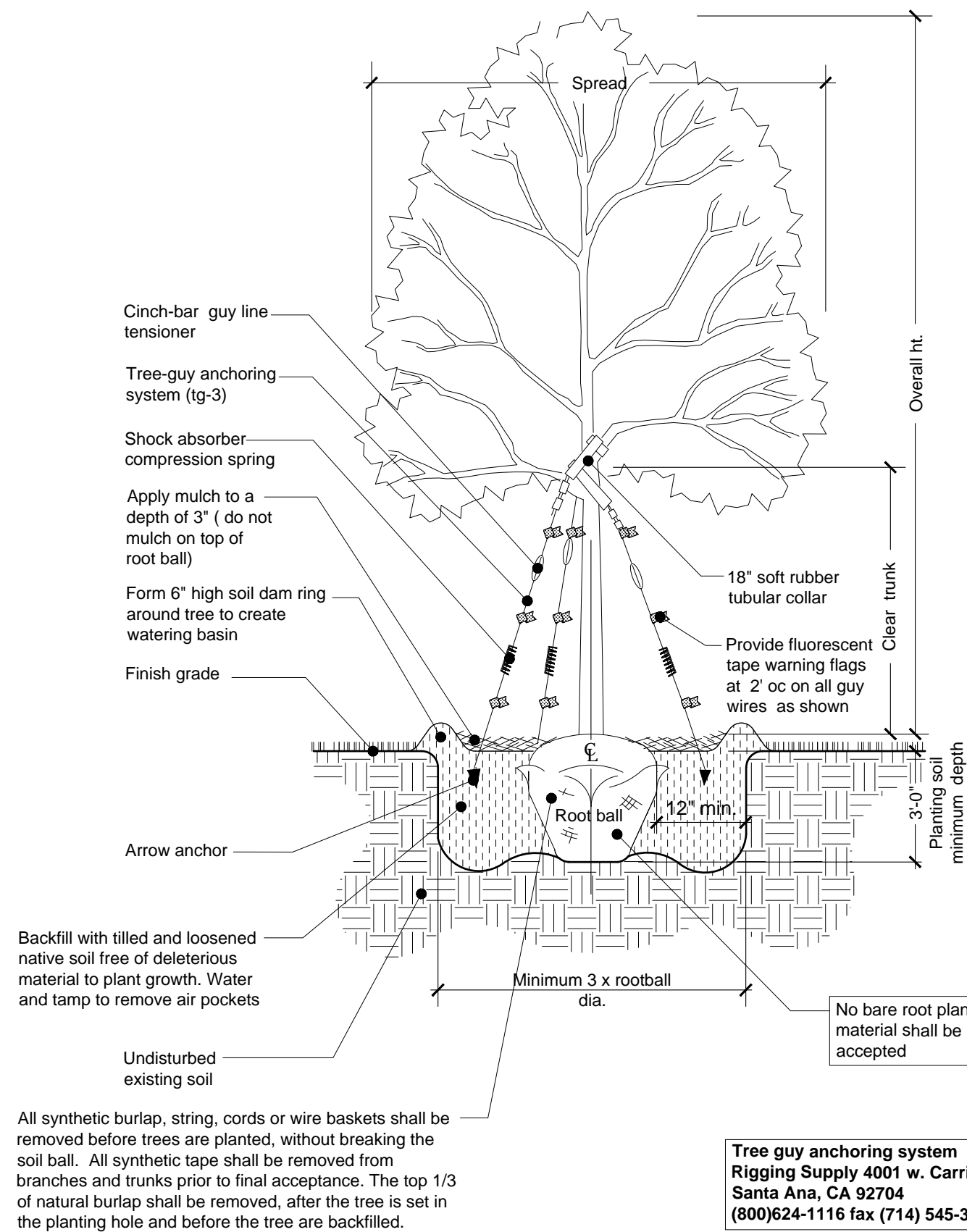
PLANTING NOTES

- Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, herbicide, preemergence herbicide, seed, and mulch. Landscape Contractor to provide Landscape Architect with at least 5 days notice prior to tree installation.
- Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
- All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
- Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
- Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor.
- The Landscape Contractor shall treat planted areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall apply pre emergent herbicide per manufacturer's recommendation, wait period prior to planting as specified. Planting soil mix/backfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
- All soil mix in plant beds for ground covers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 4" topsoil "if required".
- All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
- All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted, without breaking the soil ball. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of natural burlap shall be removed, after the tree is set in the planting hole and before the tree is backfilled. Landscape Contractor is to check for root defects including deep planting in the root ball and circling roots, trees with root problems will not be accepted.
- Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color Eucalyptus or Enviro mulch immediately after planting. In no case shall Cypress mulch be used.
- All Trees/Palms in sod areas are to receive a 48" diameter mulched saucer at the base of the trunk respectively.
- Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
- All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
- All broken branches and clear trunk branches on street trees are to be pruned according to ANSI A - 300 Guidelines for Tree Pruning to min. 5' - 0" height clearance to the base of canopy.
- Landscape Contractor shall fertilize plant material as needed to support optimum healthy plant growth. All fertilization shall be performed in compliance with the latest ANSI A300 (Part 2) Standards.
- Stake all trees and palms for approval by Landscape Architect prior to installation.
- Any sod areas damaged by construction are to be replaced with St. Augustine 'Floritam' sod.
- All areas within limits of work not covered by walks, buildings, playground, and/or any other hardscape feature shall be sodded with St. Augustine 'Floritam' sod.
- St. Augustine 'Floritam' - Contractor's responsibility to verify quantity.
- Install rootbarrier as per manufacturer's recommendation on all large trees that are 6' or closer to any pavement or building, as shown on details page.
- Root barrier shall be Vespro Inc. or approved equal.

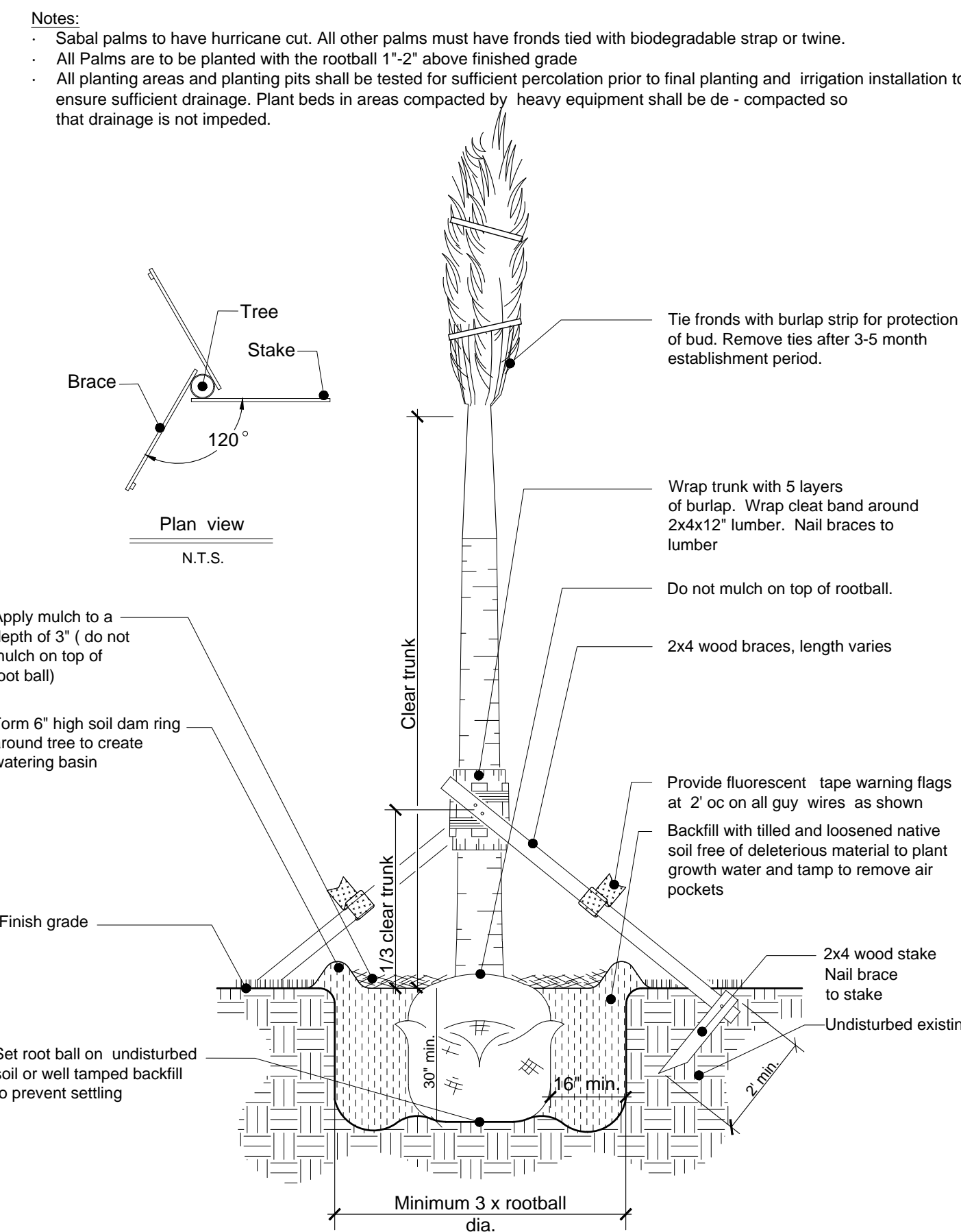
1 General Planting Notes
SCALE: N.T.S.



