

There is a three (3) minute time limit for each speaker during public comment. Your cooperation is appreciated in observing the three (3) minute rule. When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you do not turn off your cell phone or pager and it rings, you will be asked to leave the council chambers.

**TOWN OF BAY HARBOR ISLANDS
MORRIS N. BROAD COMMUNITY CENTER
1175 95TH STREET
BAY HARBOR ISLANDS, FL 33154**

DESIGN REVIEW BOARD

**April 16, 2026
7:00 PM**

FINAL AGENDA

CALL TO ORDER: Set for 7:00 p.m.

PLEDGE OF ALLEGIANCE:

ROLL CALL:

1. Request for approval for a new single-family home for “Mauricio Levi” located at 9730 West Broadview Drive, Lot 63 of Block 23. The owners are proposing to demolish the existing 1957 home and construct a new two-story single-family residence. The new home will have approximately 7,023 square feet of a/c living space. The proposed residence will have eight bedrooms, eight full bathrooms, three half baths, an enclosed garage and a pool. Enclosed please find the site plan and elevations. Item #1

** Staff Review:* The design meets the Town Code and was approved by Lorraine Belle, Town Planner.

ADJOURNMENT:

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Design Review Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AGENDA ITEM REPORT

April 16, 2026

ITEM NUMBER: 1.

ITEM: Request for approval for a new single-family home for “Mauricio Levi” located at 9730 West Broadview Drive, Lot 63 of Block 23. The owners are proposing to demolish the existing 1957 home and construct a new two-story single-family residence. The new home will have approximately 7,023 square feet of a/c living space. The proposed residence will have eight bedrooms, eight full bathrooms, three half baths, an enclosed garage and a pool. Enclosed please find the site plan and elevations. Item #1

DESCRIPTION:

RECOMMENDED ACTION:

The design meets the Town Code and was approved by Lorrainia Belle, Town Planner.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Martinez
 Ayanidys Martinez

ATTACHMENTS

1.	BHI-DRB Staff Report - 9730 W Broadview
2.	SPR25-000028 DRB Application
3.	SPR25-000028 Drainage Calculations
4.	9730 W Broadview Drive DRB Set 4.16.2026

Town of Bay Harbor Islands, FLORIDA
Design Review Board
ADVISORY BOARD AGENDA ITEM REPORT

AGENDA ITEM NO. 1

MEETING DATE: 04/16/2026

PREPARED BY: Lorrainia Belle
Town Planner

SUBJECT:

Project # SPR25-000028

A public hearing to consider an application by Yoann Andreu (agent) requesting approval for demolition of the existing residence and construction of a new single-family home on the property located at 9730 W Broadview Dr, identified by parcel identification number 13-2227-001-4470.

1. BACKGROUND/HISTORY

Issue Statement: The applicant, represented by Yoann Andreu on behalf of the property owners, requests Design Review Board (DRB) approval for the demolition of an existing residence and construction of a new two-story single-family home at 9730 W Broadview Dr.

Recommended Action: Th Staff recommends that the Design Review Board review and approve the proposed replacement residence and associated site improvements, subject to compliance with all applicable Town Code provisions and the conditions outlined in this report.

Property Description: The subject property is a waterfront lot within the Town's RD, Single-Family Residential District. The existing residence will be demolished and replaced with a new two-story, 7,023 square-foot (air-conditioned) single-family home that includes:

- Eight (8) bedrooms
- Eight (8) full bathrooms
- Three (3) half bathrooms
- Enclosed garage
- Site improvements including pool, landscaping, and hardscaping

Architectural Design: The proposed modern tropical residence features white stucco finish, aluminum walnut wood grain accents, natural honey coral stone, bronze aluminum trim, and grey and clear impact-resistant glazing.

Site Modifications: The project includes full demolition of the existing structure, new construction with associated grading and drainage, an enclosed garage, and new landscaping and hardscaping including a pool.

2. ANALYSIS

Project Overview:

This is a new application for a full demolition and new construction on a waterfront property. The proposed residence features a modern tropical design with high-quality materials, including stone, stucco, and wood grain aluminum accents. The design respects the coastal environment and incorporates impact-resistant glazing.

Zoning and Land Use:

The property is zoned RD – Single-Family Residential District, which permits detached single-family dwellings. The proposed redevelopment aligns with the allowed uses under this zoning designation. No variance is requested. All setbacks, height, lot coverage, and floor area ratio (FAR) requirements are met based on preliminary review. Final zoning compliance will be verified at the building permit stage.

Platting:

The property is currently platted. No re-platting is required for this project.

Neighborhood Compatibility:

The proposed home is sized and scaled appropriately for its waterfront location. The two-story design and modern tropical architecture are consistent with other redeveloped homes in the area. The use of varied materials (stone, stucco, wood grain aluminum) and fenestration reduces visual bulk and enhances architectural interest. The waterfront setting provides additional buffering and view corridor protection.

Parking Considerations:

The project includes a two-car enclosed garage and adequate driveway space, which meets Town parking requirements for single-family homes. No additional parking considerations are necessary.

Future Land Use Map Designation:

The property is designated **Low Density Residential** on the Town's Future Land Use Map. This designation supports up to six (6) dwelling units per gross acre and is intended to preserve the character of single-family neighborhoods. The proposed single-family redevelopment complies with this designation and the goals of the Comprehensive Plan.

Conclusion:

The proposed demolition and reconstruction of the single-family residence at 9730 W Broadview Dr will significantly enhance the architectural character and waterfront livability of the property. The design demonstrates a cohesive modern tropical aesthetic, utilizing quality materials that are durable and appropriate for the coastal environment. The project maintains consistency with the Town's design guidelines and zoning regulations, and thoughtfully addresses neighborhood compatibility through scale, material selection, and site layout. Staff find that the project meets the Town's comprehensive design review criteria and recommends approval subject to the conditions outlined in this report.

Applicable Code Sections:

The following sections of the Town's Land Development and Zoning Code are applicable to this proposal:

- Section 23-3 (Use Regulations for RD Single-Family District)
- Section 23-9 (Minimum Size of Living Units)
- Section 23-10 (Minimum Size of Building Lot)
- Section 23-11(A) (Land Development Regulations for RD Single-Family Areas)
- Section 23-12 (Land Development Regulations - General Provisions)
- Section 23-16 (Minimum Landscape Standards)

All proposed development must comply with the Town's current codes and applicable ordinances.

Design Review Board Review Criteria (Section 5-23.1):

In accordance with Section 5-23.1, the Design Review Board shall review and approve projects based on the following:

1. Conformance with good design principles and the aesthetic vision of the Town.
2. Avoidance of inferior design that may diminish the neighborhood's visual appeal.
3. Use of quality architectural features and materials with cohesive character.
4. Compatibility with surrounding properties and respect for existing view corridors.
5. Cohesive landscaping and hardscaping that enhance the property and streetscape.
6. Adequate buffering from public views, adjacent properties, and sidewalks.
7. Compliance with applicable Town Code standards.
8. Harmony with surrounding development in terms of:
 - a. Site layout and orientation
 - b. Relationship to open space and adjacent buildings
 - c. Massing, height, and architectural style
 - d. Material durability and coastal environment resilience

- e. Landscape sustainability and irrigation
- f. Appropriate lighting, signage, and architectural graphics.

3. RECOMMENDATION

Staff recommend that the Design Review Board review the application at its discretion and evaluate the proposed demolition and construction of the new single-family home located at 9730 W Broadview Dr, as shown in the submitted plans dated April 10, 2026, prepared by Yoann Andreu.

Staff recommend approval with the following conditions:

1. **Plan Set Compliance:** Approval is based on the project description and plans last revised April 10, 2026. Any substantial revisions shall be reviewed by staff and may require re-approval by the DRB.
2. **Separate Permits Required:** Separate permits are required for demolition, fence, retaining wall, pool, and any mechanical equipment. Please coordinate with the Building Department for all applicable permit requirements.
3. **Zoning Compliance:** All construction must comply with the RD zoning district development standards and Town Code requirements, including height, setbacks, lot coverage, and FAR. Final zoning verification shall occur at the building permit stage.
4. **Material Verification:** The exterior materials as shown on the submitted plans (white stucco, walnut wood grain aluminum, honey coral stone, bronze aluminum, grey/clear impact glass) shall be maintained. Any changes to materials must be submitted to staff for review and may require DRB approval.
5. **Waterfront Compliance:** All construction shall comply with applicable waterfront setback and coastal management regulations.
6. **Flood Control and Drainage Compliance:** The finished grade of the lot may not be increased above the base flood elevation (BFE) prescribed by United States, state or county flood-control laws or regulations. All yards shall be sloped so as to drain to the street drainage gutter, seawall or on-site retention/discharge system, and shall not drain into adjacent property. Finished grades at adjoining lots shall be equal unless the Town Council approves a retaining wall system. All swale areas within adjoining roadways, adjoining lots, and yard areas adjacent to seawalls shall be designed to provide retention for sediments prior to discharge to meet NPDES permit requirements.
7. **Retaining Wall Requirement:** A detail for the retaining wall shall be submitted to the DRB and Building Department for review and approval. A waterproofed retaining wall is required to prevent water intrusion onto the neighboring property.
8. **Changes Require Further Review:** Any changes to the proposed architectural design, site layout, or approved materials must be returned to the DRB for further review and approval.



**TOWN OF BAY HARBOR ISLANDS
DESIGN REVIEW BOARD**

(NEW SUBMITTAL)

**TO ENSURE EFFICIENT PROCESSING OF YOUR APPLICATION, PLEASE
MAKE SURE THIS FORM IS FILLED OUT COMPLETELY.**

PROCESS NUMBER SPR25-000028
DRB APPLICATION FEE - \$350.00

APPLICANT INFORMATION (IF DIFFERENT THAN PROPERTY OWNER)

Name MCI CONTRACTORS, INC Contact Number 786.330.2106
Address 1806 N. Flamingo Road, Ste # 310
City Pembroke Pines State FL Email Address mci@mcicontractors.com

OWNER / PROPERTY INFORMATION

Name MAURICIO LEVI Address 9730 W Broadview Dr
Folio# 13-2227-001-4470 Lot 63 Block 23

DESCRIPTION OF PROPOSED USE / REQUEST

Construction of a new 2 stories single family home of 7,056 SqFt

PLEASE READ AND SIGN BELOW

I hereby attest that the information on this application form is, to the best of my knowledge, true and accurate. I understand that my plans must be reviewed and approved by staff prior to being placed on the agenda.

Date: 12/16/25 Signature of Applicant: _____

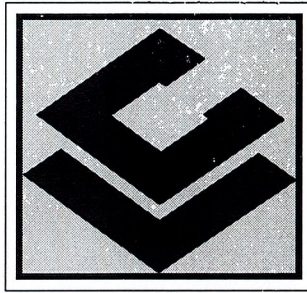
I hereby grant permission for members of the Town of Bay Harbor Islands Design Review Board, Town Council, and Town Staff to enter the above described property (or as described in the attached) for the purposes of gathering information related to this application/request/proposal.

Date: 12/16/25 Signature of Owner: _____

I hereby agree to reimburse the Town of Bay Harbor Islands for all professional planning and legal fees that are incurred on behalf of the Town while reviewing and/or considering this application. These fees include reviews by the Town's planner of record and zoning attorney. The Town may also require reviews from other outside professional services. The Town of Bay Harbor Islands will provide an itemized bill of professional costs incurred while reviewing and/or considering this application. Building permits and/or final occupancy permits will not be issued until the itemized bill is paid in full to the Town of Bay Harbor Islands.

Date: 12/16/25 Signature of Applicant: _____

NOTE: If any application is disapproved, the Design Review Board shall detail in its findings the criterion or criteria that are not met. The action taken by the Board shall be reduced to writing, signed by the Chairman, and a copy thereof made available to the applicant upon request. Any action taken by the Design Review Board may be appealed to the Town Council, whose decision on appeal shall be final.



REVISED
MAR 24 2026
By: _____

CARLAB, INC.

ENGINEERS AND PLANNERS
CERTIFICATE OF AUTHORIZATION 6419
8730 S.W. 25 STREET, MIAMI, FL 33165 TEL: 786 385.4093 | FAX: 305 226-0438
E-MAIL: SLABISTE@CARLABINC.COM

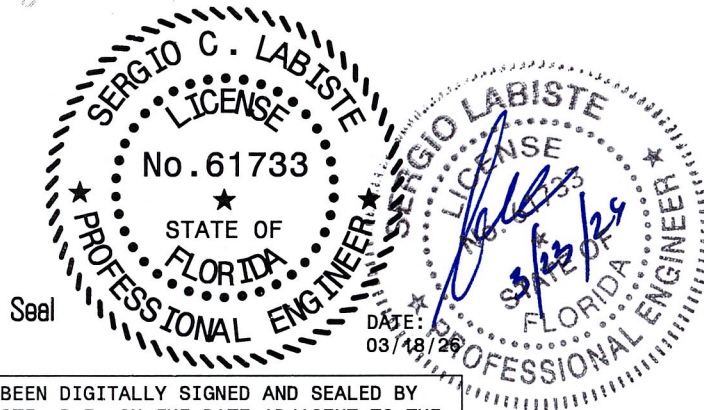
DRAINAGE CALCULATIONS 9730 BROADVIEW DR

9730 W BROADVIEW DR
BAY HARBOR ISLANDS, FL 33154
FOLIO: 13-2227-001-4470

March 18th, 2026

**SERGIO
LABISTE**

Digitally signed by
SERGIO LABISTE
Date: 2025.03.18
14:29:13 -04'00'



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
SERGIO C. LABISTE, P.E. ON THE DATE ADJACENT TO THE
SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED
SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.

SERGIO C. LABISTE P.E. # 61733

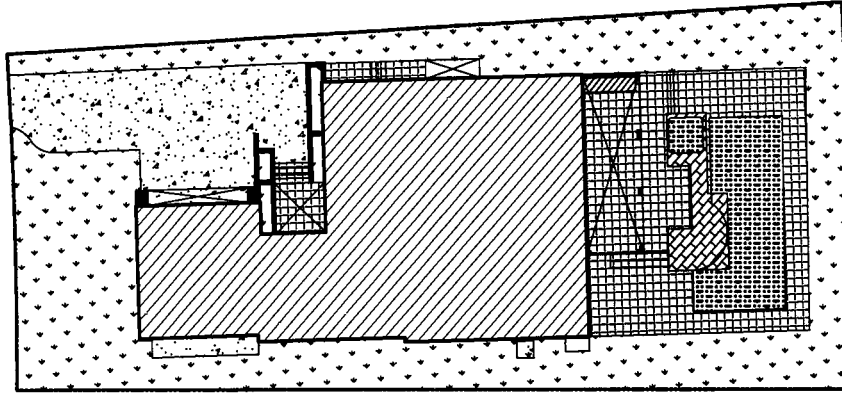
Index of Sheets

Description

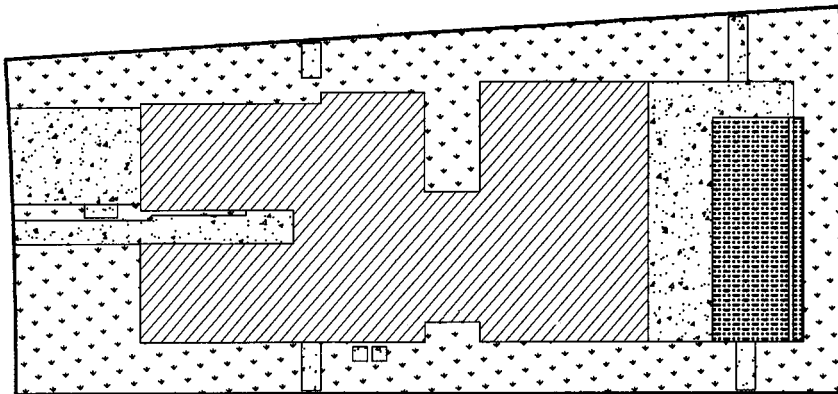
Page No.(S)	Description
3	Area Breakdown
4-6	Drainage Calculation
7	Flood Criteria
8	Average October Ground Water Level
9	FEMA
10	NOAA

AREA BREAKDOWN

(PRE-DEVELOPMENT)



(POST-DEVELOPMENT)









DEVELOPMENT INFORMATION

PRE-DEVELOPMENT		POST DEVELOPMENT	
TOTAL	13,126.23 SF	TOTAL	13,126.23 SF
PERVIOUS	4,890.61 SF	PERVIOUS	5,302.48 SF
IMPERVIOUS	8,235.62 SF	IMPERVIOUS	7,823.75 SF

* PROPERTY SQUARE FOOTAGE AS PER BOUNDARY SURVEY

LEGEND

-  BUILDING FOOTPRINT
-  CONCRETE
-  BRICK PAVER'S
-  GRASS AREA
-  POOL
-  TILES

PROJECT DESCRIPTION

The project consists of a two story SFR with concrete driveway. The drainage system has been designed to retain a 10 year 48 hour storm event of 8.75 inches as per atlas (attached to these calculations). The house finish floor elevation is above the flood stage elevation. Lining a part of the property with a retaining wall and sheet piling to retain water from a storm, ensuring partial water retention on the property using the volume on swale areas and exfiltration trench for the rest of it as per civil plans and drainage calculations shown below.

PROJECT CONDITIONS

A = Total Property Area
AP = Property Pervious Area

AI = Property Impervious Area
P = Rainfall depth

$$A := 13126.23 \text{ ft}^2$$

$$P := 10.9 \text{ in}$$

Rainfall Amount

$$AP := 5302.48 \text{ ft}^2$$

$$AE := 7.50 \text{ ft}$$
 Average Elevation of Pervious Areas (NGVD)

$$AI := 7823.75 \text{ ft}^2$$

$$GW := 2.0 \text{ ft}$$
 Average October Water Table Elevation (NGVD)

POST DEVELOPMENT VOLUME CALCULATION

Distance between ground water elevation and average elevation of perv. areas = D

$$D := AE - GW \quad D = 5.50 \text{ ft}$$

Distance between groundwater table and average elevation of pervious areas:	S ₁
1 ft	0.45 inches
2 ft	1.88 inches
3 ft	4.95 inches
≥4 ft greater	8.18 inches

SFWM-Management and Storage of Surface Waters Permit Information Manual, Vol. IV sec. 8.4.2

By interpolation when $D = 5.50 \text{ ft}$ then $S_1 := 8.18 \text{ in}$

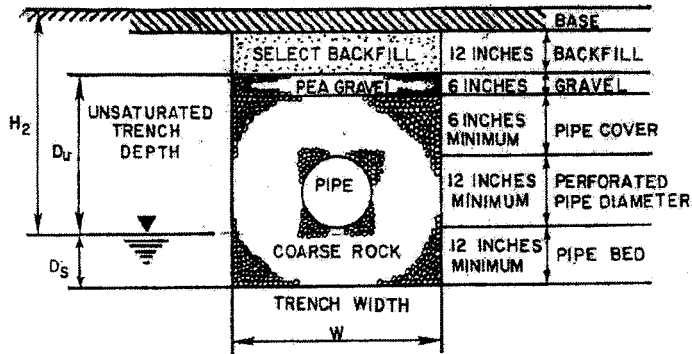
$$S := \frac{AP}{A} \cdot S_1 = 3.30 \text{ in}$$

$$Q := \frac{(P - 0.2 \cdot S)^2}{(P + 0.8 \cdot S)} = 7.74 \text{ in}$$

VOLUME OF RUNOFF REQUIRED TO BE MAINTAINED ON SITE

$$V_{req} := A \cdot Q = 8467 \text{ ft}^3$$

TRENCH CALCULATION FOR THE STANDARD SEWMD TRENCH



Exfiltration Trench Calculation:

Lowest grade elevation along proposed trench location: $Base := 4.5 \text{ ft}$

Trench Depth: $T_d := 15 \text{ ft}$

$H_2 := Base - GW = 2.50 \text{ ft}$

$W := 4.0 \text{ ft}$

$D_u := Base - 12 \text{ in} - GW = 1.50 \text{ ft}$

$K := 1.528 \cdot (10^{-4})$

$D_s := GW - (Base - T_d) = 12.50 \text{ ft}$

Exfiltration:

if $D_s > D_u$

$$E = (K \cdot (2 H_2 \cdot D_u - D_u^2 + 2 H_2 \cdot D_s) + (1.39 \cdot 10^{-4}) W \cdot D_u)$$

else

$$E = (K \cdot (H_2 \cdot W + 2 \cdot H_2 \cdot D_u - D_u^2 + 2 \cdot H_2 \cdot D_s) + (1.39 \cdot 10^{-4}) \cdot W \cdot D_u)$$

$$E = 0.00103923 \text{ m}^2 \text{ cfs/foot of trench}$$

Trench Retention Volume, V_T : $V_T := V_{req} = 8467 \text{ ft}^3$

$V_T = 2.333 \text{ acre} \cdot \text{in}$

Required Trench Length, L : $L_{req} := \frac{V_T}{E} = 70323 \text{ m}^2 \cdot \text{ft}$

$$L_{provided} := 210 \text{ ft}$$

$$V_{trench} := L_{provided} \cdot E = 8527 \text{ ft}^3$$

$$V_P := V_{trench} = 8527 \text{ ft}^3$$

Retention Volume Provided

$$V_P = 8527 \text{ ft}^3$$

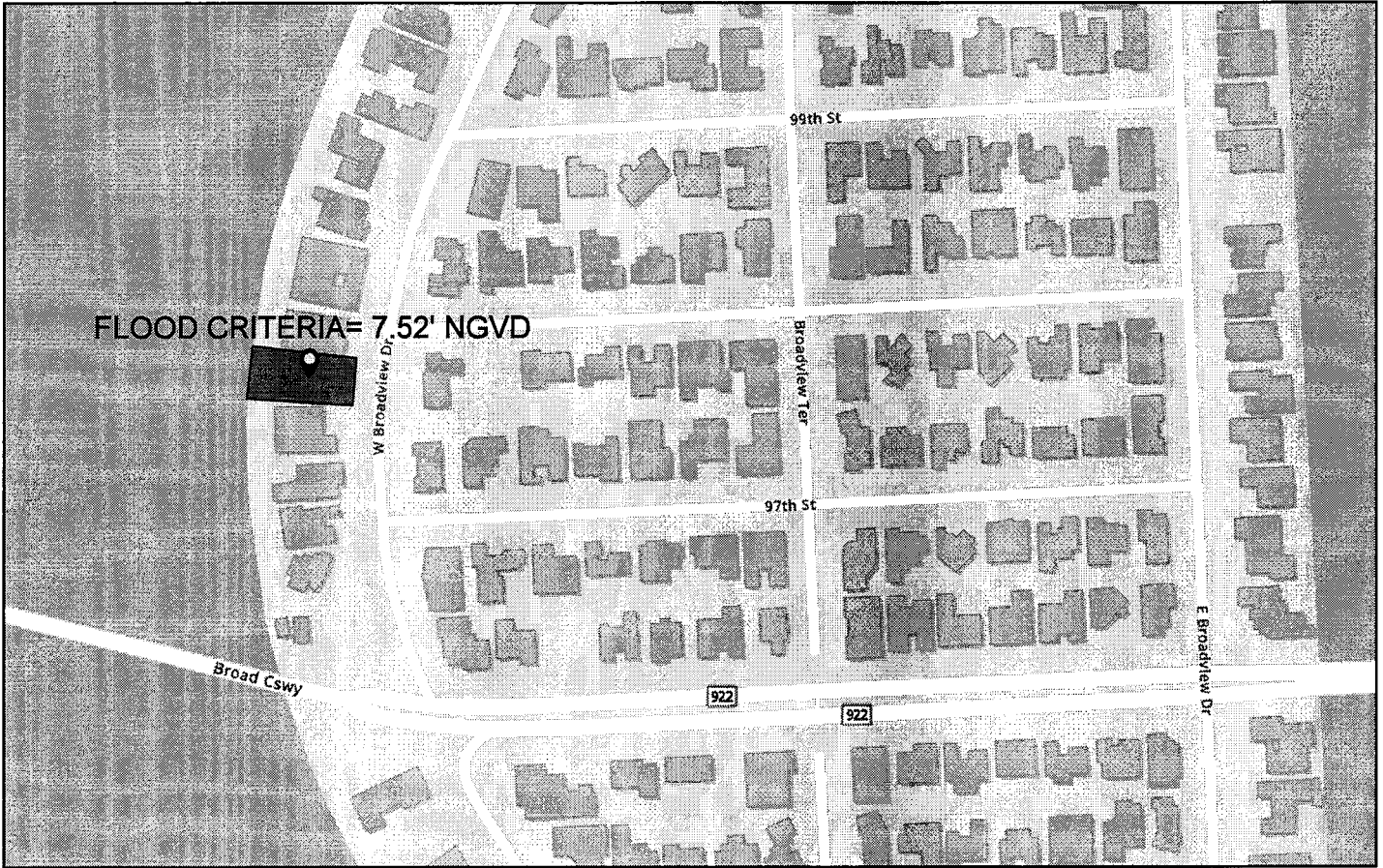
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Storage Volume Required

$$V_{req} = 8467 \text{ ft}^3$$

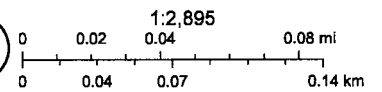
Therefore Sufficient Storage is being Provided

FLOOD CRITERIA MAP



6/11/2025

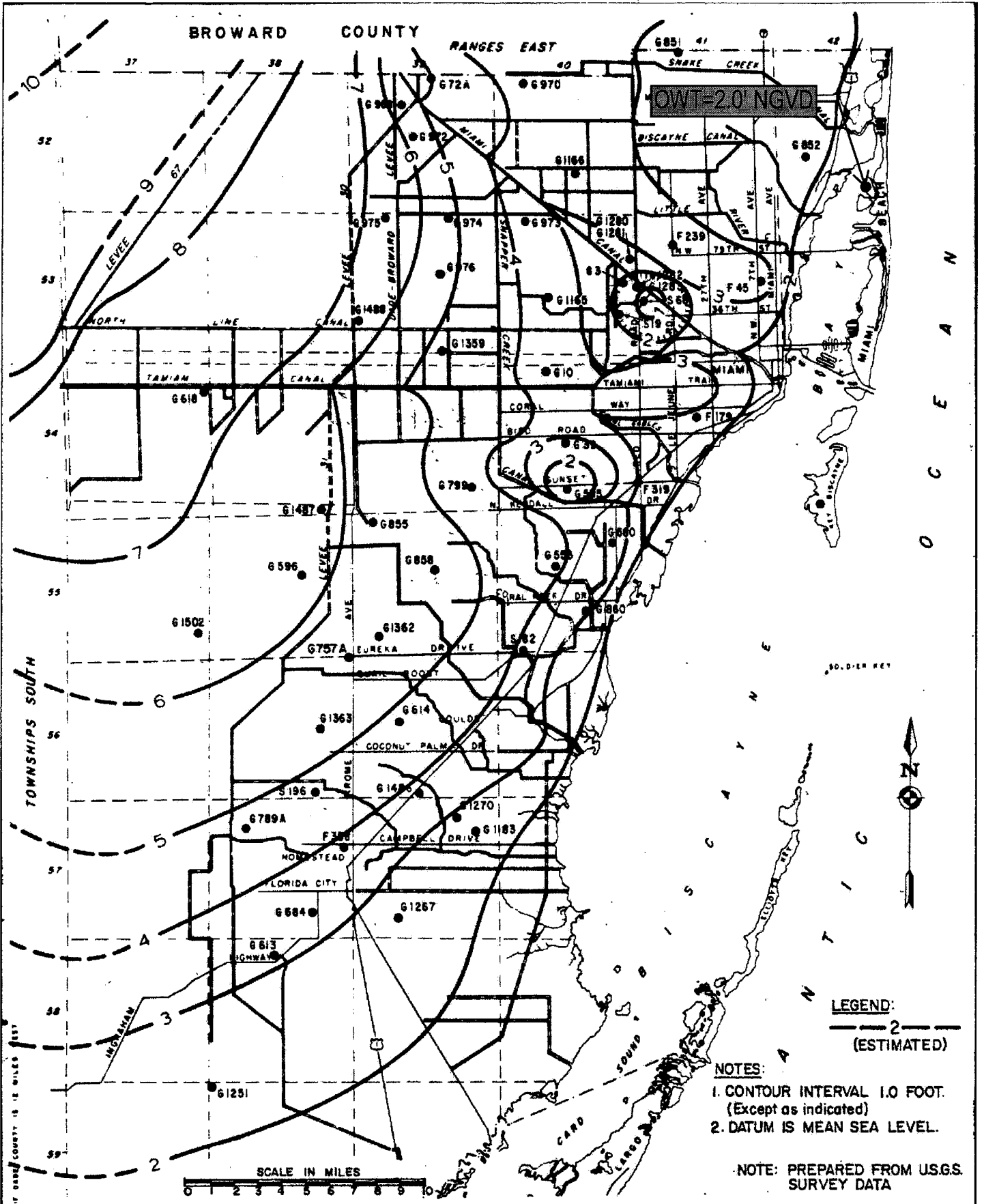
World_Hillshade



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User Community, Sources: Esri, Maxar, Airbus DS,

CARLAB, INC

CONTOUR LINES ELEVATIONS SHOWN ARE NAVD



**METROPOLITAN
 DADE COUNTY
 PUBLIC WORKS
 DEPARTMENT**

APPROVED
 4/5/72

REVISED
 2/19/75
 4/14/77

DESIGN STANDARDS
**AVERAGE OCTOBER
 GROUND WATER LEVEL**
1960-75

W.C.
2.2
 SHEET 1 OF 1



NOAA Atlas 14, Volume 9, Version 2
Location name: Miami Beach, Florida, USA*
Latitude: 25.8879°, Longitude: -80.1392°
Elevation: 5 ft**
 * source: ESRI Maps
 ** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffery Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF_tabular](#) | [PF_graphical](#) | [Maps & aerials](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.572 (0.465-0.704)	0.658 (0.534-0.810)	0.799 (0.646-0.988)	0.918 (0.738-1.14)	1.08 (0.842-1.39)	1.21 (0.921-1.58)	1.34 (0.986-1.79)	1.48 (1.04-2.03)	1.66 (1.12-2.34)	1.79 (1.18-2.58)
10-min	0.837 (0.680-1.03)	0.963 (0.782-1.19)	1.17 (0.947-1.45)	1.34 (1.08-1.67)	1.59 (1.23-2.03)	1.78 (1.35-2.31)	1.97 (1.44-2.62)	2.16 (1.52-2.97)	2.42 (1.64-3.43)	2.63 (1.73-3.77)
15-min	1.02 (0.830-1.26)	1.17 (0.953-1.45)	1.43 (1.15-1.76)	1.64 (1.32-2.04)	1.94 (1.50-2.48)	2.17 (1.64-2.82)	2.40 (1.76-3.20)	2.64 (1.86-3.62)	2.96 (2.00-4.18)	3.20 (2.11-4.60)
30-min	1.56 (1.27-1.92)	1.81 (1.47-2.23)	2.21 (1.79-2.73)	2.55 (2.05-3.16)	3.02 (2.35-3.87)	3.39 (2.57-4.41)	3.76 (2.76-5.02)	4.14 (2.92-5.69)	4.65 (3.15-6.57)	5.04 (3.32-7.24)
60-min	2.10 (1.71-2.59)	2.42 (1.96-2.98)	2.96 (2.39-3.66)	3.44 (2.77-4.27)	4.16 (3.26-5.38)	4.75 (3.62-6.23)	5.37 (3.96-7.22)	6.04 (4.27-8.35)	6.98 (4.74-9.91)	7.72 (5.09-11.1)
2-hr	2.65 (2.16-3.24)	3.02 (2.47-3.70)	3.71 (3.01-4.55)	4.34 (3.50-5.35)	5.29 (4.18-6.85)	6.11 (4.70-7.99)	6.98 (5.19-9.37)	7.94 (5.65-10.9)	9.30 (6.37-13.2)	10.4 (6.91-14.9)
3-hr	2.96 (2.42-3.60)	3.37 (2.76-4.11)	4.15 (3.38-5.07)	4.89 (3.97-6.01)	6.06 (4.82-7.87)	7.08 (5.48-9.27)	8.19 (6.12-11.0)	9.42 (6.75-13.0)	11.2 (7.72-15.9)	12.7 (8.45-18.0)
6-hr	3.46 (2.85-4.19)	3.99 (3.28-4.84)	5.01 (4.10-6.08)	5.99 (4.88-7.31)	7.55 (6.06-9.77)	8.92 (6.94-11.6)	10.4 (7.84-13.9)	12.1 (8.73-16.6)	14.5 (10.1-20.5)	16.6 (11.1-23.4)
12-hr	3.94 (3.26-4.74)	4.68 (3.86-5.63)	6.03 (4.97-7.28)	7.30 (5.98-8.85)	9.26 (7.44-11.9)	10.9 (8.55-14.1)	12.8 (9.64-16.9)	14.8 (10.7-20.1)	17.7 (12.3-24.7)	20.0 (13.5-28.1)
24-hr	4.51 (3.75-5.38)	5.43 (4.51-6.50)	7.10 (5.88-8.51)	8.62 (7.10-10.4)	10.9 (8.81-13.9)	12.9 (10.1-16.5)	15.0 (11.4-19.6)	17.2 (12.6-23.2)	20.5 (14.3-28.3)	23.1 (15.7-32.2)
2-day	5.29 (4.42-6.28)	6.32 (5.27-7.50)	8.15 (6.78-9.71)	9.83 (8.14-11.8)	12.4 (10.0-15.6)	14.5 (11.4-18.4)	16.8 (12.8-21.9)	19.3 (14.1-25.8)	22.8 (16.1-31.4)	25.7 (17.6-35.6)
3-day	5.94 (4.97-7.02)	6.99 (5.85-8.27)	8.88 (7.41-10.5)	10.6 (8.80-12.6)	13.2 (10.7-16.5)	15.4 (12.2-19.5)	17.7 (13.6-23.0)	20.3 (14.9-27.0)	23.9 (16.9-32.7)	26.8 (18.4-37.0)
4-day	6.52 (5.47-7.68)	7.56 (6.35-8.92)	9.45 (7.90-11.2)	11.2 (9.29-13.3)	13.8 (11.2-17.2)	16.0 (12.7-20.1)	18.3 (14.1-23.7)	20.9 (15.4-27.7)	24.5 (17.4-33.4)	27.4 (18.9-37.8)
7-day	8.00 (6.75-9.38)	8.99 (7.57-10.5)	10.8 (9.06-12.7)	12.5 (10.4-14.7)	15.0 (12.3-18.6)	17.2 (13.7-21.5)	19.5 (15.1-25.1)	22.1 (16.4-29.1)	25.7 (18.4-34.9)	28.7 (19.9-39.3)
10-day	9.19 (7.77-10.7)	10.2 (8.64-12.0)	12.1 (10.2-14.2)	13.8 (11.6-16.3)	16.4 (13.4-20.2)	18.6 (14.9-23.2)	21.0 (16.2-26.8)	23.5 (17.5-30.9)	27.2 (19.5-36.8)	30.2 (21.0-41.2)
20-day	12.2 (10.3-14.1)	13.7 (11.6-15.9)	16.3 (13.8-19.0)	18.5 (15.6-21.6)	21.6 (17.7-26.2)	24.1 (19.3-29.6)	26.7 (20.7-33.6)	29.3 (21.9-38.0)	32.9 (23.7-43.9)	35.7 (25.0-48.4)
30-day	14.6 (12.4-16.9)	16.6 (14.1-19.2)	19.8 (16.8-23.0)	22.4 (19.0-26.1)	26.0 (21.3-31.2)	28.7 (23.0-35.0)	31.4 (24.4-39.2)	34.1 (25.4-43.8)	37.6 (27.0-49.7)	40.2 (28.2-54.2)
45-day	17.7 (15.2-20.4)	20.2 (17.2-23.3)	24.1 (20.5-27.8)	27.1 (23.0-31.5)	31.1 (25.4-37.0)	34.0 (27.3-41.1)	36.8 (28.6-45.6)	39.5 (29.5-50.3)	42.8 (30.8-56.1)	45.1 (31.8-60.6)
60-day	20.5 (17.6-23.5)	23.2 (19.9-26.7)	27.5 (23.5-31.7)	30.8 (26.2-35.7)	35.1 (28.7-41.4)	38.1 (30.6-45.8)	40.9 (31.8-50.4)	43.5 (32.5-55.2)	46.6 (33.6-60.8)	48.6 (34.4-65.2)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

[Back to Top](#)

PF graphical

National Flood Hazard Layer FIRMette



80°8'40"W 25°53'33"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zones A, X, AE9
		With BFE or Depth Zone AE, AD, AH, VE, AR
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone I
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee, See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		No Screen Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 11/6/2025 at 2:55 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

BAY HARBOR ISLANDS RESIDENCE

9730 W Broadview Dr BAY HARBOR ISLANDS, FL 33154
 FOLIO: 13-2227-001-4470



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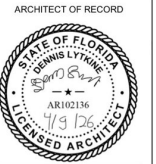
PROJECT:
 9730 W Broadview Dr
 BAY HARBOR
 ISLANDS, FL 33154

FOLIO NUMBER: 13-2227-001-4470

DATE: 4/9/2026

REVISION	

DATE:
 DRAFTED BY:
 SCALE:



COVER SHEET +
 PROJECT
 INFORMATION

CO

DRAWN BY: B.C.