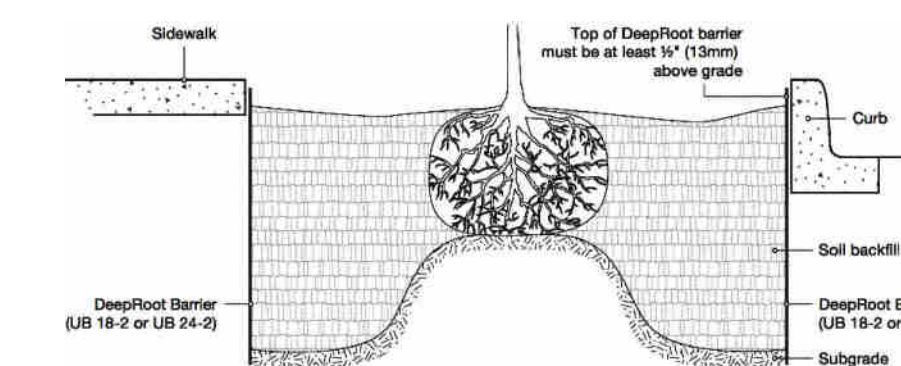
2 Sod Planting Detail
SCALE: N.T.S.



3 Tree Planting Detail
SCALE: N.T.S.

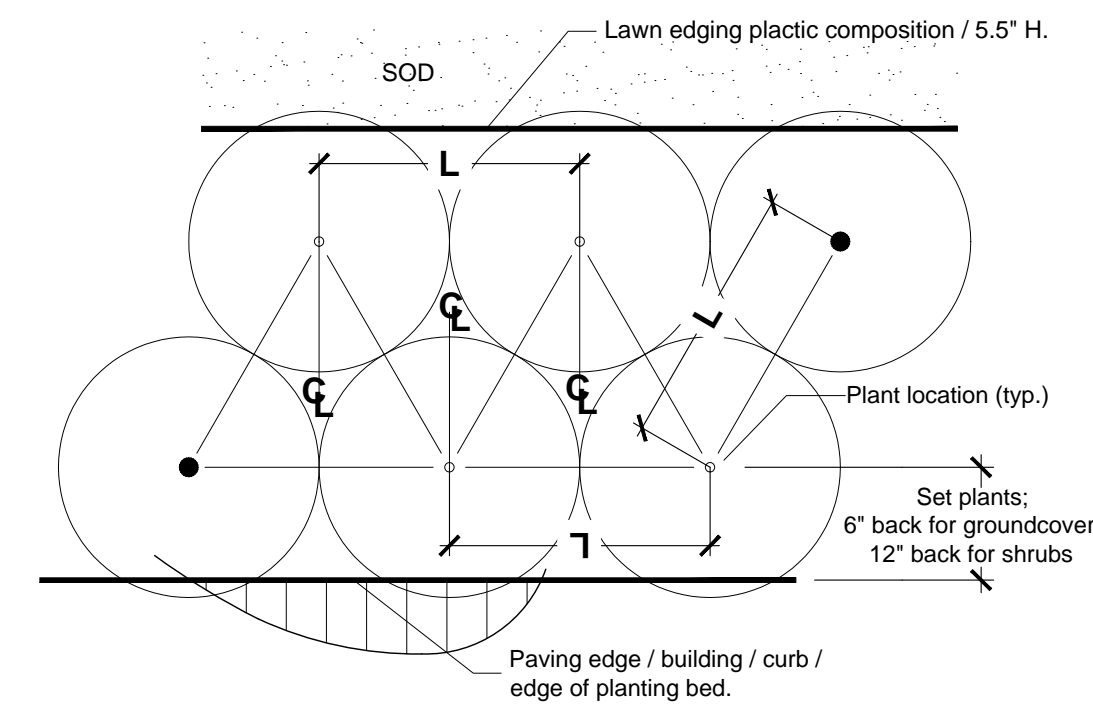


4 Palm Planting Detail
SCALE: N.T.S.

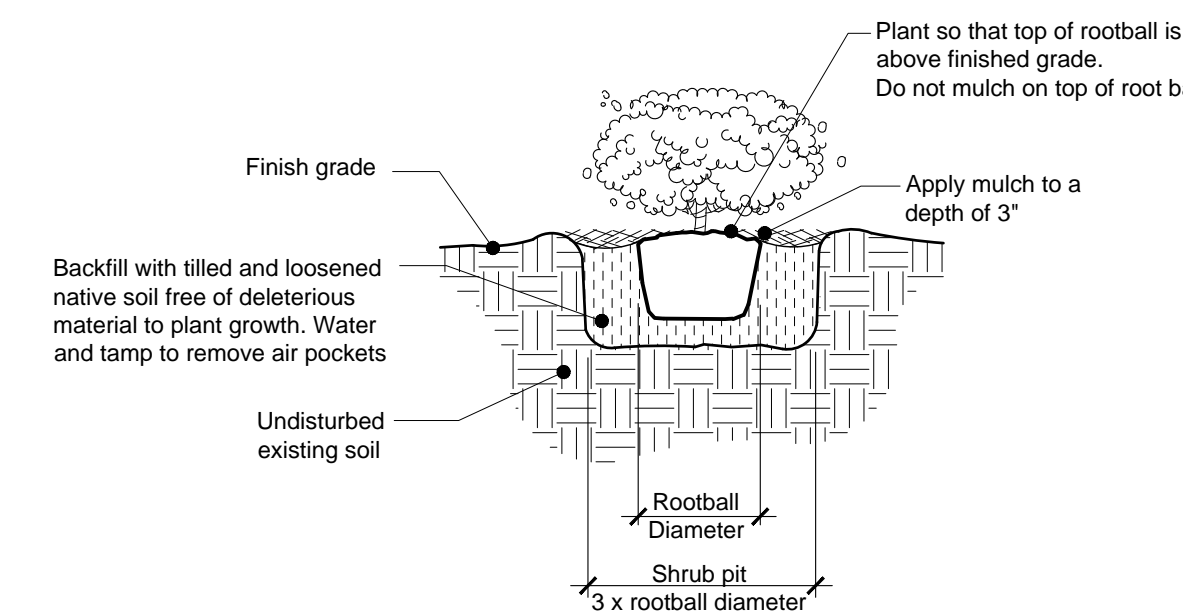


5 Root barrier detail
SCALE: N.T.S.

Notes:
- Spacing diagram refers to all planting unless noted otherwise
- L= Spacing as called for in planting plan and plant list



6 Shrubs Planting Detail
SCALE: N.T.S.



7 Shrubs Planting Detail
SCALE: N.T.S.

ONE YEAR - TREE MAINTENANCE PLAN

All newly planted trees to be guaranteed for a period of one year and in accordance with the following:

Planting Day:

- Keep roots moist; **do not** allow the roots to dry out.
- Remove turf from planting area.
- Dig planting hole wide and shallow. The hole should be 2-3 times wider in all directions than the root spread.
- Prune only dead or broken branches.
- Remove all twine or rope from trunk and branches.
- Remove planting container and burlap (any material that would constrict growth of roots; wire, plastic, wooden basket)
- Make sure that root flare is at soil level. (Rule of thumb first root closest to soil should be an inch below soil surface).
- Do not use amendments in the planting hole.
- Water tree at planting to remove air pockets. After backfilling gently firm soil, do not pack soil. Heavy packing will remove air space in soil.
- Do not mound soil against trunk of tree.
- Mulch over entire rooting area with 2-4" of mulch (wood chips, shredded bark, etc.) Keep mulch 2-4" from trunk of tree since this could create a favorable environment for fungi.
- Fertilizer is not recommended for newly planted trees. (Consider time-released fertilizer, if there is a need to fertilize).