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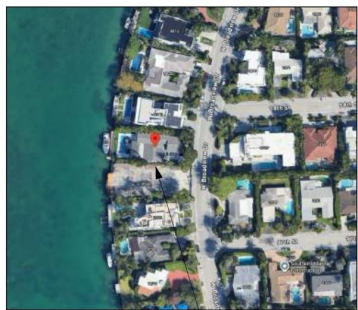
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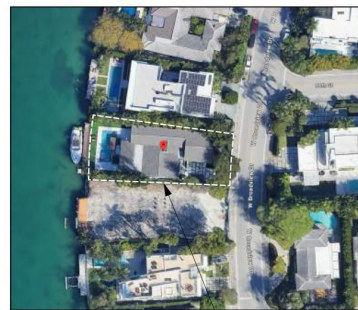
DRAWING INDEX

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SU-2	DEMO SITE PLAN	L-4	RENDERED LANDSCAPE PLAN	L-4	RENDERED LANDSCAPE PLAN
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LOCATION MAP



AERIAL



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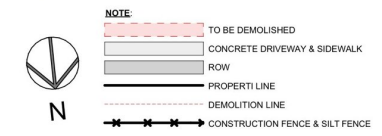
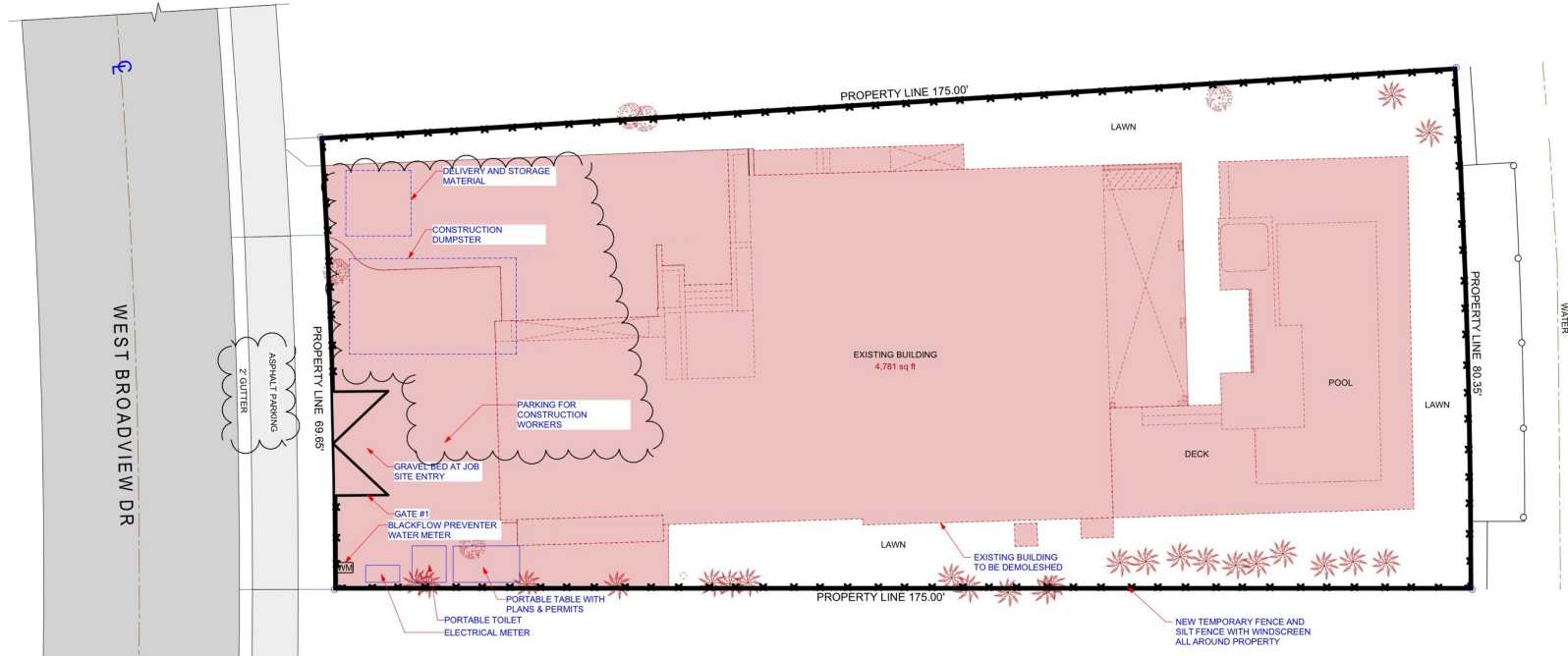
DEMO SITE PLAN

SU-2

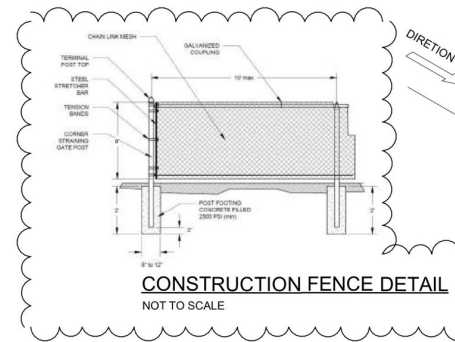
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DEMOLITION NOTES

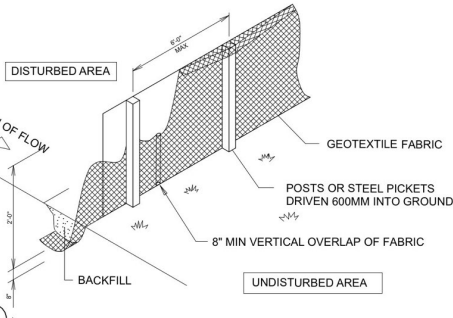
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO START OF CONSTRUCTION. ANY CONDITION NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BID SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR TO FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO ANY DEMOLITION. (I.E. WATER, SEWER, FPL, ETC.) ANY DISCREPANCY WITH THE DRAWINGS NEEDS TO BE NOTIFIED TO ARCHITECT & OWNER IMMEDIATELY.
- CONTRACTOR TO LOCATE ALL EXISTING INSTALLATIONS THAT WILL PREVENT THE CONSTRUCTION OF THE INTENDED ITEMS, OR REQUIRE THE MODIFICATION OF CEILING HEIGHTS.
- GENERAL CONTRACTOR TO PATCH AND REPAIR ALL SURFACES THAT BECAME AFFECTED DURING CONSTRUCTION.
- ALL SALVAGEABLE MATERIALS TO BE REMOVED AND STORED ACCORDING TO OWNER'S REQUEST, COORDINATE WITH TENANT & LANDLORD.
- ITEMS TO BE REMOVED OR RELOCATED SHALL BE DONE IN A SAFE, ORDERLY MANNER WITHOUT DAMAGE TO OTHER PARTS OF THE PREMISES OR ADJACENT PROPERTIES. ANY RESULTING DAMAGE OR LOSS SHALL BE CORRECTED OR REPLACED BY CONTRACTOR.
- LOCATION OF DUMPSTER AND WORK PROCEDURES ARE TO BE COORDINATED WITH PROPERTY MANAGEMENT OR OWNER.
- CONTROL THE SPREAD OF DUST AND DIRT AS REQUIRED.
- VERIFY THAT ALL APPROPRIATE UTILITIES HAVE BEEN DISCONNECTED AND PROPERLY CAPPED TO INSURE SAFETY.
- PROMPTLY DISPOSE OF MATERIALS RESULTING FROM DEMOLITION OPERATIONS. DO NOT ALLOW MATERIALS TO ACCUMULATE ON SITE.
- MATERIALS PRODUCED BY DEMOLITION ARE TO BE RECYCLED TO EXTENT FEASIBLE WHERE NOT SALVAGED FOR REUSE IN NEW CONSTRUCTION. TRANSPORT MATERIALS RESULTING FROM DEMOLITION OPERATIONS AND LEGALLY DISPOSE OF OFF SITE.
- CONTRACTOR TO DISPOSE OF DEMOLISHED MATERIALS IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- UPON COMPLETION OF DEMOLITION OPERATIONS, REMOVE ALL TOOLS, EQUIPMENT AND DEBRIS LEAVING ALL AREAS (EXT. & INT.) CLEAN AND PREPARED FOR NEW CONSTRUCTION.
- ALL DEMOLISHED MATERIAL SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE DISPOSED OF BY CONTRACTOR.
- ASBESTOS AND OTHER HAZARDOUS MATERIALS: PRIOR TO DEMOLITION COMMENCEMENT, GENERAL CONTRACTOR SHALL HAVE A LICENSED ABATEMENT CONTRACTOR PREPARE A HAZARDOUS MATERIALS SURVEY FOR THE DEMOLITION AREAS. THE SURVEY REPORT SHALL IDENTIFY ALL MATERIALS REQUIRED TO BE REMOVED AND THE REQUIRED METHODOLOGY FOR THE REMOVAL (ABATEMENT) OF SAID HAZARDOUS MATERIALS. THIS REPORT SHALL BE PART OF THE DEMOLITION PERMIT DOCUMENTS.
- DO NOT REMOVE PIPING OR EQUIPMENT UNTIL HAZARDOUS MATERIALS ABATEMENT IS COMPLETE IN THE VICINITY WHEN APPLICABLE. COORDINATE WITH HAZARDOUS MATERIALS CONTRACTOR.
- PROTECT ALL CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION OF ADJACENT CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR RESTORATION IF DAMAGE OCCURS TO AREAS NOT SHOWN TO BE DEMOLISHED.
- DETAILS NOTED "TYPICAL" IMPLY ALL SUCH CONDITIONS BE TREATED SIMILARLY.
- REMOVE ALL MISCELLANEOUS FURNISHINGS (i.e. EQUIPMENT, KITCHEN EQUIPMENT, FURNITURE AND LOCKERS THROUGHOUT THE BUILDING) AND DISCHARGE AND STORE AS PER OWNER INSTRUCTIONS.
- REMOVE ALL EXISTING MISCELLANEOUS BUILDING SIGNAGE AND WALL MOUNTED BUILDING HARDWARE, NOT INDICATED TO BE SALVAGED.
- CONTRACTOR SHALL PROVIDE TEMPORARY FIRE PROTECTION & LIGHTING DURING DEMOLITION WORK, IF REQUIRED.
- DEMOLITION NOTES INDICATE TYPE OF WORK TO BE PERFORMED. CONTRACTOR TO VERIFY EXTENTS OF ALL DEMOLITION WORK IN THE FIELD.



1 SU-2 EXISTING-DEMO SITE PLAN
SCALE: 1" = 10'



CONSTRUCTION FENCE DETAIL
NOT TO SCALE



SEDIMENT FENCE DETAIL
NOT TO SCALE

NOTE:

- (8) FOOT HEIGHT CHAIN LINK FENCE WITH A SCREENING MATERIAL OF EIGHTY (80) PERCENT OPACITY ON ALL 4 SIDES.
- SLIDING OR INWARD SWINGING GATES ARE LOCKED WHEN CONSTRUCTION PERSONNEL ARE NOT PRESENT.
- POLE DRIVEN AND OF ADEQUATE STRENGTH TO RESIST WIND PRESSURE.
- STAND PLUMB WITH NO GAPS LARGER THAN FOUR (4) INCHES.
- POSTED CONSTRUCTION SIGN (MUST CONTAIN 24-HOUR CONTACT INFORMATION) (6) SQUARE FEET (MAXIMUM) AS PER SIGN REGULATIONS - SEC 17-5.
- AT NO TIME SHALL THE PARCEL REMAIN WITHOUT A PROTECTIVE BARRIER.
- CONSTRUCTION FENCE AND SIGNAGE MATERIALS SHALL BE MAINTAINED IN AN ORDERLY AND CLEAN MANNER FREE FROM GRAFFITI AS ORIGINALLY PERMITTED.
- ALL CONSTRUCTION OR PRECONSTRUCTION SIGNS OTHERWISE PERMITTED BY THIS SECTION SHALL BE REMOVED UPON SUCCESSFUL FINAL INSPECTION BY THE BUILDING DEPARTMENT AND TOWN ADMINISTRATION, AND PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLETION AND/OR CERTIFICATE OF OCCUPANCY.

NOTE:

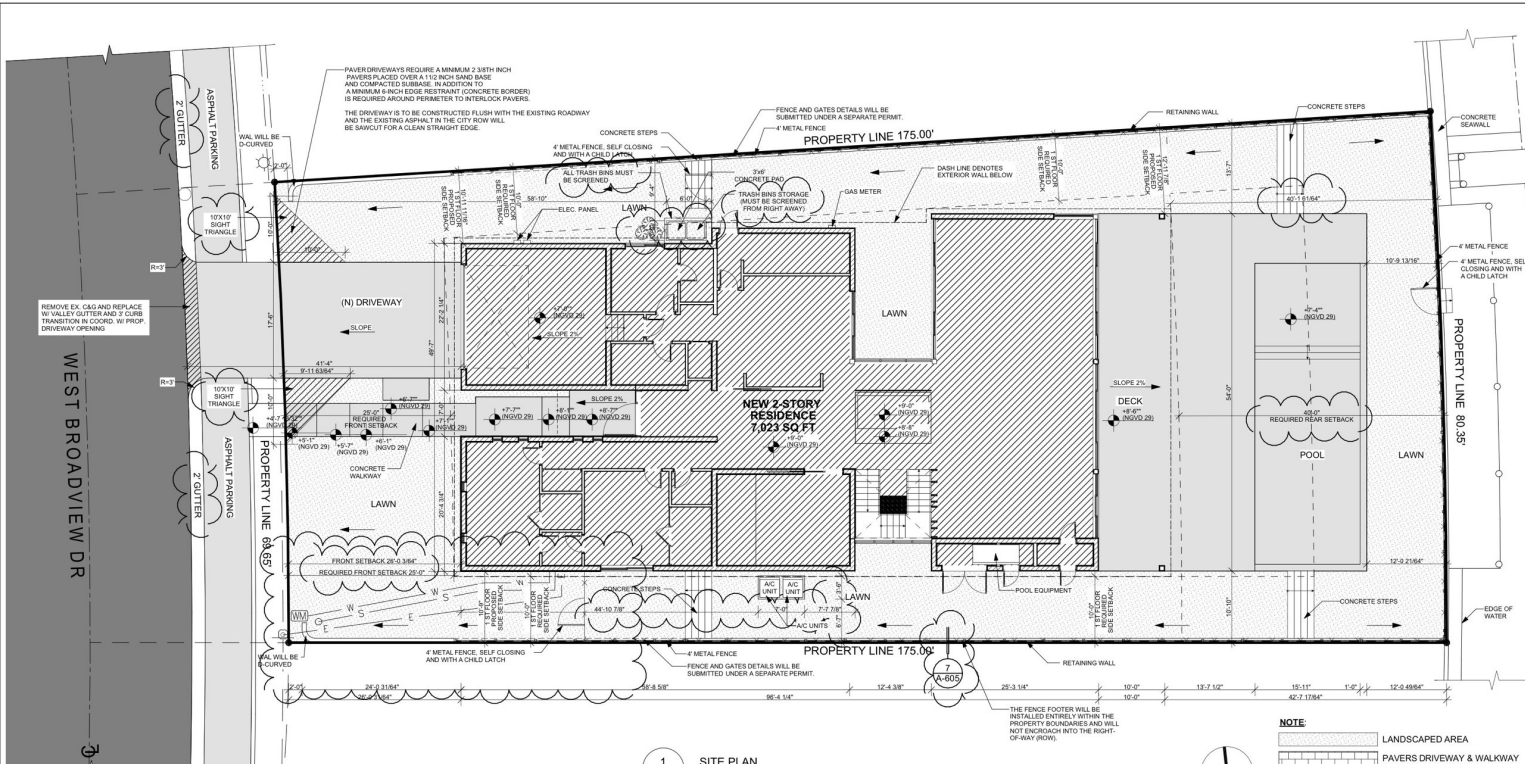
SEPERATE PERMIT FOR TREE REMOVAL
REFER TO LANDSCAPING PLAN FOR TREE MITIGATION

NOTE:

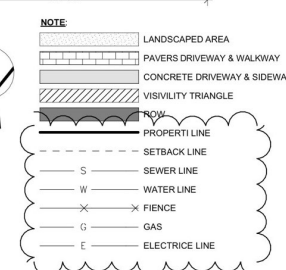
PERMIT CARD TO BE POSTED AT JOB SITE UNTIL PERMIT IS FINAL
TEMPORARY TOILETS TO BE PRESENT AT THE JOBSITE DURING DEMOLITION

APPLICABLE CODE NOTE:

APPLICABLE CODE: FBC 2023 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH FBC 2023 RESIDENTIAL.