After Planting:

- Plants shall be watered in accordance with specification as provided on the irrigation plans.
- All lawn areas shall be mowed weekly during growing season and bi-weekly in non-growing season.
- Fertilizer shall be applied in the fall or early spring. Although it is not harmful to apply fertilizer at any time during the year.
- Inspect trees for disease or insect problems.
- Monitor health and vigor of trees.
- Pruning of all shrubs shall be done regularly to control shape and form. All pruning shall be done in accordance with the American National Standards Institute (ANSI) A-300 standards.

After One Year:

- Continue to monitor trees health and vigor. Inspect for disease and insect problems. Inspect evergreen trees for winter injury and fruit trees for rodent damage.
- Remove tree wrap from thin bark trees in spring.
- Remove stakes from trees planted previous year.
- All plants shall be mulched on a yearly basis or as needed to maintain healthy grown and reduce weed growth.
- Begin corrective pruning trees one year after trees are planted (general rule of thumb is to remove no more than 1/4 of the foliage at one time). All pruning shall be done in accordance with the American National Standards Institute (ANSI) A-300 standards.
- Continue watering trees when needed.
- Replace dead trees as needed. If trees have died in first year notify nursery that planted trees. They should guarantee trees for at least one year.

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Doral, FL 33178
www.alllandscapedata.net
www.alllandscapedata.com

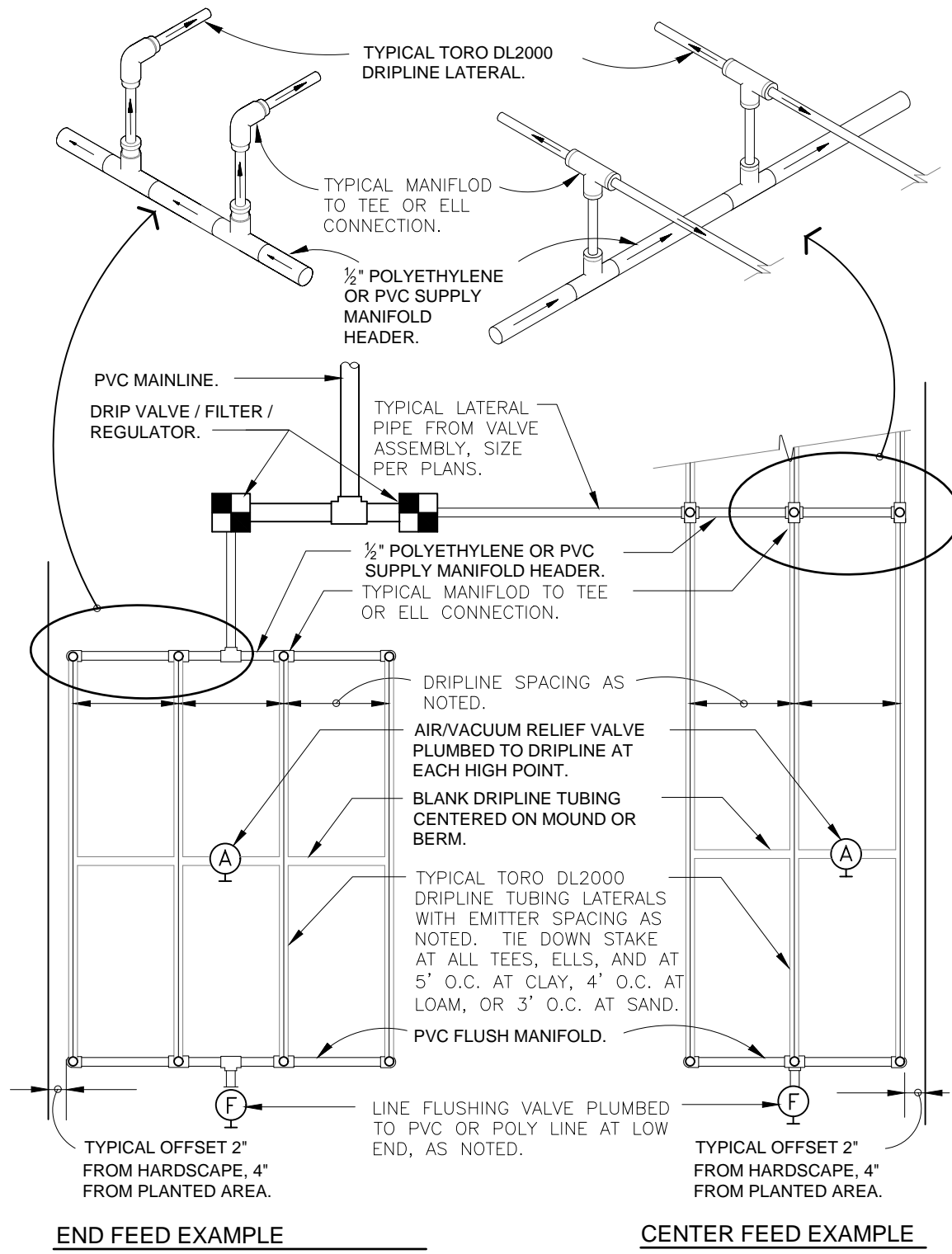
DERICK LANGEL
Landscape Architect LA667045

REVISIONS:

PROJECT NAME
BARUKHIN RESIDENCE
1260 99th St
Bay Harbor Islands, FL 33154

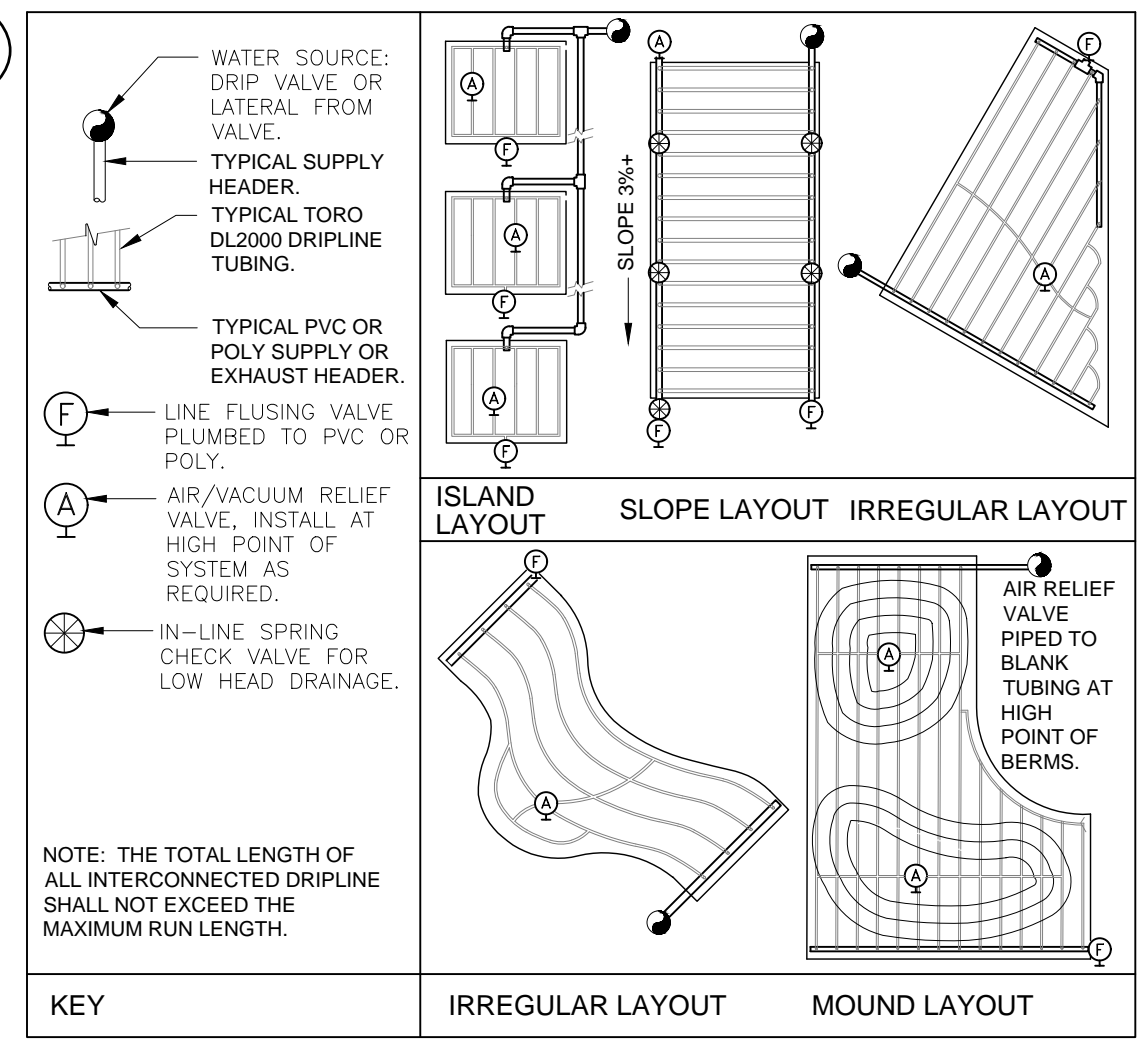
SHEET INFORMATION:
Drawing Size: 24x36
Project #: 2025-12-121 TDG
Drawn By: L.A.
Checked By: ALD
Title: **LANDSCAPE NOTES & DETAILS**
Sheet Number: **L-5.0**
Date: - April 29, 2026