1 SITE PLAN
SP-1
SCALE: 1" = 10'



NOTES:
ALL TRASH BINS MUST BE SCREENED

GREEN BUILDING PRACTICES
<ol style="list-style-type: none"> RADIANT BARRIER ROOF - SEALOFLEX COOL ROOF - REFLECTO WHITE. WALLS - AL-FOIL REFLECTIVE WINDOWS AND GLAZING LOW E, TINTED DOUBLE GLAZING- U FACTOR 0.56. SHGC 0.25 DOORS INSULATED AND FIRE RATED ENERGY STAR ROOFING SEALOFLEX COOL ROOF - REFLECTO WHITE PROGRAMMABLE THERMOSTATS OCCUPANCY SENSORS DUAL FLUSH TOILETS 80% OF PLANT MATERIAL NATIVE ENERGY EFFICIENT OUTDOOR LIGHTING INSULATED PIPING RECYCLING AREA ENERGY STAR APPLIANCES ONE LOW FLOW SHOWERHEAD ENERGY EFFICIENT OUTDOOR LIGHTING ENERGY EFFICIENCY 10% BETTER THAN STANDARD ESTABLISHED BY ASHRAE. MERV 8 AC FILTERS
SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONED OR RESIDENTIALLY USED AREAS.
SITE LIGHTING NOTE: SITE LIGHTING LEVELS SHALL NOT EXCEED 0.5 FC AT THE PROPERTY LINE ADJACENT TO RESIDENTIALLY ZONE OR RESIDENTIALLY USED AREAS.

<p>PER NFPA 1, 12.3.2.2 A QUALITY ASSURANCE PROGRAM FOR THE INSTALLATION OF DEVICES AND SYSTEMS INSTALLED TO PROTECT PENETRATION AND JOINTS SHALL BE PREPARED AND MONITORED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR DESIGN. INSPECTIONS OF FIRE STOP SYSTEMS AND FIRE-RESISTIVE JOINT SYSTEMS SHALL BE IN ACCORDANCE WITH 12.3.2.1 AND 12.3.2.1.</p> <p>NFPA 1(2015 EDITOR) CHAPTER 11.10 REQUIRES THAT MINIMUM RADIO SIGNAL STRENGTH FROM FIRE DEPARTMENT COMMUNICATIONS BE MAINTAINED AT A LEVEL DETERMINED BY THE AHJ FROM ALL NEW AND EXISTING BUILDINGS INCLUDING COMPLYING WITH NFPA T2 (2013 EDITOR) BDA SYSTEM MAY BE REQUIRED</p> <p>A PRE-HEAT MAP PLAN, CONCEPTUAL DRAWINGS AND CUT SHEETS WILL BE REQUIRED TO BE SUBMITTED WITH THE MAIN SET OF ARCHITECTURAL DRAWINGS FOR THE BDA SYSTEM</p> <p>ALL CHANGES TO THE DESIGN WILL REQUIRE PLANNING REVIEW AND MAY BE SUBJECT TO BOARD APPROVAL.</p> <p>FEMA NOTE: THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS. AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.</p> <p>ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.</p>

<p>NOTE: BUILDING TO COMPLY WITH CHAPTER 108 REGARDING ALL MARINE TURTLE PROTECTION</p> <p>ALL SIGNAGE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF BAY HARBOR ISLANDS ZONING AND LAND DEVELOPMENT CODE BASED ON THE RD ZONING DISTRICT. SEPARATE PERMIT ARE REQUIRED FOR EACH SIGN. ALL SIGNS, WHICH ARE ELECTRICALLY ILLUMINATED, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION.</p> <p>NOTE: PRIOR TO POURING THE FIRST FLOOR TIE BEAM A SPOT SURVEY OF THE FINISHED FLOOR ELEVATION MUST BE SUBMITTED TO THE BUILDING DEPT.</p> <p>FEMA NOTE: THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS . AT TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT.</p> <p>FEMA NOTE: THE NATIONAL FLOOD INSURANCE PROGRAM IS IN THE PROCESS OF ISSUING NEW FLOOD MAPS AT THE TIME OF BUILDING PERMIT THE FEMA BASE FLOOD ELEVATION SHOULD BE CHECKED TO ENSURE IT IS STILL COMPLIANT</p> <p>TWO WAY RADIO COMPLIANCE: BUILDING WILL BE IN COMPLIANCE WITH N.F.P.A. 1, 11.10 AND BROWARD COUNTY CODE AMENDMENT 118.2 FOR TWO WAY RADIO COMMUNICATION.</p> <p>NOTE: TRASH AND RECYCLE BIN TO BE INDIVIDUAL PER UNIT</p> <p>ALL SIGNAGE SHALL COMPLY WITH THE CITY OF BAY HARBOR ISLANDS ZONING AND LAND DEVELOPMENT CODE, RD ZONING DISTRICT</p>
--

PROPERTY ADDRESS		
9730 W Broadview Dr BAY HARBOR ISLANDS, FL 33154		
FOLIO		
# 13-2227-001-4470		
LEGAL DESCRIPTION		
BAY HARBOR ISLAND PB 46-5 LOT 63 BLK 23 LOT SIZE 75,000 X 175 OR 16480-1069 0794 4		
SITE INFORMATION	EXISTING	PROPOSED
ZONING	RD	RD
SUB-DISTRICT	N/A	N/A
BUILDING USE	VACANT LOT	SINGLE FAMILY HOME
LAND USE DESIGNATION	RESIDENTIAL	RESIDENTIAL
COUNTY USE DESIGNATION	RESIDENTIAL	RESIDENTIAL
NET LOT AREA	13,125 SQFT- 0.301 ACRES	13,125 SQFT- 0.301 ACRES
BASE FLOOD ZONE	AE - 8'-0" NGVD	AE - 8'-0" NGVD
BUILDING INTENSITY	ALLOWED	PROVIDED
FAR	N/A	N/A
A/C AREA	WATERFRONT-2000.00 SF	7,044.00 SF
LOT COVERAGE	N/A	5,525.00 SF
PROPOSED DWELLING	1	1
NUMBER OF FLOORS	2	2
BUILDING HEIGHT	25'-0"	24'-4"
PARKING CALCULATION	REQUIRED	PROVIDED
PARKING SPACE	2	2
SETBACKS:	REQUIRED	PROVIDED
FRONT (EAST)	25'-0"	28'-3/64"
REAR (WEST)	40'-0"	40'-1"
NORTH SIDE 1ST FLOOR	10'-0"	10'-9"
NORTH SIDE 2ND FLOOR	10'-0"	10'-0"
SOUTH SIDE 1ST FLOOR	10'-0"	10'-11 11/16" -12'-11 7/8"
SOUTH SIDE 2ND FLOOR	10'-0"	10'-0"
LANDSCAPE	REQUIRED	PROVIDED
IMPERVIOUS AREA BUILDING FOOTPRINT, WALKWAYS & DRIVEWAYS	N/A	7,695.00 SF (58.62%)
PERVIOUS ARE / OPEN SPACE	5,250 SF (40%)	5,433.00 SF (41.39%)
FRONT LANDSCAPE AREA	881.00 SF (50%)	1,165.00 SF (66.11%)
BUILDING AREA	REQUIRED	PROVIDED
FIRST FLOOR (A/C AREA)	N/A	3,712.00 SF
SECOND FLOOR (A/C AREA)	N/A	3,332.00 SF
TOTAL (A/C AREA)		7,044.00 SF
FIRST FLOOR (A/C AREA + GARAGE)	4,168 SQ FT	4,168 SQ FT
SECOND FLOOR (A/C AREA)	3,334 SQ FT	3,332 SQ FT
SECOND FLOOR AREA RESTRICTION	80%	79.94%

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REVISION

DATE:
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SCALE:

ARCHITECT OF RECORD

SITE PLAN AND SITE DATA

SP-1

DRAWN BY: B.C.

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DIAGRAMS_1

SP-2

DRAWN BY: B.C.



1
SP-2 DIAGRAM_GROUND FLOOR SITE /PER IMP
SCALE: 1" = 10'

SITE- PERVIOUS / IMPERVIOUS CALCULATIONS (OPEN SPACE)

TOTAL LOT	= 13,125 SQ.FT
REQUIRED PERVIOUS AREA (40.0% MIN. OF TOTAL LOT AREA)	= 5,250 SQ.FT
PROPOSED PERVIOUS AREA	= 5,433 SQ.FT (41.39%)
PROPOSED IMPERVIOUS AREA	= 7,695 SQ.FT (58.62%)
MAIN HOUSE STRUCTURE (GROSS AREA)	= 4,501 SQ.FT
SWIMMING POOL	= 787 SQ.FT
MECHANICAL EQUIPMENT	= 25 SQ.FT
OUTDOOR PATIO/POOL DECK	= 1,403 SQ.FT
DRIVEWAY	= 474 SQ.FT
WALKWAY	= 487 SQ.FT
TRASH BINS AREA	= 18 SQ.FT

NOTES:
MAIN HOUSE STRUCTURE
GROSS AREA OUTSIDE FACE OF EXTERIOR WALLS: 4,501 SQ. FT.
UNDER A/C AREA INSIDE FACE OF EXTERIOR WALLS + GARAGE: 4,168 SQ.FT.



2
SP-2 DIAGRAM_GROUND FLOOR FRONT YARD
SCALE: 1" = 10'

FRONT YARD-PERVIOUS / IMPERVIOUS CALCULATIONS

TOTAL LOT	= 13,125 SQ.FT
REQUIRED PERVIOUS AREA (50.0% MIN. OF TOTAL LOT AREA)	= 881 SQ.FT
PROPOSED PERVIOUS AREA	= 1,165 SQ.FT (66.11%)



1. 9600 W BROADVIEW DR, BAY HARBOR ISLANDS, FL 33154
NTS



2. 9640 W BROADVIEW DR, BAY HARBOR ISLANDS, FL 33154
NTS



3. 9700 W BROADVIEW DR, BAY HARBOR ISLANDS, FL 33154
NTS



4. 9710 W BROADVIEW DR, BAY HARBOR ISLANDS, FL 33154
NTS



5. 9720 W BROADVIEW DR, BAY HARBOR ISLANDS, FL 33154
NTS



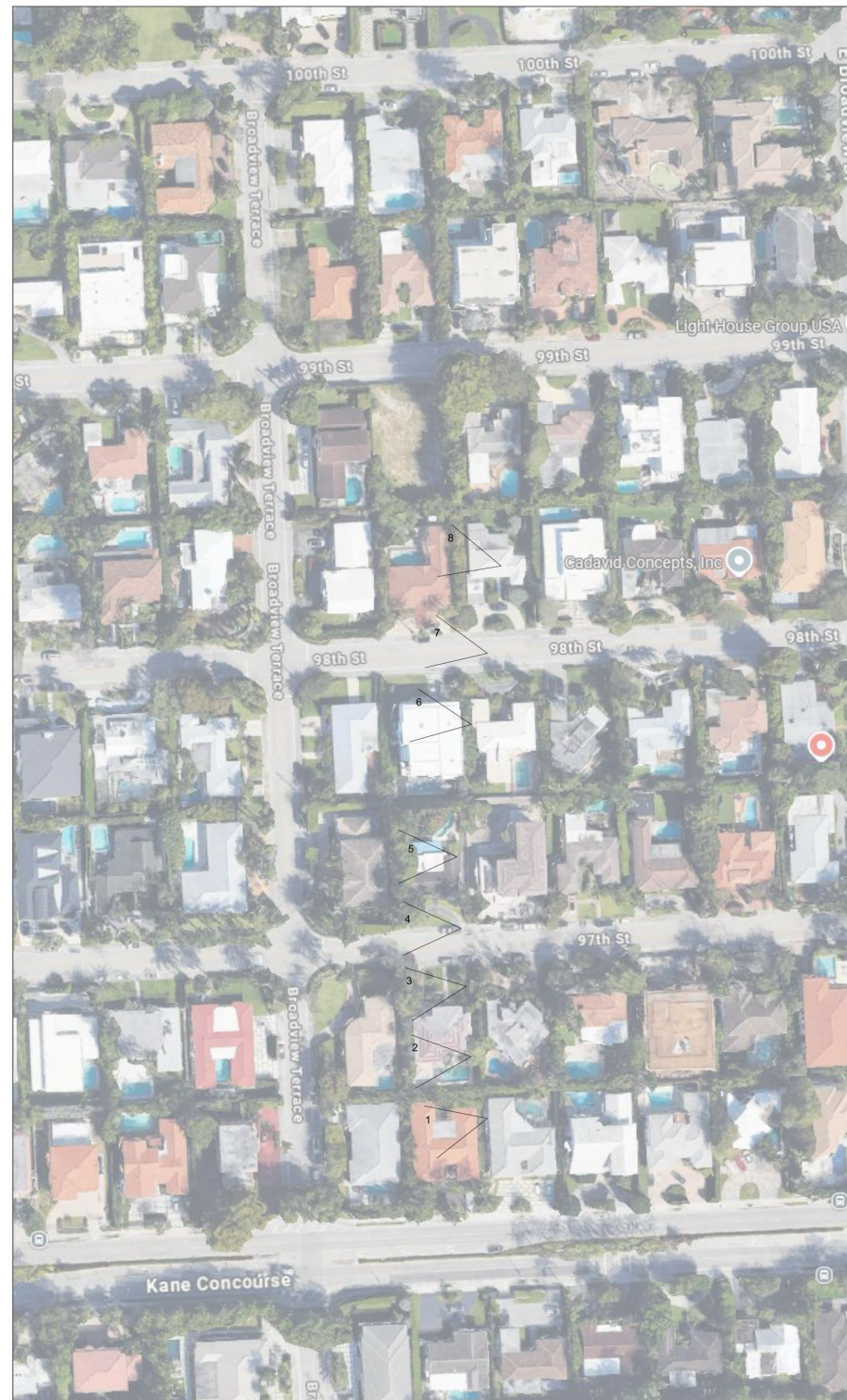
6. 9740 W BROADVIEW DR, BAY HARBOR ISLANDS, FL 33154
NTS



7. 9800 W BROADVIEW DR, BAY HARBOR ISLANDS, FL 33154
NTS



8. 9814 W BROADVIEW DR, BAY HARBOR ISLANDS, FL 33154
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PROJECT:
9730 W Broadview Dr
BAY HARBOR
ISLANDS, FL 33154

FOLIO NUMBER: 13-2227-001-4470

DATE: 4/9/2026

REVISION

NO.	DESCRIPTION

DATE:
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SCALE:

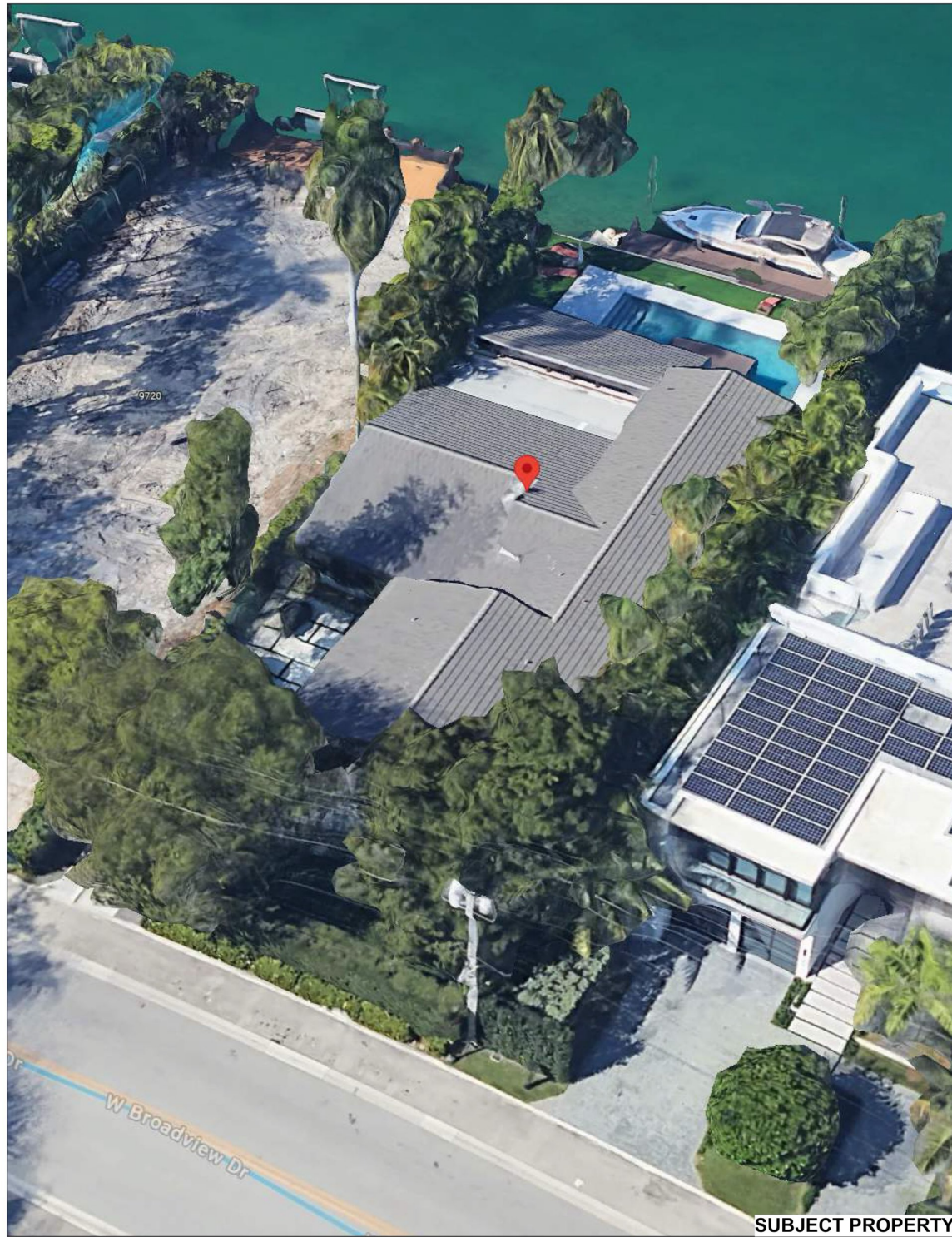
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NEIGHBORS
PHOTOGRAPHY

SP-6

DRAWN BY: B.C.