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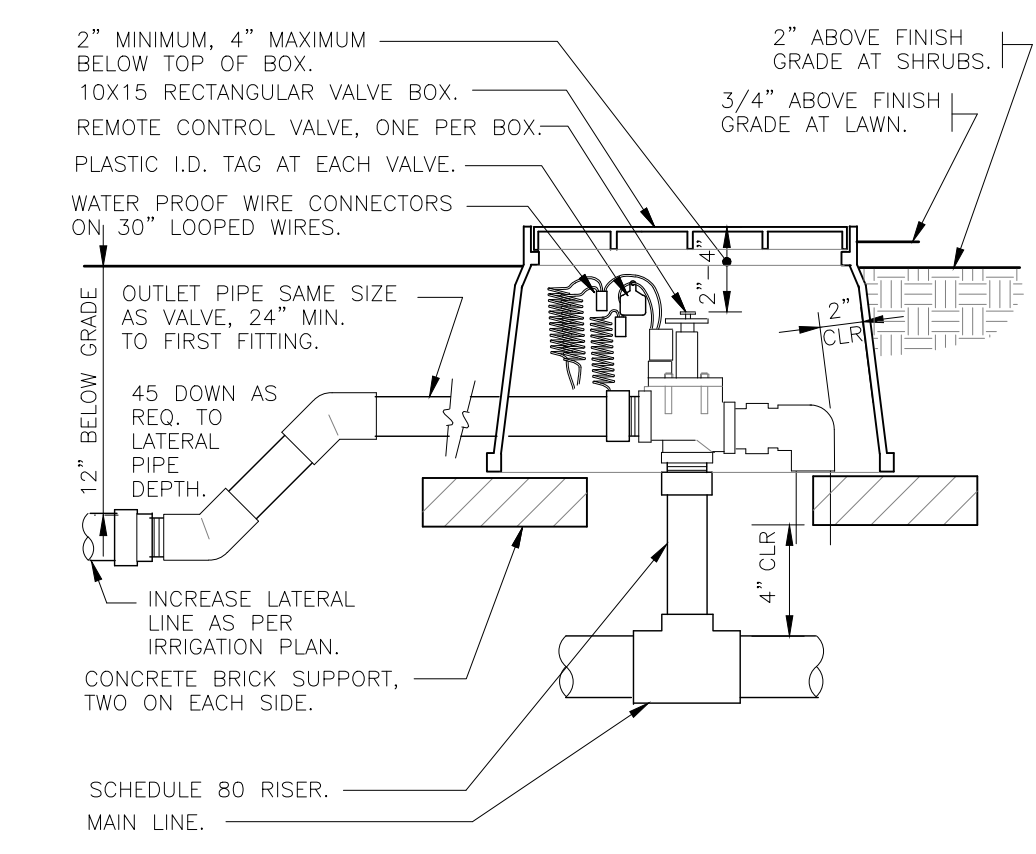


MAXIMUM RECOMMENDED LENGTH OF RUN AT 0% SLOPE						
DRIFLINE TYPE	FLOW RATE	EMITTER SPACING	15 PSI	25 PSI	30 PSI	40 PSI
RP6212	0.53 GPH	12"	250'	360'	400'	460'
RP6218	0.53 GPH	18"	350'	515'	565'	650'
RP6412	1.0 GPH	12"	160'	240'	260'	300'
RP6418	1.0 GPH	18"	240'	340'	375'	430'

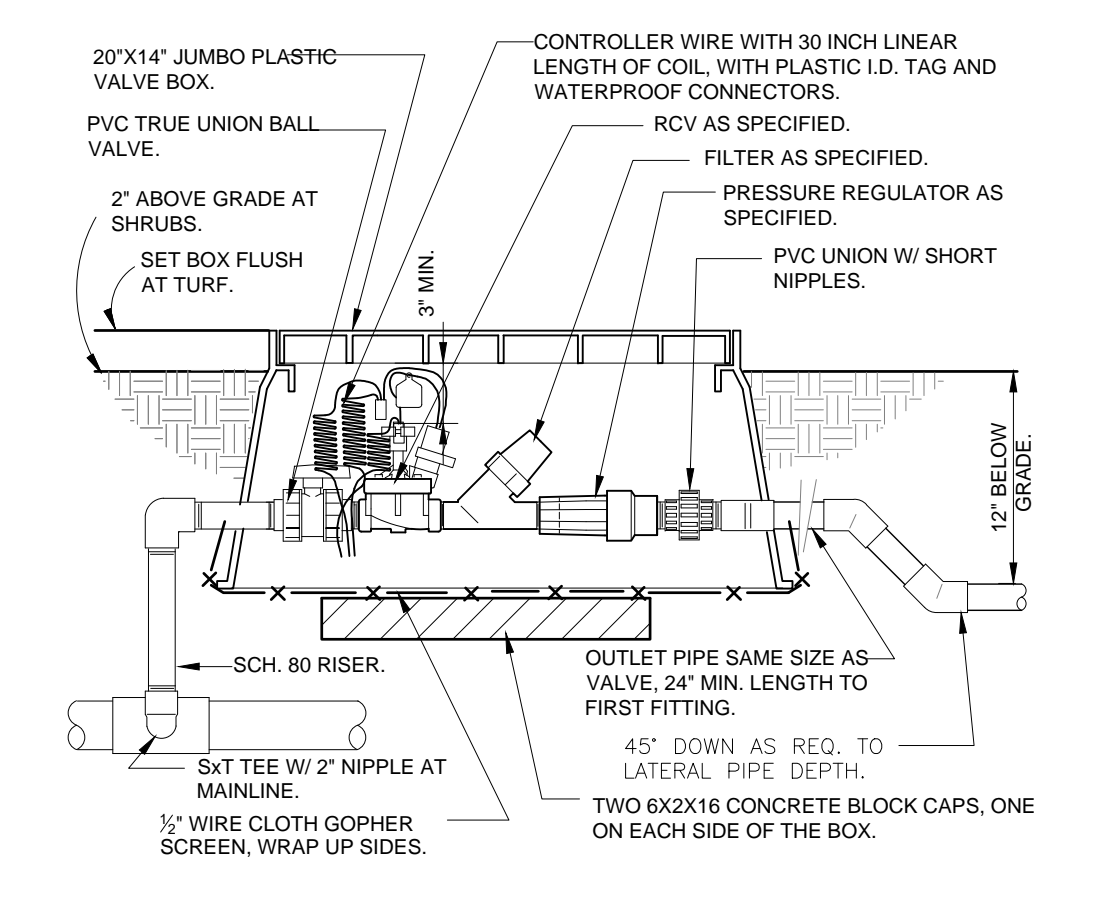
FLOW RATE PER 100 LINEAR FEET @ 20 PSI				
DRIFLINE TYPE	FLOW RATE	EMITTER SPACING	ACTUAL FLOW / 100 FT.	GPM
RP6212	0.53 GPH	12"	53.00	0.88
RP6218	0.53 GPH	18"	35.33	0.59
RP6412	1.0 GPH	12"	102.00	1.70
RP6418	1.0 GPH	18"	67.99	1.13