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SUBJECT PROPERTY

SP-8

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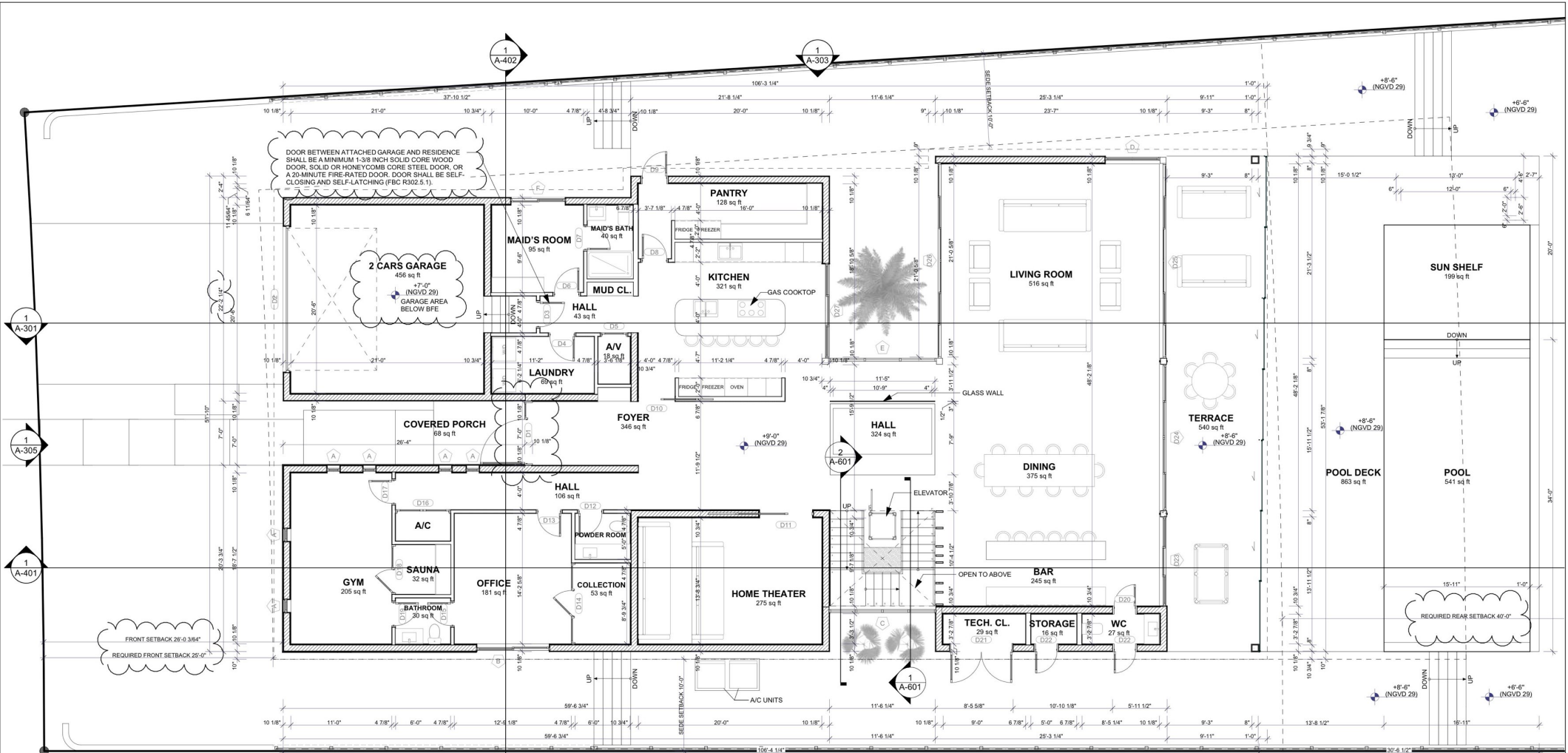
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3
A-102
GROUND FLOOR PLAN

- 9.00 FINISHES**
- All interior finishes must meet or exceed a Class "A" fire rating as specified in NFPA 101, FBC, and local codes.
 - All finishes, including floors, walls, ceilings, paint, etc., must be verified with the architect. The contractor must obtain approval before work begins. Provide samples of all paint colors, materials, and finishes for approval.
- 9.02 FLOOR FINISHES**
- Refer to the finish schedule.
- 9.03 WALL FINISHES**
- 3/4" smooth finish stucco on masonry/concrete substrate, following manufacturer specifications.
 - 3/4" smooth finish stucco on expanded metal lath over metal stud/plywood substrate. The expanded metal lath must have a minimum weight of 3.4 lbs/sq ft and be attached to metal framing.
 - No. 5-16, S-12 pinhead, self-tapping screws must be spaced a maximum of 6" vertically on center, 6 studs.
 - Must comply with ASTM C-1063.
- 9.04 CEILING**
- Gypsum board and plaster/stucco ceilings on furring must conform to FBC.
 - Provide metal stud boxing to all dropped ceilings as per details.
- 9.08 PAINTING GENERAL**
- Finish paint must be ready-mixed and thinned only according to the manufacturer's instructions.
 - On galvanized steel, use galvanized iron primer as the first coat.
 - On metal surfaces, use Metalastic 1 enamel over a compatible primer.
 - Submit cut sheets for the architect's approval.
 - Touch-up/field welding with matching shop coat primer to comply with FBC.
 - All finishes must have a minimum Class "A" fire rating.
 - Refer to the interior paint finishes schedule for additional details.

- PLAN NOTES**
- REFER TO STRUCTURAL DRAWINGS FOR FILLED CMU CELL LOCATIONS AND OTHER STRUCTURAL ELEMENTS NOT SHOWN ON ARCHITECTURAL DRAWINGS. MASONRY OPENINGS ARE DIMENSIONED TO CENTERLINES. G.C. TO COORDINATE MASONRY OPENING SIZES WITH WINDOW AND DOOR SUPPLIER.
 - REFER TO WINDOW AND DOOR DETAILS AND MANUFACTURER SHOP DRAWINGS FOR ALL NECESSARY FURRING DEPTHS. 2" TYPICAL U.O.N. GENERAL CONTRACTOR (G.C.) TO COORDINATE FINAL PLUMBING AND ELECTRICAL LOCATION WITH APPROVED SHOP DRAWINGS OF CABINERY.
 - ALL INTERIOR PARTITIONS TO HAVE SOUND INSULATION. REFER TO SPECIFICATIONS FOR TYPE AND MANUFACTURER.
 - REFER TO INTERIOR DESIGN DRAWINGS FOR ALL PLUMBING FIXTURE AND FITTING LOCATIONS.
 - REFER TO SHOP DRAWINGS FOR ALL FINAL LOCATIONS AND LAYOUT OF BUILT-IN CABINERY AND APPLIANCES.
 - REFER TO INTERIOR DRAWINGS FOR ALL INTERIOR FINISH CEILING, BEAM, AND SOFFIT LOCATIONS. G.C. TO COORDINATE CEILING AND BEAM TREATMENTS W/ MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
 - ALL RAILINGS TO MEET ACCESS REQUIREMENTS PER FBC 2023 R301.
 - ALL ATTIC EQUIPMENT SPACES TO MEET FBC 2023 R316.3. INSTALL 5/8" GYPSUM BOARD AND 3/4" PLYWOOD SUB-FLOOR.
 - ALL BEDROOMS TO HAVE EMERGENCY EGRESS WINDOWS/DOORS PER FBC 2023 R310.

NOTE:
ALL WINDOW DIMENSIONS SHOWN ARE ROUGH OPENING SIZES IN THE WALL, NOT FINISHED WINDOW UNIT DIMENSIONS, UNLESS OTHERWISE SPECIFIED. REFER TO WINDOW SCHEDULE AND MANUFACTURER'S SPECIFICATIONS FOR FINAL SIZING AND INSTALLATION DETAILS.

GROUND FLOOR ROOM AREAS SCHEDULE			GROUND FLOOR ROOM AREAS SCHEDULE		
NUMBER	ROOM	AREA	NUMBER	ROOM	AREA
02	FOYER	346	024	BAR	245
03	HALL	106	025	STORAGE	16
04	GYM	205	025	TECH. CL.	29
05	A/C	18	027	WC	27
06	SAUNA	32			
07	BATHROOM	30			
08	OFFICE	181			
09	POWDER ROOM	30			
010	COLLECTION	53			
011	HOME THEATER	275			
012	2 CARS GARAGE	456			
013	LAUNDRY	69			
014	AV	18			
015	HALL	43			
016	MAID'S ROOM	95			
017	MAID'S BATH	40			
018	MUD CL.	8			
019	PANTRY	128			
020	KITCHEN	321			
021	HALL	324			
022	LIVING ROOM	516			
023	DINING	375			

FIRST FLOOR (A/C AREA) 3,712.00 SF

WALL LEGEND:

- EXTERIOR WALL
- INTERIOR WALL
- RETAINING WALL
- INTERIOR WALL
- STRUCTURAL WALL

GROUND FLOOR PLAN

A-102

DRAWN BY: B.C.

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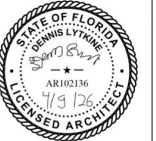
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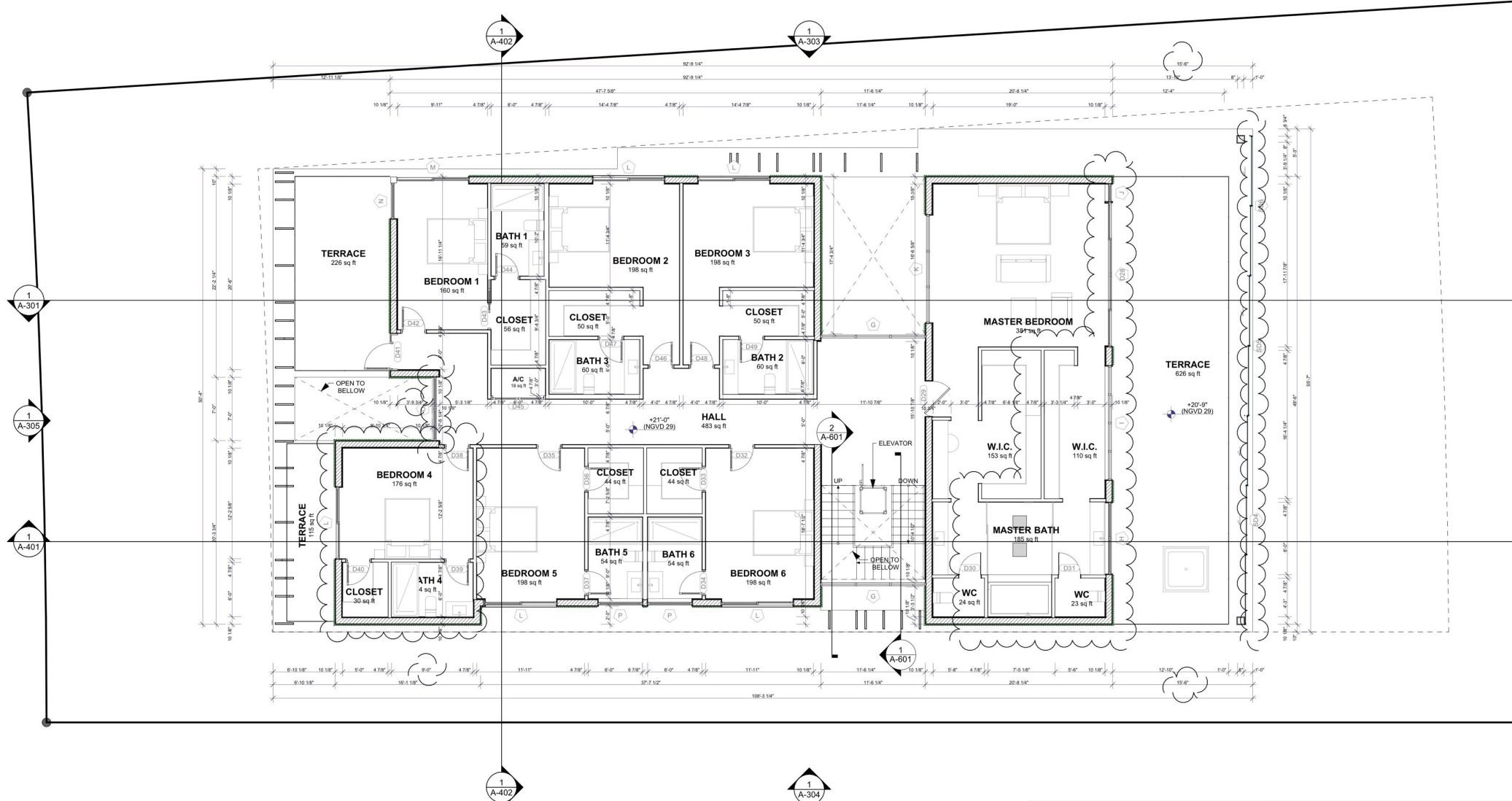
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SECOND FLOOR
PLAN

A-103

DRAWN BY: B.C.



3
A-103 SECOND FLOOR PLAN

SECOND FLOOR ROOM AREAS SCHEDULE			SECOND FLOOR ROOM AREAS SCHEDULE		
NUMBER	ROOM	AREA	NUMBER	ROOM	AREA
01	HALL	483	022	W.I.C.	153
02	BEDROOM 1	160	023	W.I.C.	110
03	BATH 1	59	024	MASTER BATH	185
04	CLOSET	56	025	WC	24
05	A/C	18	026	WC	23
06	BEDROOM 2	198	027	TERRACE	626
07	BATH 3	60	028	TERRACE	115
08	CLOSET	50	029	TERRACE	226
09	BEDROOM 3	198			
10	BATH 2	60			
11	CLOSET	50			
12	BEDROOM 4	176			
13	BATH 4	54			
14	CLOSET	30			
15	BEDROOM 5	198			
16	BATH 5	54			
17	CLOSET	44			
18	BEDROOM 6	198			
19	BATH 6	54			
20	CLOSET	44			
21	MASTER BEDROOM	381			
			SECOND FLOOR (A/C AREA) 3,332.00 SF		

WALL LEGEND:

	- EXTERIOR WALL
	- INTERIOR WALL
	- RETAINING WALL
	- INTERIOR WALL
	- STRUCTURAL WALL

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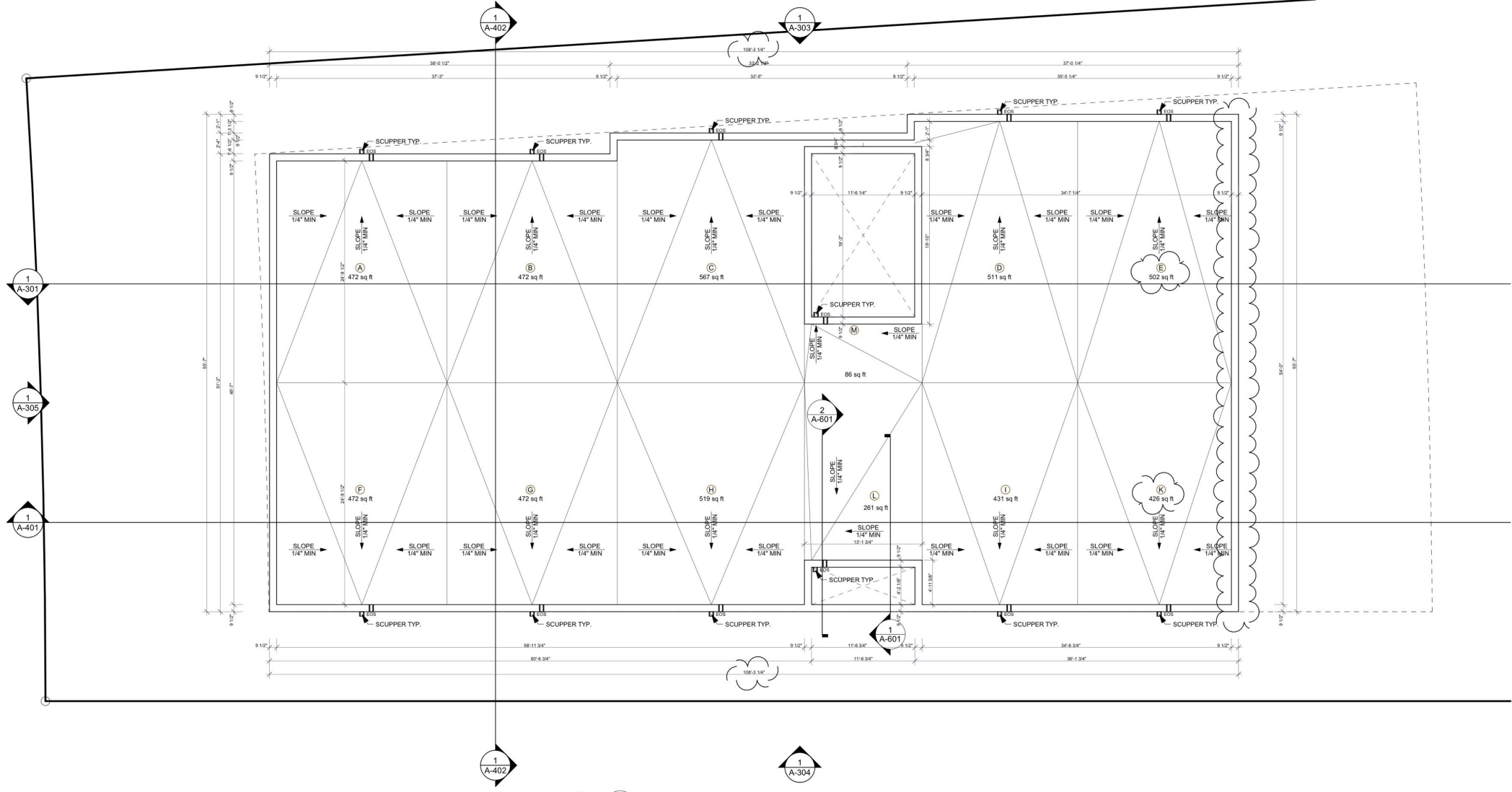
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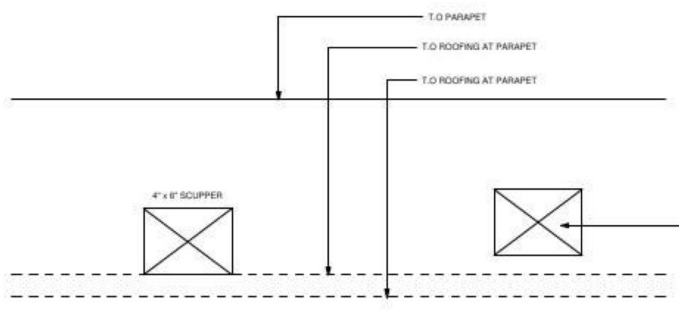
ROOF PLAN