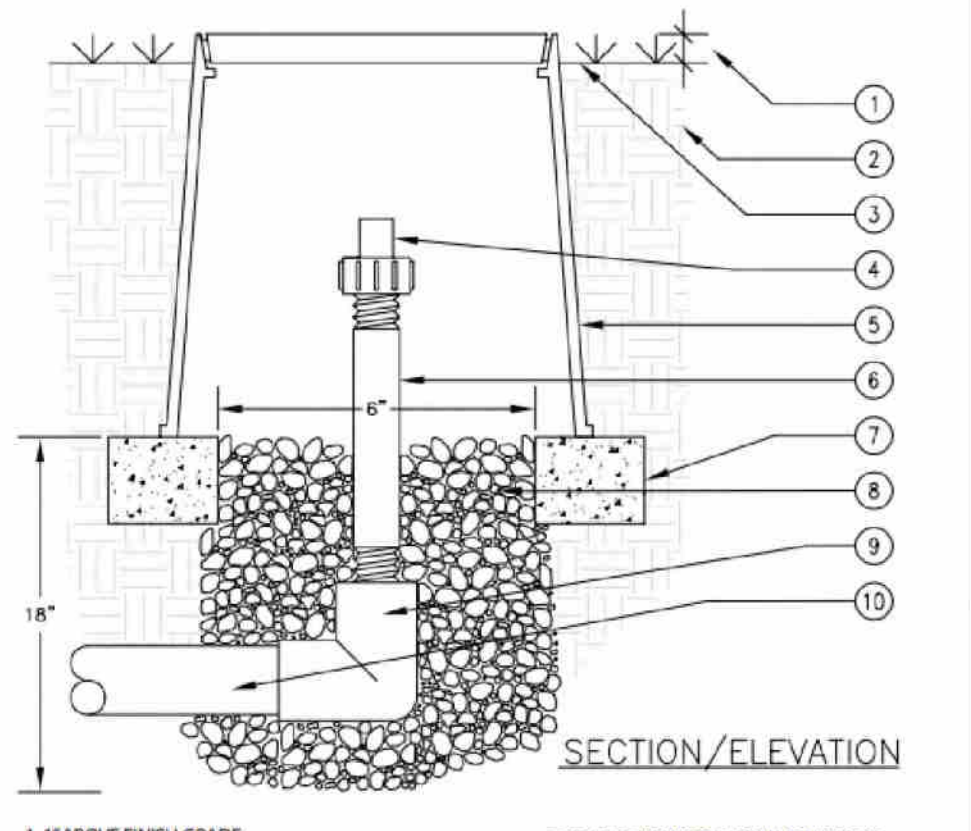
1 TORO DL2000 DRIFLINE
3" = 1'-0"
328413.56-49



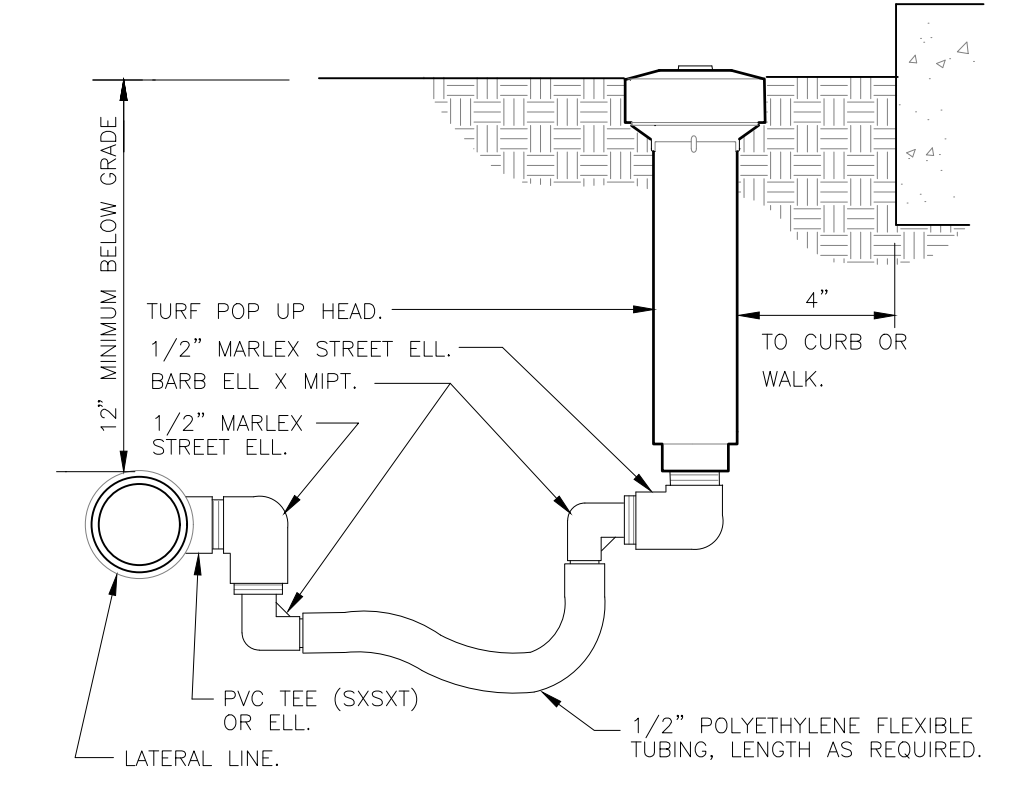
2 ELECTRIC REMOTE CONTROL VALVE
1 1/2" = 1'-0"
328406.13-02



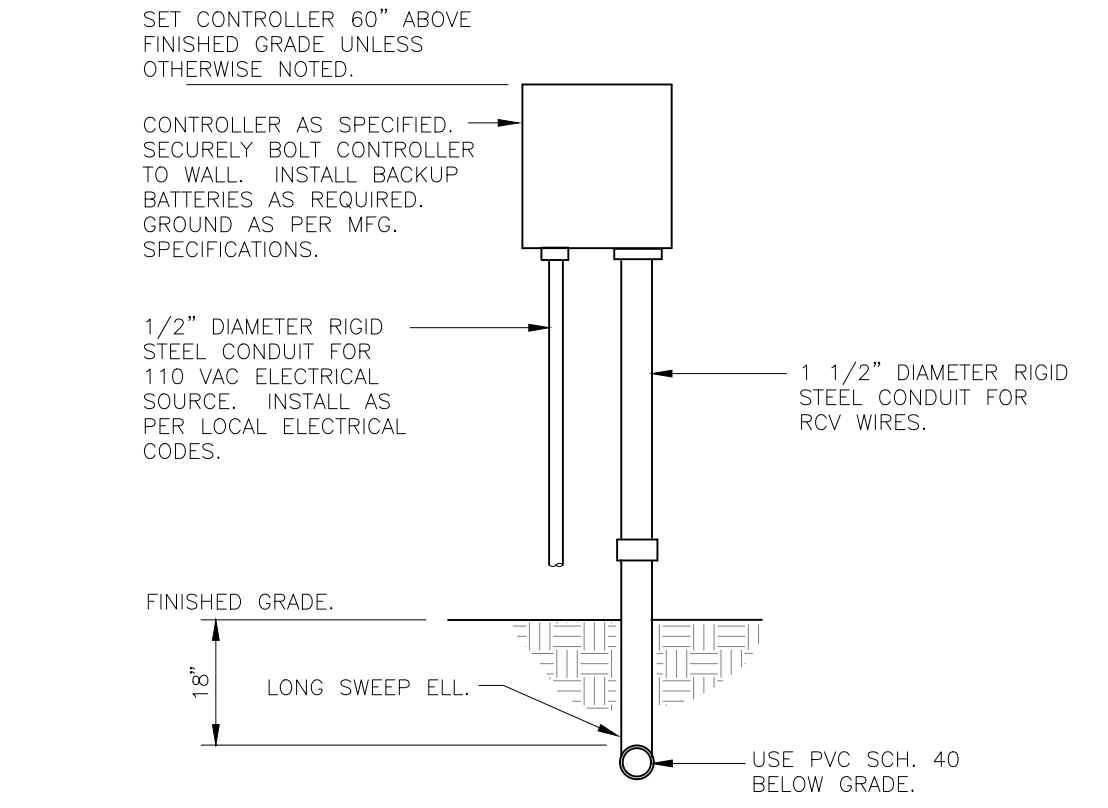
3 1" DRIP VALVE/FILTER/REGULATOR
1 1/2" = 1'-0"
328413.76-23



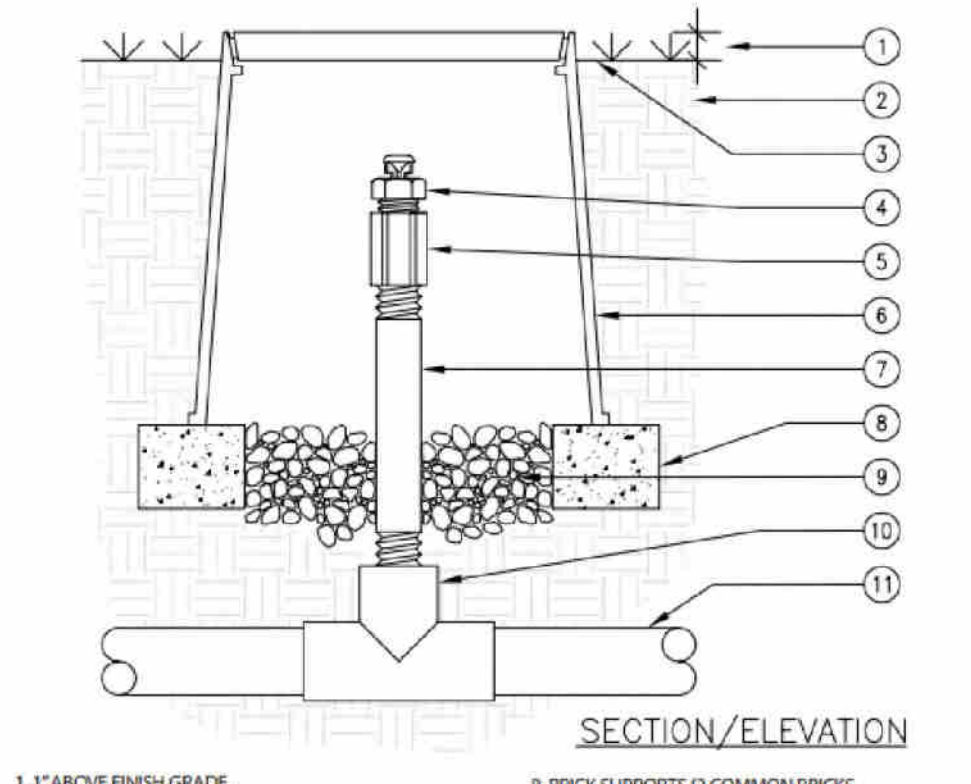
4 AUTOMATIC FLUSH VALVE
N.T.S.