A-104

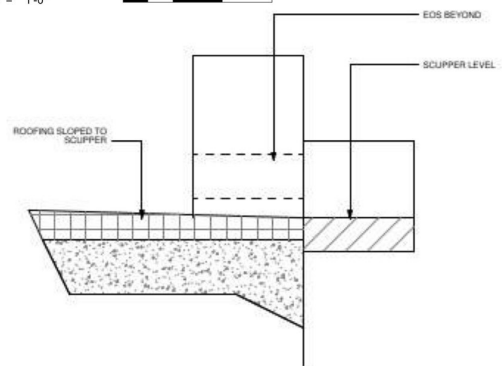
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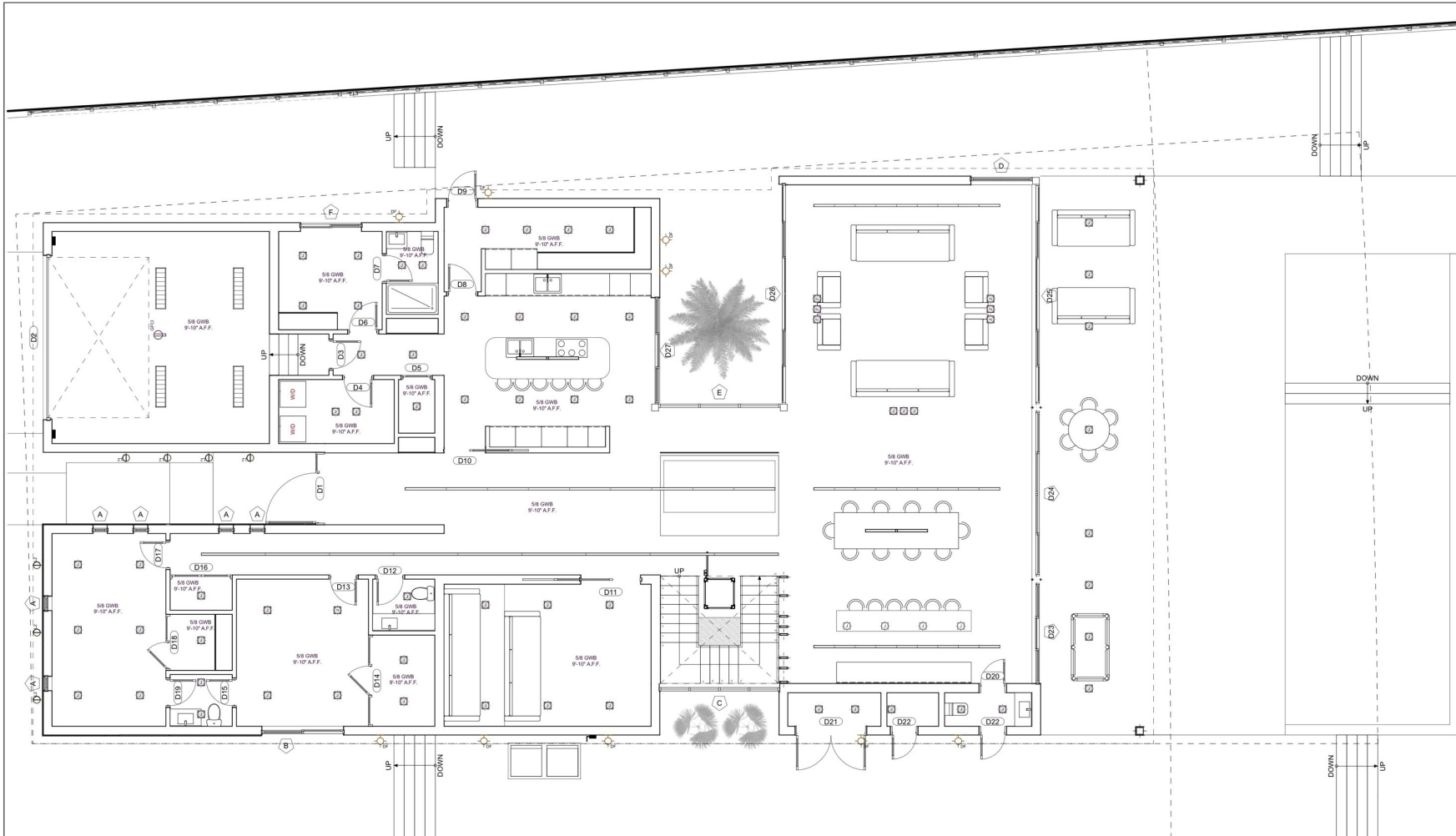
1 A-104 ROOF PLAN
SCALE: 3/16" = 1'-0"



SCUPPER & EOS DETAILS
3" = 1'-0"



- NOTES:
- ENCLOSED AREAS BELOW THE DESIGN FLOOD ELEVATION SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE AS PER ASCE 4.8.
- ROOFING SYSTEM NOTES:
- ALL ROOFING SYSTEM SHALL BE PAINTED "WHITE" AS PER URBAN HEAT ISLAND ORDINANCE.
- WATERPROOFING NOTE:
- * WATERPROOFING TESTED SHALL BE FLOOD TESTED IN ACCORDANCE WITH ASTM D697 .
 - * WATERPROOFING WILL COMPLY WITH F.B.C. 1519.16.6
 - * WATERPROOFING WILL BE SUBMITTED WITH A SEPARATE PERMIT
 - * FLASHING SHALL BE INSTALLED IN ACCORDANCE TO THE MANUFACTURERS PUBLISHED STANDARD DETAILS, SPECIFIC DETAILS, APPROVED BY THE MANUFACTURE, AND SHALL COMPLY WITH F.B.C. 1519.16



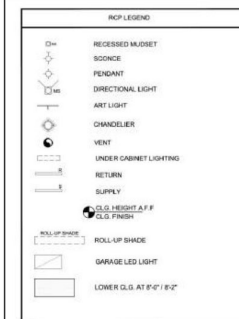
3
A-201 GROUND FLOOR REFLECTED CEILING PLAN

GENERAL ELECTRICAL NOTES

GENERAL NOTES:

- COORDINATE ALL CEILING FIXTURES SHOWN ON THE REFLECTED CEILING PLAN WITH MECHANICAL & ELECTRICAL DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
- CENTER VANITY LIGHT FIXTURE TO THE COUNTER U.N.O. (UNLESS NOTED OTHERWISE).
- FIXTURE LOCATION SHALL BE AT THE CENTER OF THE SPACE UNLESS OTHERWISE INDICATED.
- DROP CEILING ABOVE KITCHEN CABINETS TO MAINTAIN THE HEIGHT RELATIVE TO THE CEILING PLAN AND INTERIOR ELEVATIONS.
- FOR FIXTURE TYPE & SPECIFICATIONS, SEE MECHANICAL, ELECTRICAL, & FIRE PROTECTION DRAWINGS.
- REFER TO FLOOR PLANS FOR ROOM NAMES & ROOM NUMBERS.
- CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS & CALCULATIONS, SIGNED & SEALED BY A FLORIDA-REGISTERED ENGINEER, INDICATING COMPLIANCE WITH THE 8TH EDITION (2024) FLORIDA BUILDING CODE (FBC) AND SOUTH FLORIDA BUILDING CODE (SFB) FOR SOFFIT & EXTERIOR CEILING STRUCTURAL DESIGN. THIS SHALL INCLUDE ATTACHMENT METHODS, FRAMING, SUBFRAMING (SUCH AS FOR LIGHT FIXTURES), DECKING, AND OTHER MISCELLANEOUS COMPONENTS AS REQUIRED.

RCP LEGEND



LEGEND	
⊙	J-BOX
⊕	SCIENCE
⬇	DOWN LIGHT
⬆	TRACK LIGHT
⬆	COVE LIGHT
⊠	EXHAUST FAN
⊠	STEP LIGHT

CEILING NOTES

- REFER TO ELECTRICAL ENGINEERS' PLANS FOR LIGHTING, FIXTURE SCHEDULE, AND ADDITIONAL INFORMATION.
- REFER TO MECHANICAL ENGINEERS' PLANS FOR SUPPLY AND RETURN DIFFUSER LOCATIONS AND ADDITIONAL INFORMATION.
- TEST BUTTONS FOR ALL EMERGENCY LIGHT FIXTURES SHALL BE INTEGRAL TO THE FIXTURE.
- VERIFY CEILING HEIGHTS VS. NEW HVAC DUCTWORK. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE INSTALLATION.

SPECIAL NOTES

- CONTRACTOR SHALL PREPARE A PANEL SCHEDULE AND INDICATE LIGHTING AND POWER CIRCUIT LABELS/NUMBERS ON THE FLOOR PLAN WITH THE AS-BUILT DRAWINGS PRIOR TO FINAL INSPECTION.
- CONTRACTOR SHALL COMPLY WITH FBC (C408.2.5.1) AND PROVIDE THE OWNER WITH A RECORD SET OF COMPLETE INSTALLATION DRAWINGS.
- CONTRACTOR SHALL COMPLY WITH FBC (C408.2.5.2) AND PROVIDE THE OWNER WITH OPERATIONAL MANUALS AND MAINTENANCE MANUALS.
- CONTRACTOR/INTERIOR DESIGNER/OWNER SHALL ENSURE THAT AT LEAST 75% OF ALL PERMANENTLY INSTALLED FIXTURES HAVE HIGH-EFFICIENCY BULBS, PER THE 8TH EDITION (2024) FBC ENERGY CONSERVATION REQUIREMENTS. OCCUPANT SENSOR CONTROLS MUST BE INSTALLED WHERE REQUIRED, INCLUDING CORRIDORS.
- 120-VOLT CARBON MONOXIDE ALARMS SHALL BE PLACED WITHIN 10 FEET OF ALL SLEEPING AREAS AND MUST HAVE BATTERY BACKUP, IN COMPLIANCE WITH THE LATEST FBC SAFETY REQUIREMENTS.
- ALL LIGHT FIXTURES IN WET AREAS REQUIRE PROPER WATERPROOFING BY OTHERS AND MUST COMPLY WITH UPDATED ELECTRICAL SAFETY REGULATIONS.
- PROVIDE SHALLOW LIGHTS UNDER AREAS OF DUCTWORK. SELECTION BY OWNER/ID. NOTIFY ARCHITECT OF ANY DISCREPANCY AND COORDINATE WITH MECHANICAL DRAWINGS TO ENSURE COMPLIANCE WITH CURRENT CODE REQUIREMENTS

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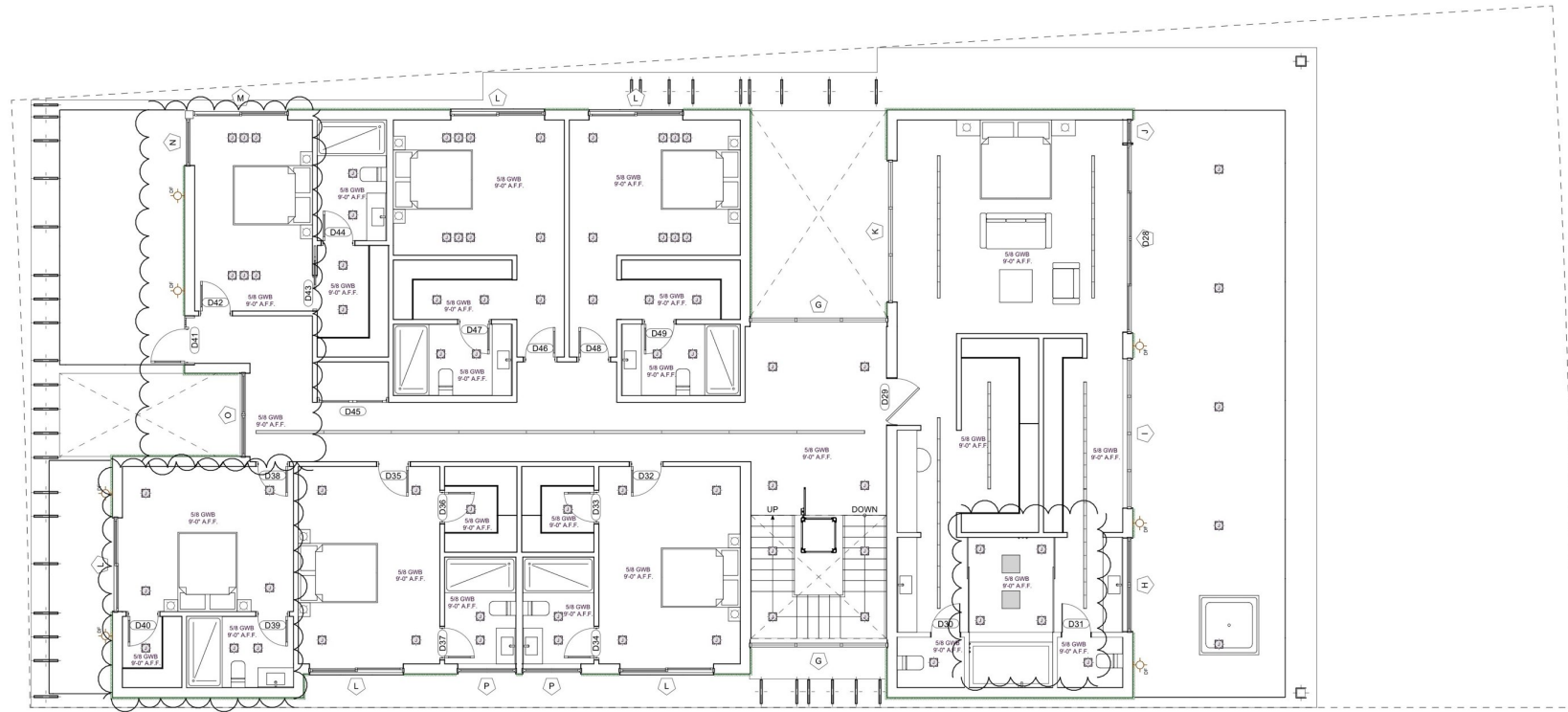
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GROUND FLOOR REFLECTED CEILING PLAN

A-201

DRAWN BY: B.C.



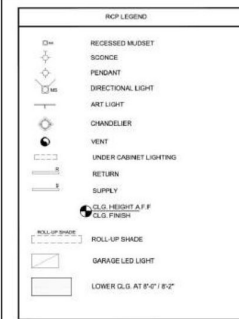
3 SECOND FLOOR REFLECTED CEILING PLAN
A-202

GENERAL ELECTRICAL NOTES

GENERAL NOTES:

- COORDINATE ALL CEILING FIXTURES SHOWN ON THE REFLECTED CEILING PLAN WITH MECHANICAL & ELECTRICAL DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
- CENTER VANITY LIGHT FIXTURE TO THE COUNTER U.N.O. (UNLESS NOTED OTHERWISE).
- FIXTURE LOCATION SHALL BE AT THE CENTER OF THE SPACE UNLESS OTHERWISE INDICATED.
- DROP CEILING ABOVE KITCHEN CABINETS TO MAINTAIN THE HEIGHT RELATIVE TO THE CEILING PLAN AND INTERIOR ELEVATIONS.
- FOR FIXTURE TYPE & SPECIFICATIONS, SEE MECHANICAL, ELECTRICAL, & FIRE PROTECTION DRAWINGS.
- REFER TO FLOOR PLANS FOR ROOM NAMES & ROOM NUMBERS.
- CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS & CALCULATIONS, SIGNED & SEALED BY A FLORIDA-REGISTERED ENGINEER, INDICATING COMPLIANCE WITH THE 8TH EDITION (2024) FLORIDA BUILDING CODE (FBC) AND SOUTH FLORIDA BUILDING CODE (SFBG) FOR SOFFIT & EXTERIOR CEILING STRUCTURAL DESIGN. THIS SHALL INCLUDE ATTACHMENT METHODS, FRAMING, SUBFRAMING (SUCH AS FOR LIGHT FIXTURES), DECKING, AND OTHER MISCELLANEOUS COMPONENTS AS REQUIRED.

RCP LEGEND



LEGEND	LEGEND
⊕	J-BOX
⊕	SCONCE
⊕	DOWN LIGHT
⊕	TRACK LIGHT
⊕	COVE LIGHT
⊕	EXHAUST FAN
⊕	STEP LIGHT

CEILING NOTES

- REFER TO ELECTRICAL ENGINEERS' PLANS FOR LIGHTING, FIXTURE SCHEDULE, AND ADDITIONAL INFORMATION.
- REFER TO MECHANICAL ENGINEERS' PLANS FOR SUPPLY AND RETURN DIFFUSER LOCATIONS AND ADDITIONAL INFORMATION.
- TEST BUTTONS FOR ALL EMERGENCY LIGHT FIXTURES SHALL BE INTEGRAL TO THE FIXTURE.
- VERIFY CEILING HEIGHTS VS. NEW HVAC DUCTWORK. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE INSTALLATION.

SPECIAL NOTES

- CONTRACTOR SHALL PREPARE A PANEL SCHEDULE AND INDICATE LIGHTING AND POWER CIRCUIT LABELS/NUMBERS ON THE FLOOR PLAN WITH THE AS-BUILT DRAWINGS PRIOR TO FINAL INSPECTION.
- CONTRACTOR SHALL COMPLY WITH FBC (C408.2.5.1) AND PROVIDE THE OWNER WITH A RECORD SET OF COMPLETE INSTALLATION DRAWINGS.
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- 120-VOLT CARBON MONOXIDE ALARMS SHALL BE PLACED WITHIN 10 FEET OF ALL SLEEPING AREAS AND MUST HAVE BATTERY BACKUP, IN COMPLIANCE WITH THE LATEST FBC SAFETY REQUIREMENTS.
- ALL LIGHT FIXTURES IN WET AREAS REQUIRE PROPER WATERPROOFING BY OTHERS AND MUST COMPLY WITH UPDATED ELECTRICAL SAFETY REGULATIONS.
- PROVIDE SHALLOW LIGHTS UNDER AREAS OF DUCTWORK. SELECTION BY OWNER/ID. NOTIFY ARCHITECT OF ANY DISCREPANCY AND COORDINATE WITH MECHANICAL DRAWINGS TO ENSURE COMPLIANCE WITH CURRENT CODE REQUIREMENTS.

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SECOND FLOOR
REFLECTED CEILING
PLAN

A-202

DRAWN BY: B.C.

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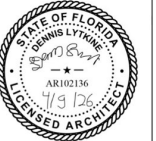
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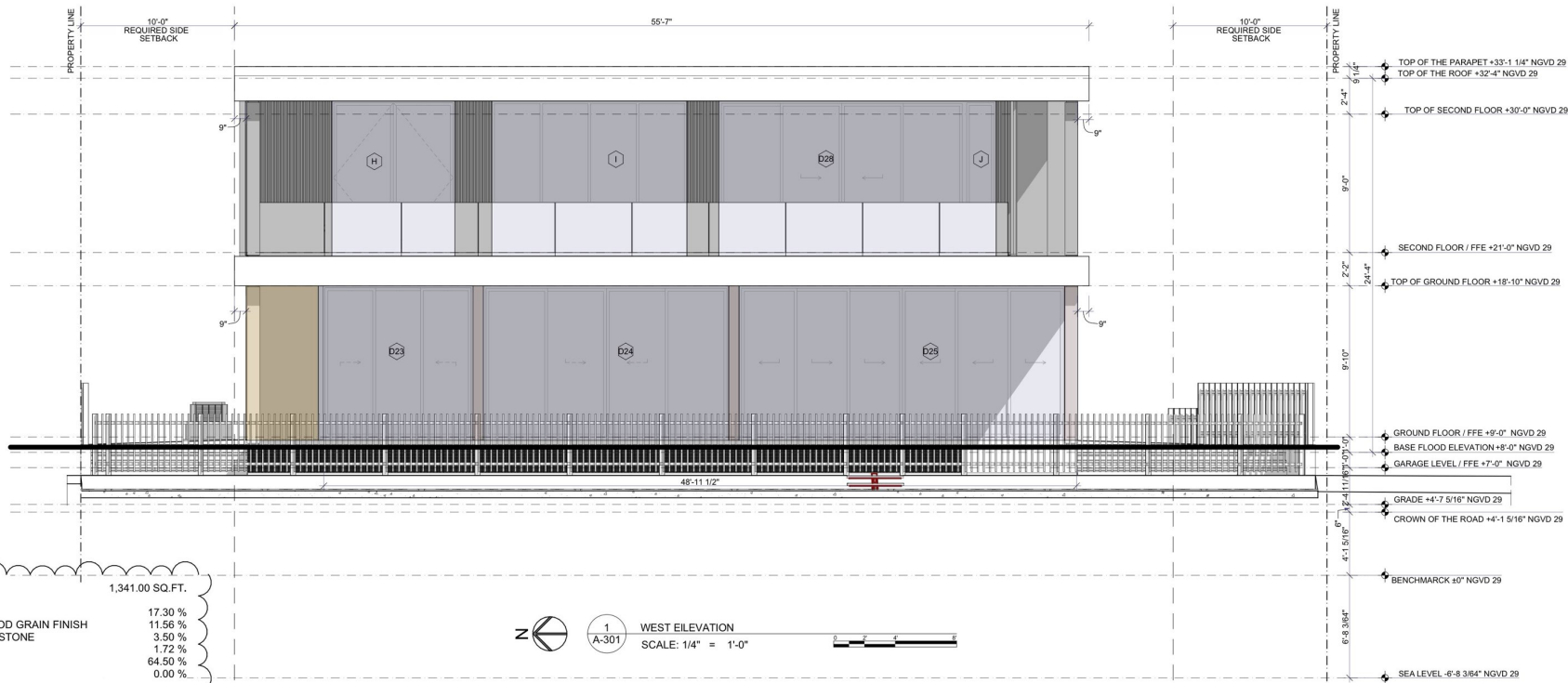
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WEST ELEVATION

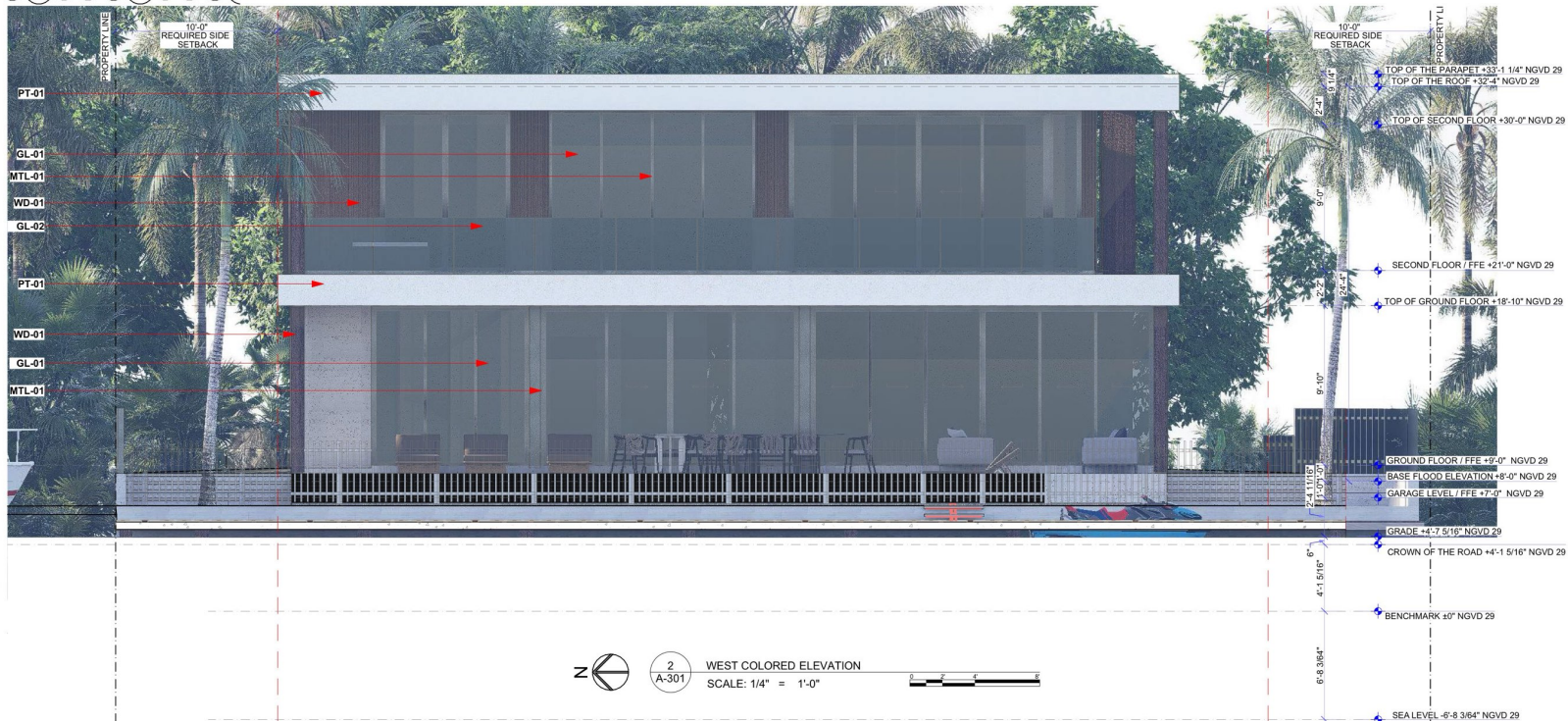
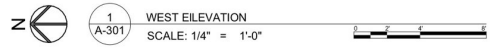
A-301

DRAWN BY: B.C.



ALL FACADE AREA 1,341.00 SQ. FT.

01 PT-01 WHITE STUCCO	17.30 %
02 WD-01 - ALUMINIUM WALNUT WOOD GRAIN FINISH	11.56 %
03 STN-01 NATURAL HONED CORAL STONE	3.50 %
04 MTL-01 BRONZE ALUMINIUM	1.72 %
05 GL-01 GREY IMPACT GLASS	64.50 %
06 GL-02 CLEAR IMPACT GLASS	0.00 %



NOTES:

THREE-COAT PORTLAND CEMENT PLASTER;
APPLY IN ACCORDANCE WITH ASTM C928-24,
AND ALSO EXTERIOR STUCCO SYSTEM: LATH
AND ACCESSORIES PER ASTM C1063-24

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BELLE COAST GROUP, Inc.
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PROJECT:
9730 W Broadway Dr
BAY HARBOR
ISLANDS, FL 33154

FOLIO NUMBER: 13-2227-001-4470

DATE: 4/9/2026

REVISION

DATE:
DRAFTED BY:
SCALE:

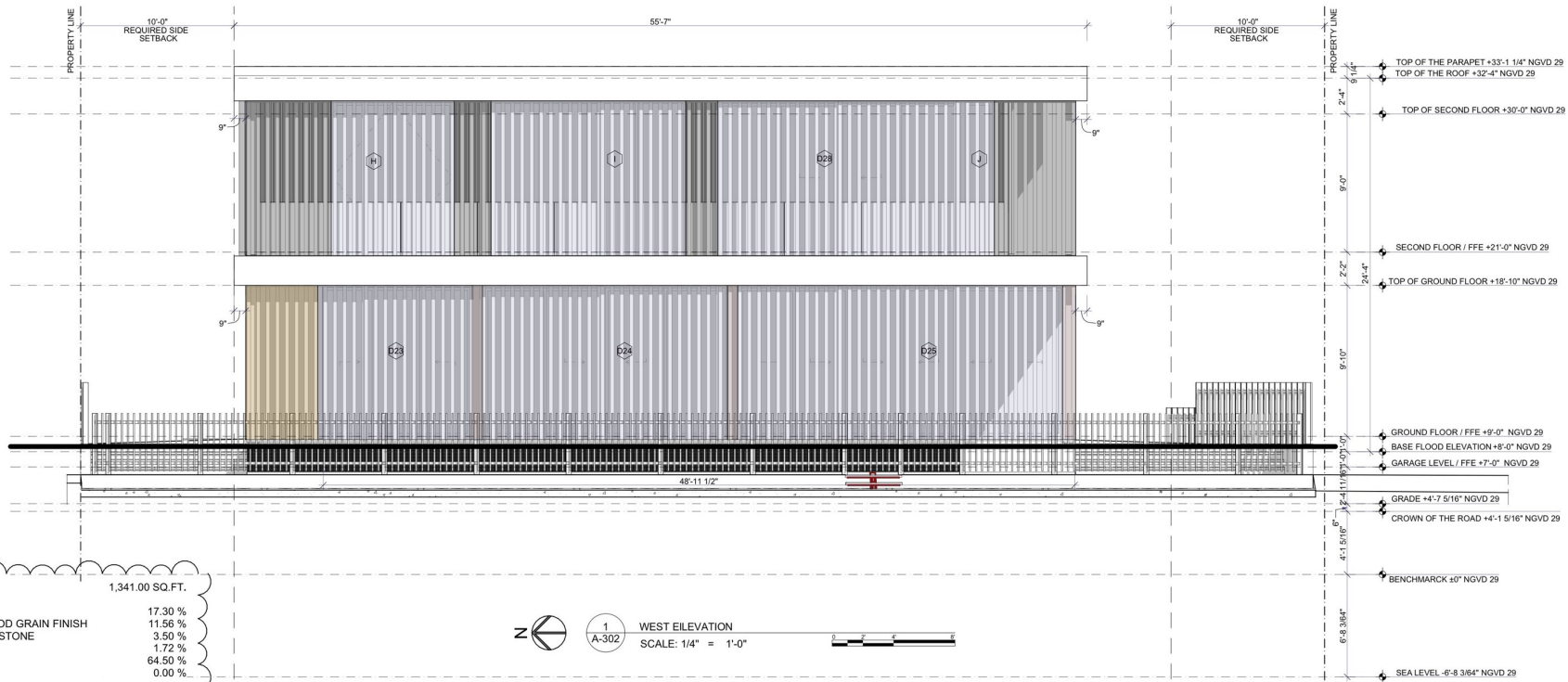
ARCHITECT OF RECORD



WEST ELEVATION

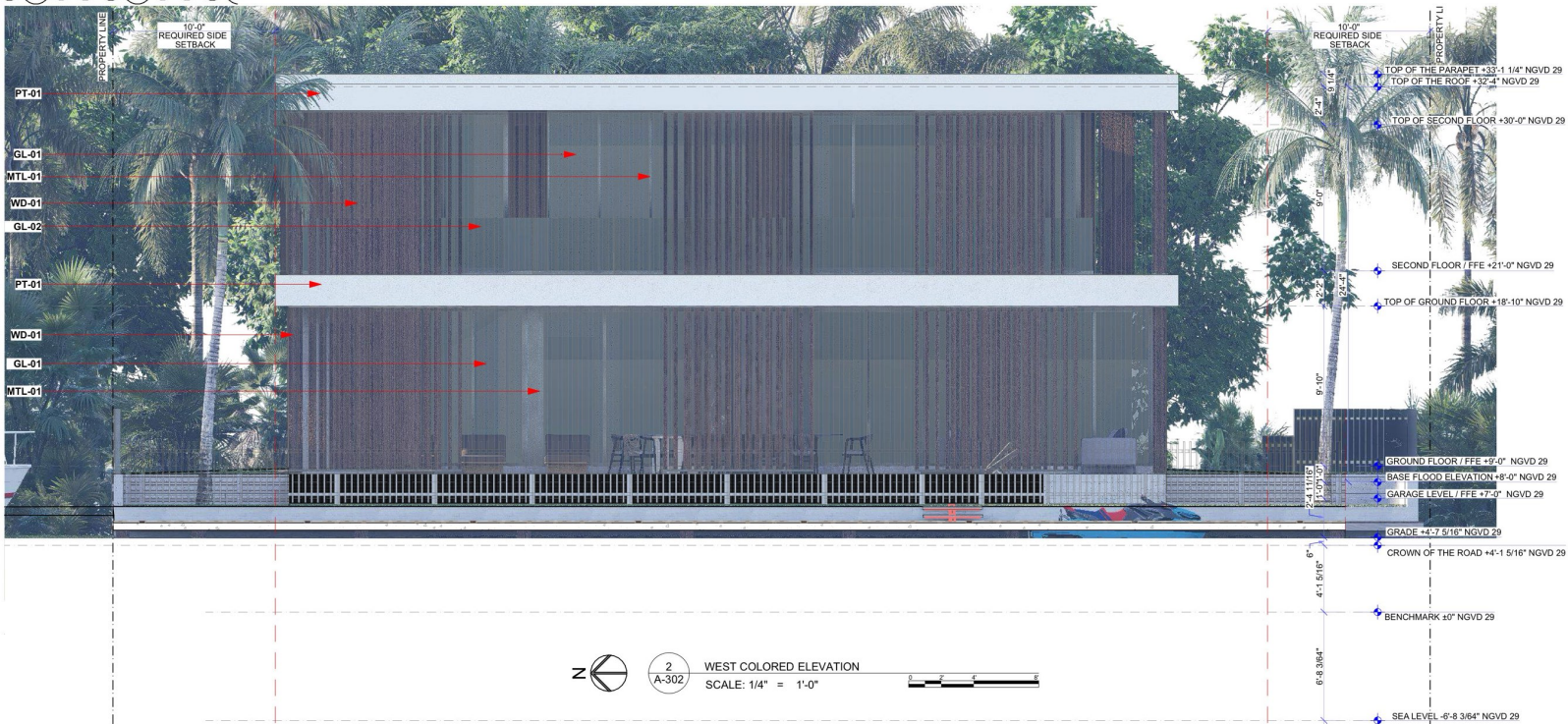
A-302

DRAWN BY: B.C.



ALL FACADE AREA 1,341.00 SQ. FT.