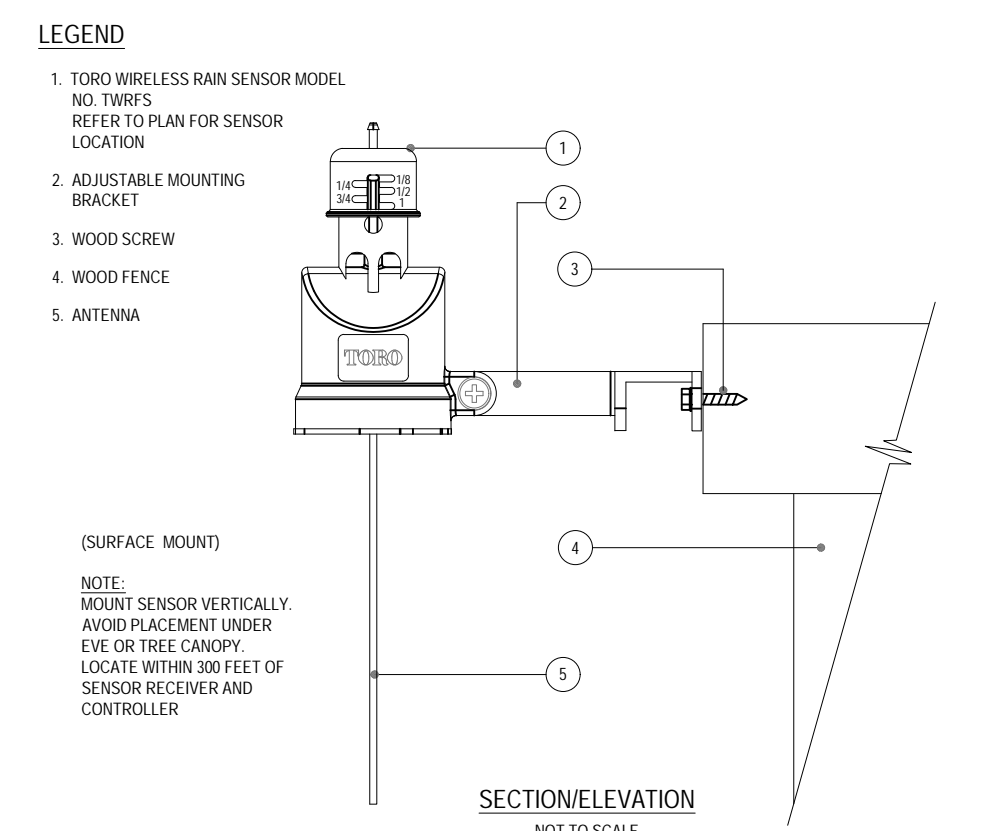
5 TURF SPRAY FLEX ASSEMBLY
3" = 1'-0"
328403.13-02



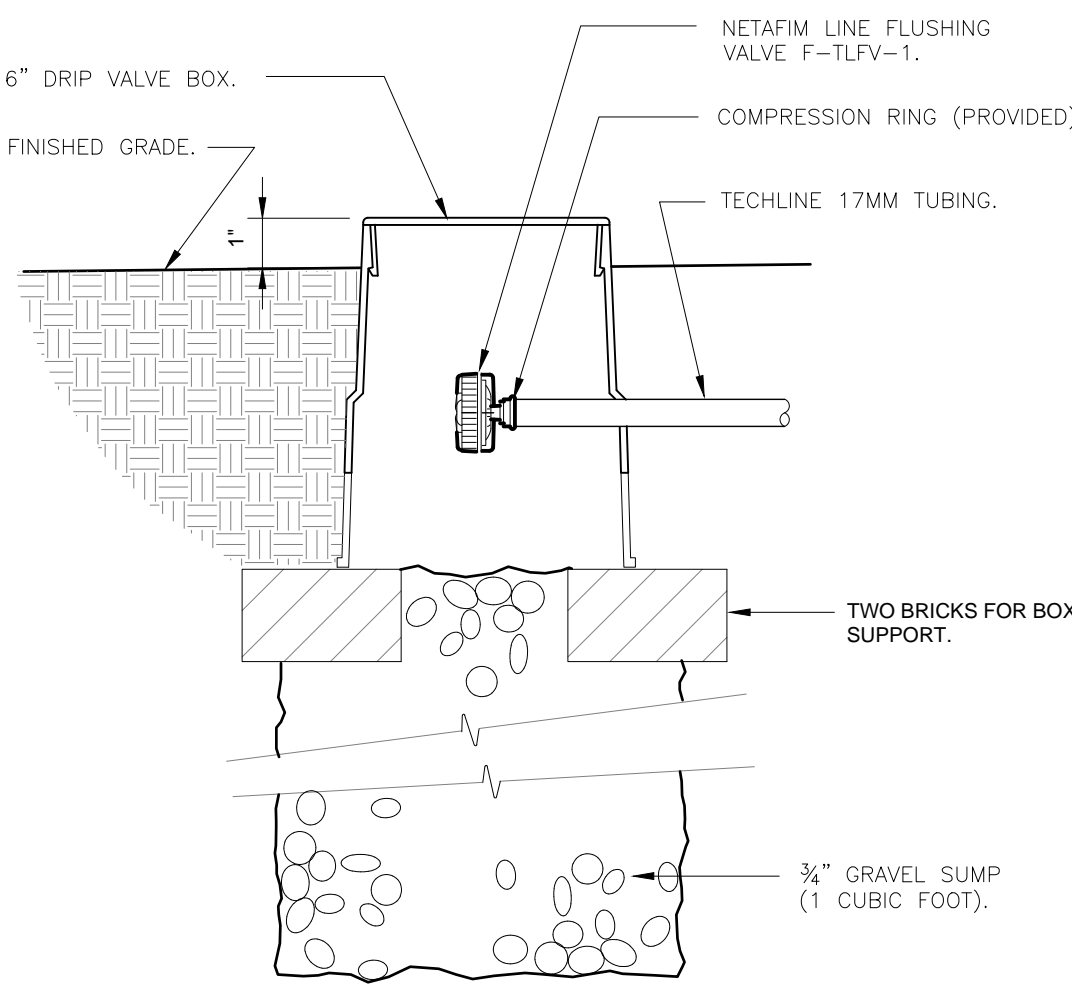
6 WALL MOUNT CONTROLLER
1" = 1'-0"
328409.13-01



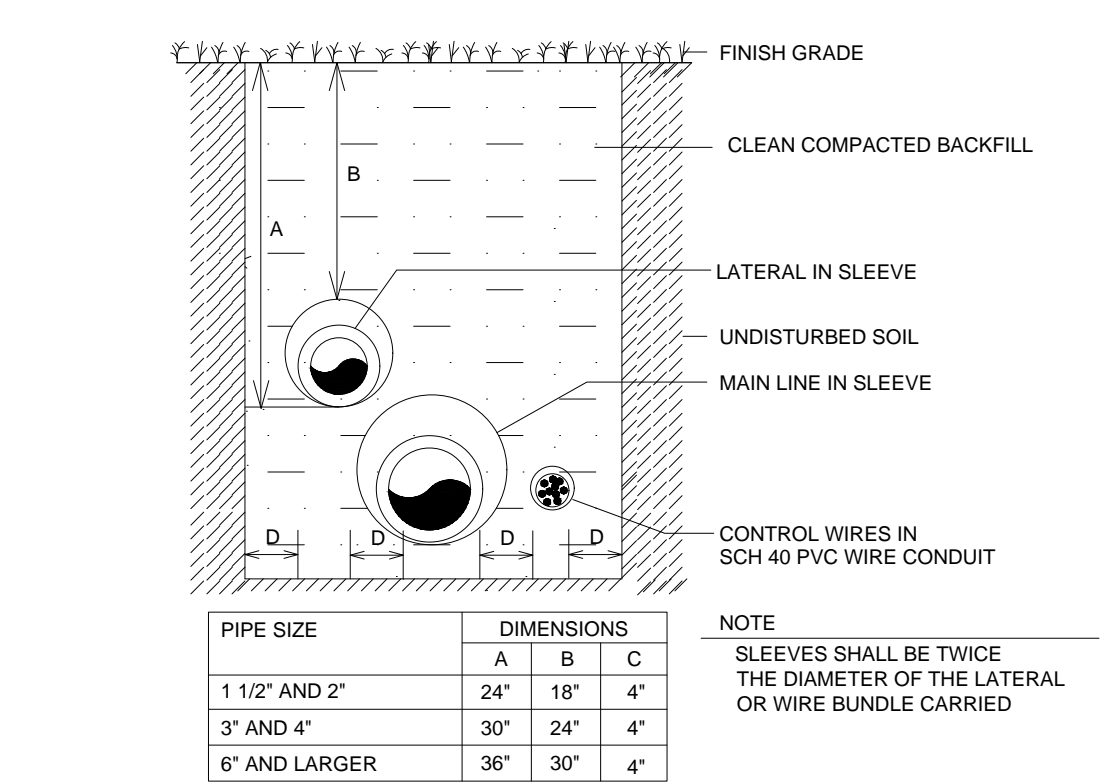
7 1/2 INCHES AIR/VACUUM RELIEF VALVE
N.T.S.



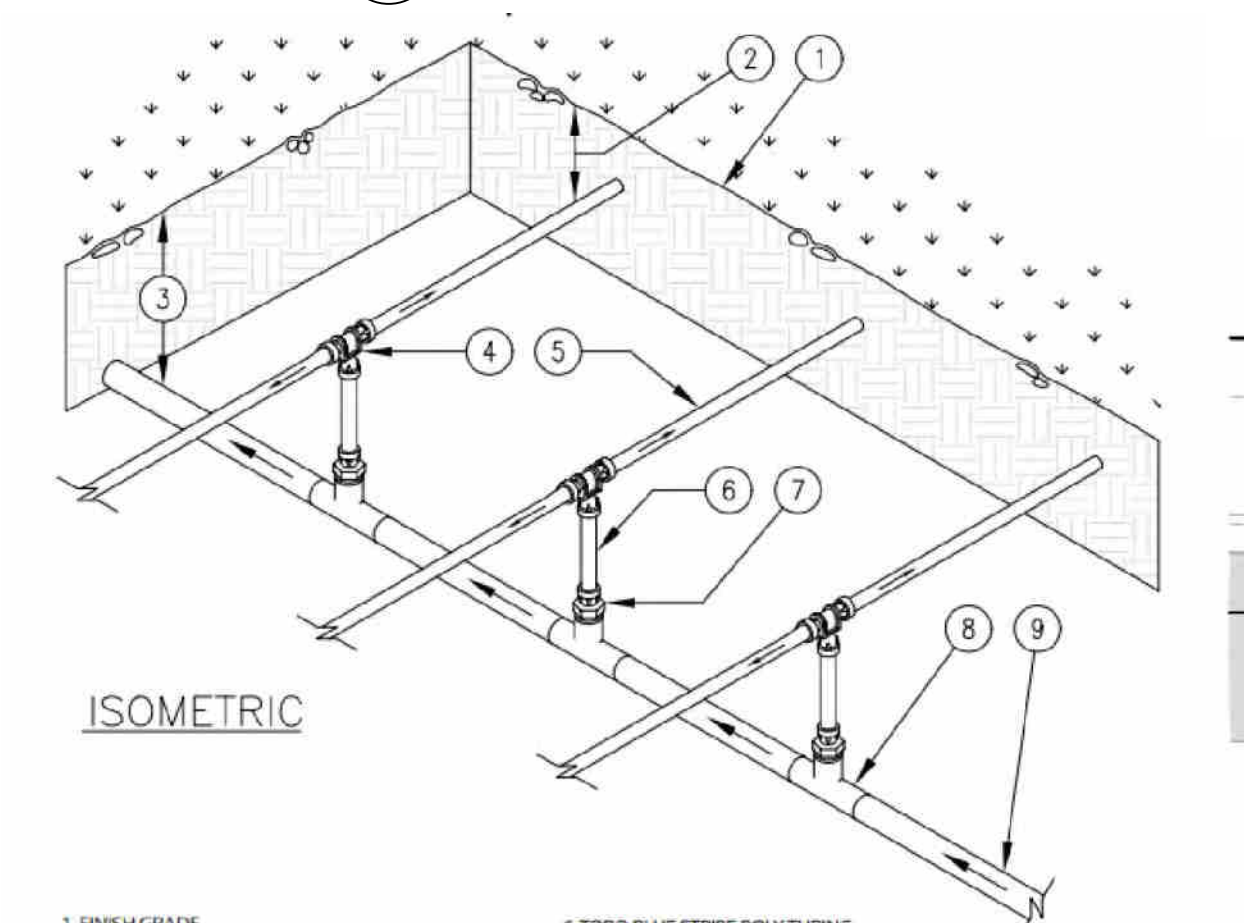
8 TORO - TWRS WIRELESS RAIN SENSOR
N.T.S.
DETAIL-FILE



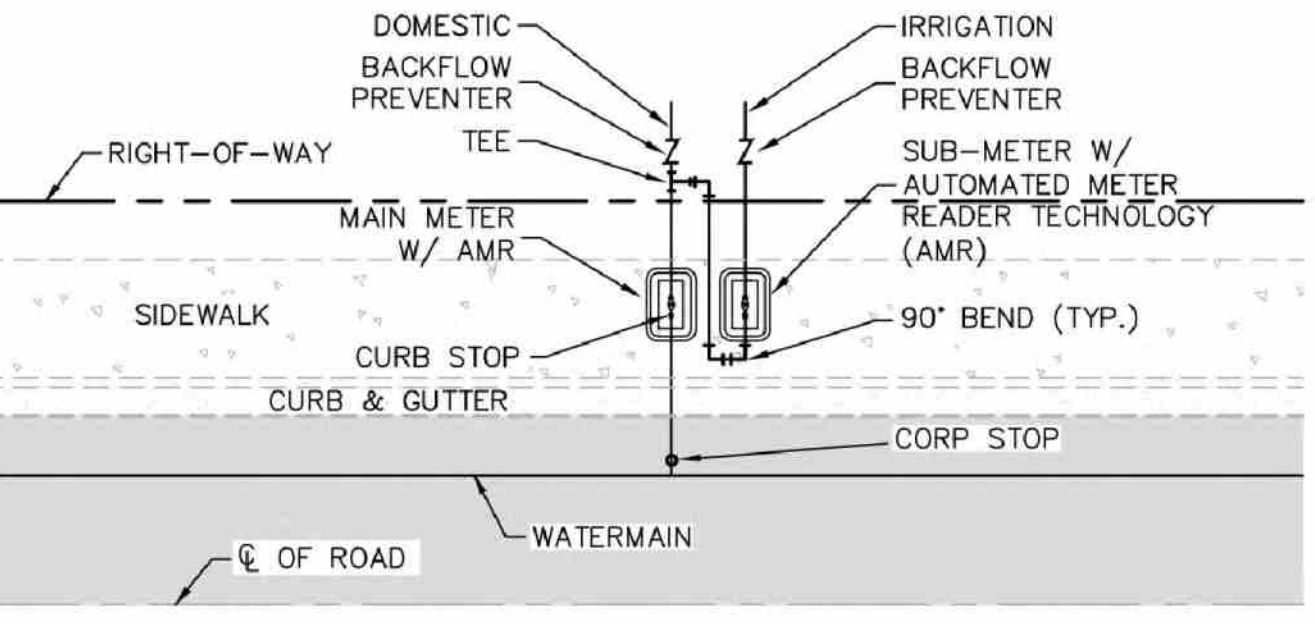
9 NETAFIM TECHLINE FLUSH VALVE
3" = 1'-0"
328413.49-33



10 TRENCHING DETAILS / VEHICULAR TRAFFIC AREAS
N.T.S.



11 CENTER-FEED SUPPLY-MANIFOLD
N.T.S.
DETAIL-FILE



12 SUB-METER INSTALLATION DETAIL
SCALE: N.T.S.

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DERICK LANGE
 Landscape Architect LA6667045

REVISIONS:

PROJECT NAME
BARUKHIN RESIDENCE
 1260 99th St
 Bay Harbor Islands, FL 33154

SHEET INFORMATION:
 Drawing Size: 24x36
 Project #: 2025-121 TDG
 Drawn By: L.A.
 Checked By: ALD
 Title: IRRIGATION DETAILS
 Sheet Number: IR-2.0
 Date: April 29, 2026

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Town of Bay Harbor Islands, FLORIDA
Design Review Board
ADVISORY BOARD AGENDA ITEM REPORT

AGENDA ITEM NO. 2

MEETING DATE: 06/09/2026

PREPARED BY: Lorrainia Belle
Town Planner

SUBJECT:

Project # SPR26-000002

A public hearing to consider an application by Martin Litman (Toma Design Group Inc., Applicant), requesting Design Review Board approval for the demolition of an existing structure and construction of a new two-story, custom single-family residence at 1260 99th Street, Town of Bay Harbor Islands,, identified by parcel identification number 13-2227-001-5450.

1. BACKGROUND/HISTORY

Issue Statement: The applicant, Martin Litman (represented by Toma Design Group Inc.), requests Design Review Board (DRB) approval for a new two-story, custom single-family residence at 1260 99th Street. The proposed home will total approximately 7,465 square feet and include 5 bedrooms, 5 full bathrooms, 2 half bathrooms, a two-car garage, and a pool in the rear yard. The property is an existing residential lot within a single-family neighborhood. The applicant proposes to demolish the existing structure and construct a new contemporary tropical-style residence.

Recommended Action: Staff recommends that the Design Review Board approve the proposed replacement residence and associated site improvements, subject to compliance with all applicable Town Code provisions and the conditions outlined in this report.

Property Description: The subject property is a residential lot located within the Town's RD, Single-Family Residential District. The proposed project involves the demolition of the existing structure and construction of a new two-story, custom single-family home featuring a contemporary tropical architectural style.

Summary of Proposed Revisions:

- Architectural Style: Contemporary tropical with horizontal massing, natural stone cladding, wood-tone screening elements, smooth stucco finishes, and high-performance glazing.

- Ground Floor: Living, dining, and kitchen areas opening to covered terraces and outdoor amenities.
- Second Floor: Private bedroom suites and family areas.
- Outdoor Improvements: Swimming pool, landscaped gardens, shaded gathering spaces, integrated planters.
- Garage & Driveway: Designed to minimize visual prominence along the street frontage.

2. ANALYSIS

Project Overview:

The proposed design reflects a cohesive contemporary tropical aesthetic that aligns with the Town's vision for high-quality, resilient single-family development.

Zoning and Land Use:

The property is zoned RD – Single-Family Residential District. The proposed material change does not alter the use, massing, setbacks, height, lot coverage, or floor area ratio (FAR) of the approved structure. All zoning requirements continue to be met. No variance is requested or required.

Platting:

The property is currently platted. No re-platting is required for this project.

Design Review & Material Evaluation: In accordance with Section 5-23.1(c) of the Town Code, changes to approved plans require DRB review when they involve modifications to exterior architectural materials. Staff offers the following analysis against the DRB Review Criteria:

1. **Good Design Principles:** The contemporary tropical design employs horizontal massing, natural materials (stone cladding, wood-tone screening), and high-performance glazing. This composition is consistent with quality coastal architecture.
2. **Visual Appeal & Neighborhood Character:** The design avoids inferior or monotonous detailing. The wood-tone screening elements add warmth and texture, while the garage/driveway configuration reduces street-facing visual prominence.
3. **Quality Materials:** Proposed materials (natural stone, smooth stucco, wood-tone screens, high-performance glazing) are durable, weather-resistant, and appropriate for the coastal environment.
4. **Compatibility & View Corridors:** The two-story height and massing are compatible with surrounding single-family homes. No adverse impacts on existing view corridors are anticipated.
5. **Landscaping & Hardscaping:** Integrated planters, landscaped gardens, and shaded gathering spaces enhance the property and streetscape. Final landscape plan must comply with Section 23-16.
6. **Buffering:** The design incorporates wood-tone screening and landscaping to buffer public views and adjacent properties. Pool equipment and mechanical systems shall be screened per Code.

7. **Code Compliance:** The project appears to comply with all applicable Town Code standards, subject to conditions below.
8. Harmony with Surrounding Development:
 - a. Site layout/orientation: Responsive to lot and street.
 - b. Open space & adjacency: Outdoor amenities are well-integrated.
 - c. Massing/height/style: Contemporary tropical is harmonious.
 - d. Material durability: Suitable for coastal resilience.
 - e. Landscape sustainability: Irrigation required per Code.
 - f. Lighting: All exterior lighting shall be down-shielded and Code-compliant.

Conclusion:

The proposed revisions consist of one mandatory regulatory update (BFE), one functional site adjustment (pool equipment), and one new accessory architectural feature (walkway). Provided the pool equipment pad meets all setback and screening requirements and the walkway's design is cohesive with the approved architecture, staff finds the changes to be reasonable. The revisions maintain the design intent of the previously approved project and, with conditions, can meet the Town's design review criteria.

Applicable Code Sections:

The following sections of the Town's Land Development and Zoning Code are applicable to this proposal:

- Section 23-3 (Use Regulations for RD Single-Family District)
- Section 23-9 (Minimum Size of Living Units)
- Section 23-10 (Minimum Size of Building Lot)
- Section 23-11(A) (Land Development Regulations for RD Single-Family Areas)
- Section 23-12 (Land Development Regulations - General Provisions)
- Section 23-16 (Minimum Landscape Standards)

All proposed development must comply with the Town's current codes and applicable ordinances.

Design Review Board Review Criteria (Section 5-23.1):

In accordance with Section 5-23.1, the Design Review Board shall review and approve projects based on the following:

1. Conformance with good design principles and the aesthetic vision of the Town.
2. Avoidance of inferior design that may diminish the neighborhood's visual appeal.
3. Use of quality architectural features and materials with cohesive character.
4. Compatibility with surrounding properties and respect for existing view corridors.
5. Cohesive landscaping and hardscaping that enhance the property and streetscape.
6. Adequate buffering from public views, adjacent properties, and sidewalks.
7. Compliance with applicable Town Code standards.
8. Harmony with surrounding development in terms of:
 - a. Site layout and orientation

- b. Relationship to open space and adjacent buildings
- c. Massing, height, and architectural style
- d. Material durability and coastal environment resilience
- e. Landscape sustainability and irrigation
- f. Appropriate lighting, signage, and architectural graphics.

3. RECOMMENDATION

Staff recommends that the Design Review Board approve the demolition of the existing structure and construction of a new two-story, custom single-family residence at 1260 99th Street, as shown on the plans prepared by Toma Design Group Inc. (Applicant: Martin Litman), subject to the following conditions:

Staff recommends approval with the following conditions:

1. Plan Set Compliance: Approval is specifically for the plans submitted for this application May 27, 2026. Any material revisions shall be reviewed by staff and may require re-approval by the DRB.
2. Final Landscape & Screening Plan: Prior to building permit issuance, the applicant shall submit a final landscape plan showing: (a) all required plantings per Section 23-16; (b) screening for pool equipment, mechanical systems, and any rooftop equipment; and (c) an irrigation plan. All landscaping shall be to the satisfaction of the Town Planner.
3. Separate Permits Required: Separate permits are required for demolition, fence, retaining wall, and any mechanical equipment. Please coordinate with the Building Department for all applicable permit requirements.
4. Zoning Compliance: All construction must comply with the RD zoning district development standards and Town Code requirements, including height, setbacks, lot coverage, and FAR. Final zoning verification shall occur at the building permit stage.
5. Material Verification: The exterior materials as shown on the submitted plans (white stucco, walnut wood grain aluminum, honey coral stone, bronze aluminum, grey/clear impact glass) shall be maintained. Any changes to materials must be submitted to staff for review and may require DRB approval.
6. Flood Control and Drainage Compliance: The finished grade of the lot may not be increased above the base flood elevation (BFE) prescribed by United States, state or county flood-control laws or regulations. All yards shall be sloped to drain to the street drainage gutter, seawall or on-site retention/discharge system, and shall not drain into adjacent property. Finished grades at adjoining lots shall be equal unless the Town Council approves a retaining wall system. All swale areas within adjoining roadways, adjoining lots, and yard areas adjacent to seawalls shall be designed to provide retention for sediments prior to discharge to meet NPDES permit requirements.
7. Retaining Wall Requirement: A detail for the retaining wall shall be submitted to the DRB and Building Department for review and approval. A waterproofed retaining wall is required to prevent water intrusion onto the neighboring property.

8. Changes Require Further Review: Any changes to the proposed architectural design, site layout, or approved materials must be returned to the DRB for further review and approval.
9. All construction must comply with the Town's current codes and ordinances, including the newly adopted FEMA BFE.
10. Code Compliance: All construction must comply with the Town's current codes, ordinances, and the Florida Building Code, including all applicable floodplain management and FEMA requirements.