01 PT-01 WHITE STUCCO	17.30 %
02 WD-01 - ALUMINIUM WALNUT WOOD GRAIN FINISH	11.56 %
03 STN-01 NATURAL HONED CORAL STONE	3.50 %
04 MTL-01 BRONZE ALUMINIUM	1.72 %
05 GL-01 GREY IMPACT GLASS	64.50 %
06 GL-02 CLEAR IMPACT GLASS	0.00 %



NOTES:
THREE-COAT PORTLAND CEMENT PLASTER;
APPLY IN ACCORDANCE WITH ASTM C928-24,
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AND ACCESSORIES PER ASTM C1063-24

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PROJECT:
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BAY HARBOR
ISLANDS, FL 33154

FOLIO NUMBER: 13-2227-001-4470

DATE: 4/9/2026

REVISION

DATE:
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SCALE:

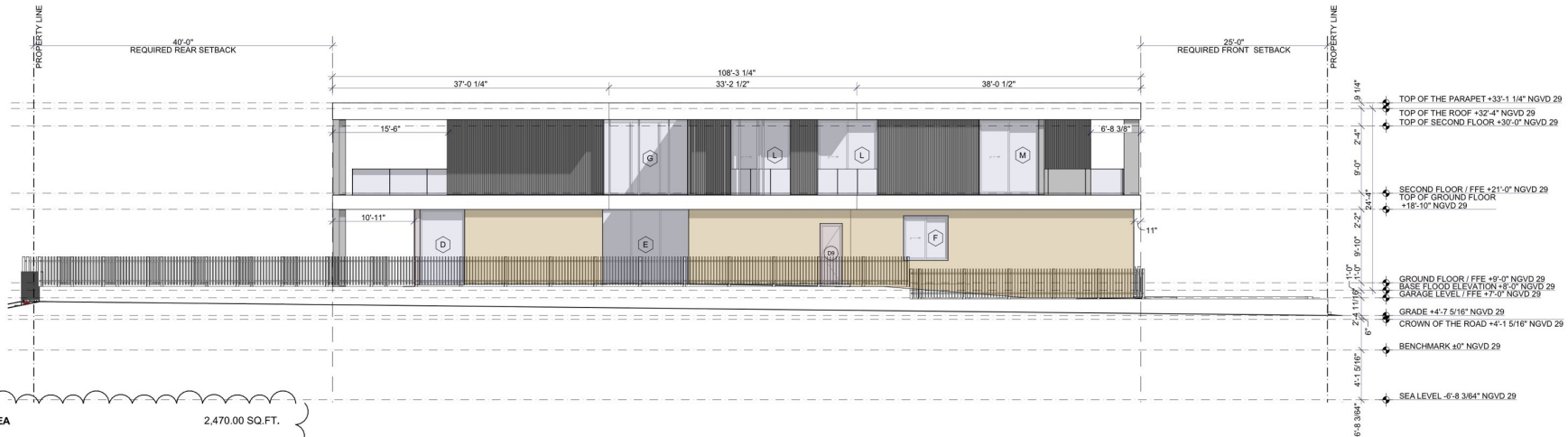
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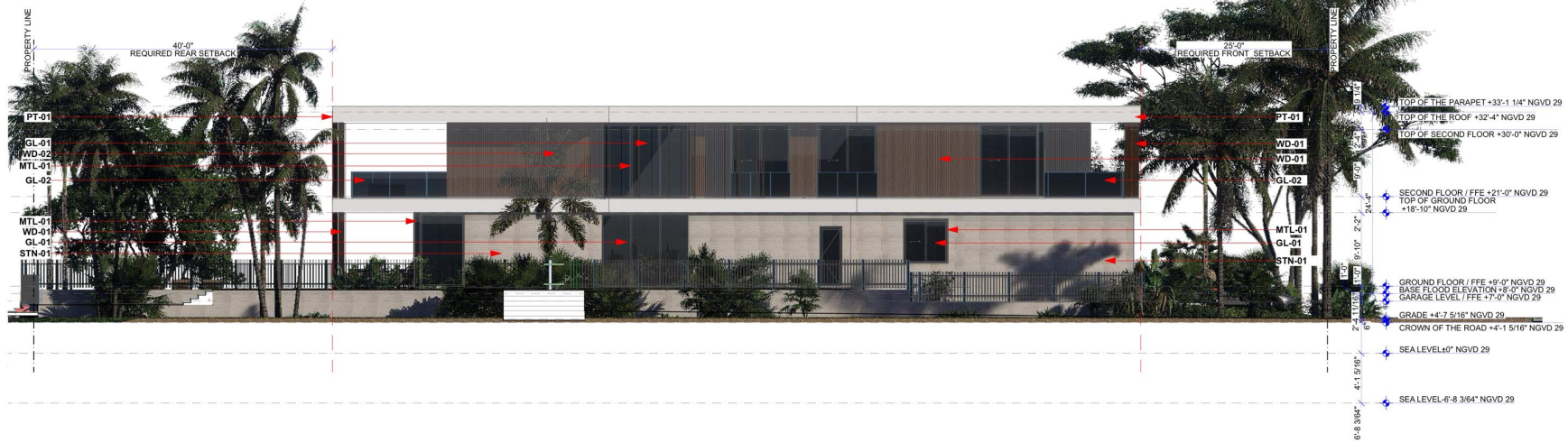
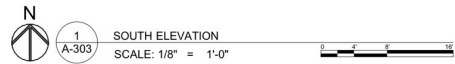
SOUTH ELEVATION

A-303

DRAWN BY: B.C.



ALL FASADE AREA		2,470.00 SQ.FT.
01 PT-01	WHITE STUCCO	18.30 %
02 WD-01	- ALUMINIUM WALNUT WOOD GRAIN FINISH	23.04 %
03 STN-01	NATURAL HONED CORAL STONE	31.17 %
04 MTL-01	BRONZE ALUMINIUM	0.28 %
05 GL-01	GREY IMPACT GLASS	23.00 %
06 GL-02	CLEAR IMPACT GLASS	2.43 %



NOTES:
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9730 W Broadway Dr
BAY HARBOR
ISLANDS, FL 33154

FOLIO NUMBER: 13-2227-001-4470

DATE: 4/9/2026

REVISION

DATE:

DRAFTED BY:

SCALE:

ARCHITECT OF RECORD



NORTH ELEVATION

A-304

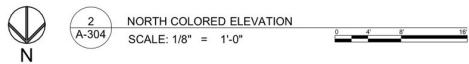
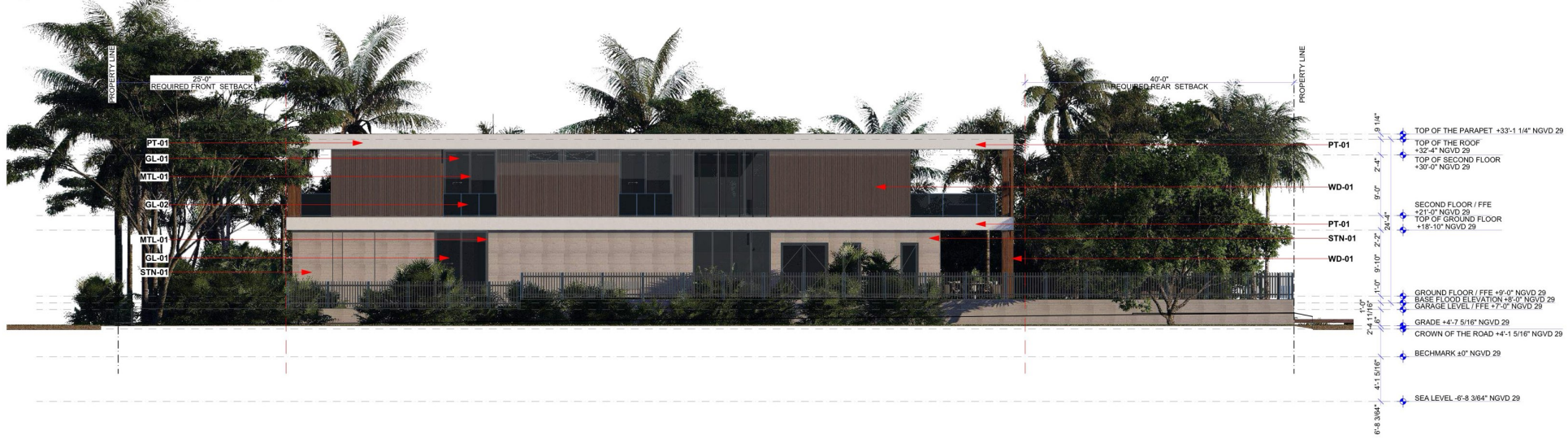
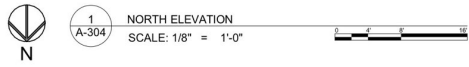
DRAWN BY:

B.C.



ALL FASADE AREA 2,445.00 SQ. FT.

01 PT-01 WHITE STUCCO	18.49 %
02 WD-01 - ALUMINIUM WALNUT WOOD GRAIN FINISH	25.73 %
03 STN-01 NATURAL HONED CORAL STONE	31.90 %
04 MTL-01 BRONZE ALUMINIUM	1.80 %
05 GL-01 GREY IMPACT GLASS	20.04 %
06 GL-02 CLEAR IMPACT GLASS	2.45 %



NOTES:

THREE-COAT PORTLAND CEMENT PLASTER;
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AND ALSO "EXTERIOR STUCCO SYSTEM: LATH
AND ACCESSORIES PER ASTM C1063-24

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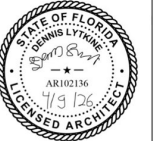
FOLIO NUMBER: 13-2227-001-4470

DATE: 4/9/2026

REVISION

DATE:
DRAFTED BY:
SCALE:

ARCHITECT OF RECORD



EAST ELEVATION

A-305

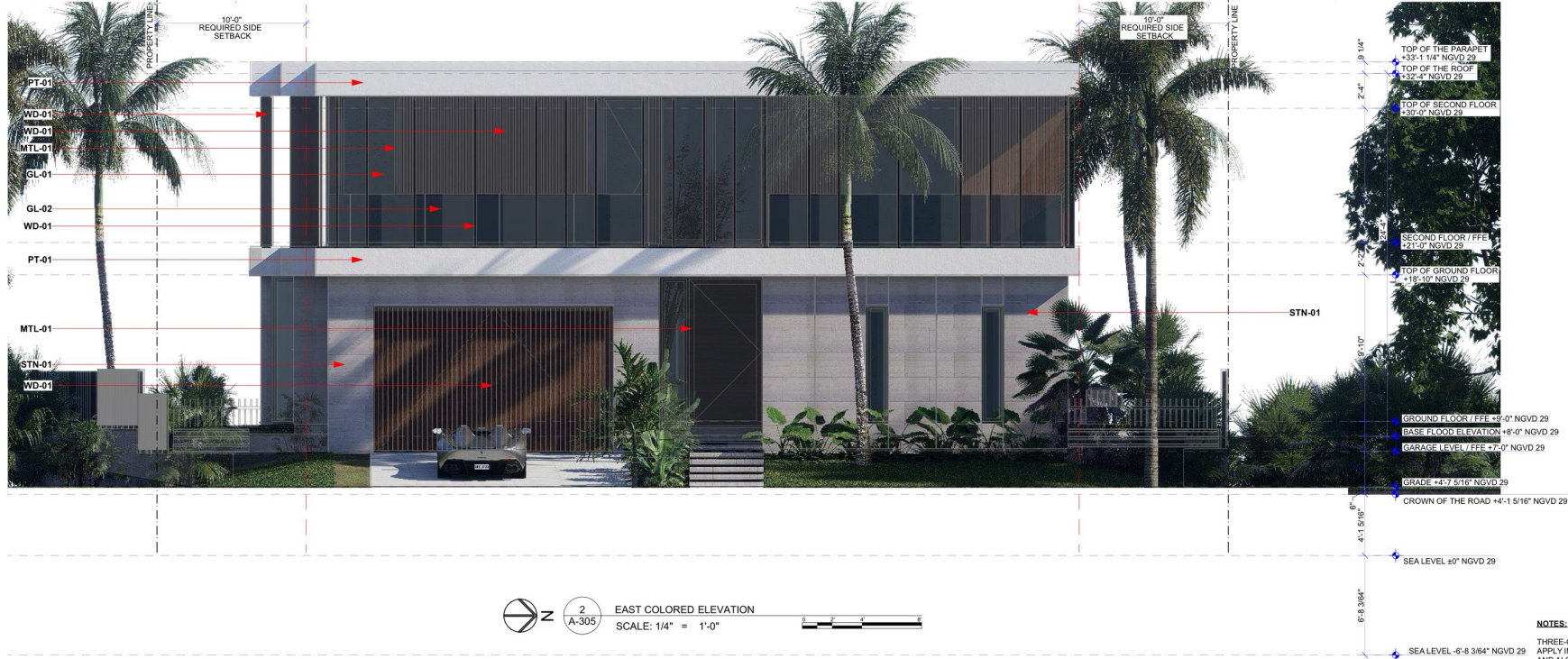
DRAWN BY: B.C.



ALL FASADE AREA 1,393.00 SQ.FT.

01 PT-01 WHITE STUCCO	16.65 %
02 WD-01 - ALUMINIUM WALNUT WOOD GRAIN FINISH	21.75 %
03 STN-01 NATURAL HONED CORAL STONE	25.20 %
04 MTL-01 BRONZE ALUMINIUM	15.00 %
05 GL-01 GREY IMPACT GLASS	21.11 %
06 GL-02 CLEAR IMPACT GLASS	0.00 %

1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST COLORED ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
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AND ACCESSORIES PER ASTM C1063-24



BELLE COAST

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(786) 218-3972

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ISLANDS, FL 33154

FOLIO NUMBER: 13-2227-001-4470

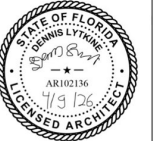
DATE: 4/9/2026

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NO.	DATE	DESCRIPTION

DATE:
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SCALE:

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RENDERINGS

A-501

DRAWN BY: B.C.



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ISLANDS, FL 33154

FOLIO NUMBER: 13-2227-001-4470

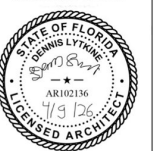
DATE: 4/9/2026

REVISION

NO.	DESCRIPTION

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RENDERINGS



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ISLANDS, FL 33154

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SCALE:

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RENDERINGS

A-503

DRAWN BY: B.C.

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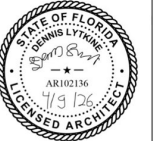
FOLIO NUMBER: 13-2227-001-4470

DATE: 4/9/2026

REVISION

DATE:
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SCALE:

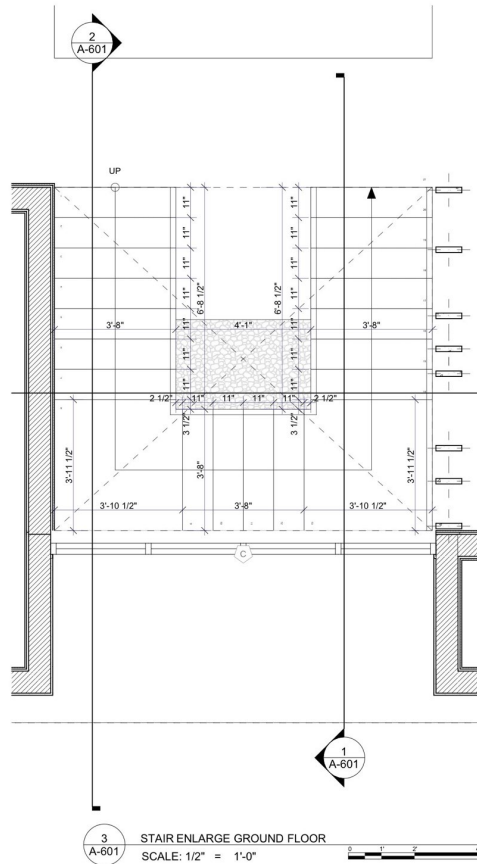
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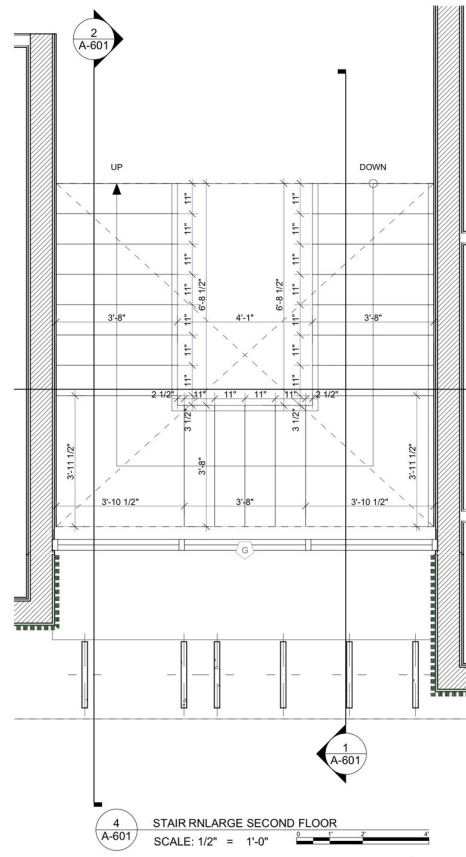
MAIN STAIR

A-601

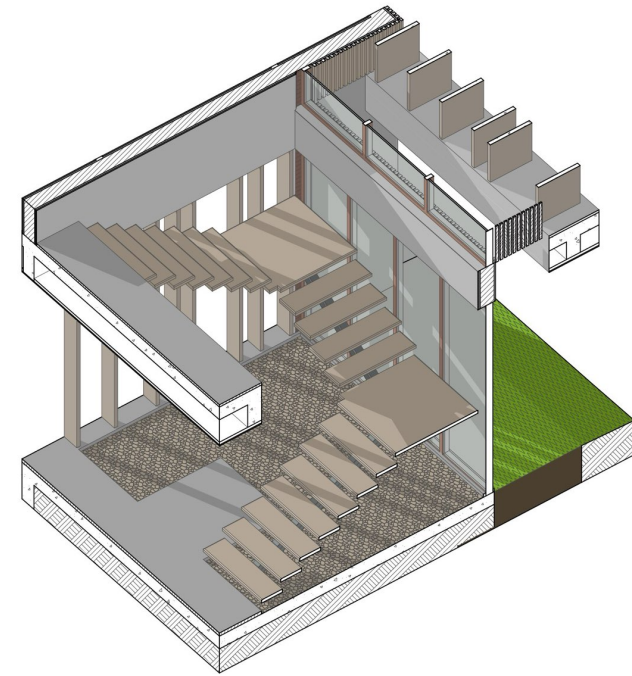
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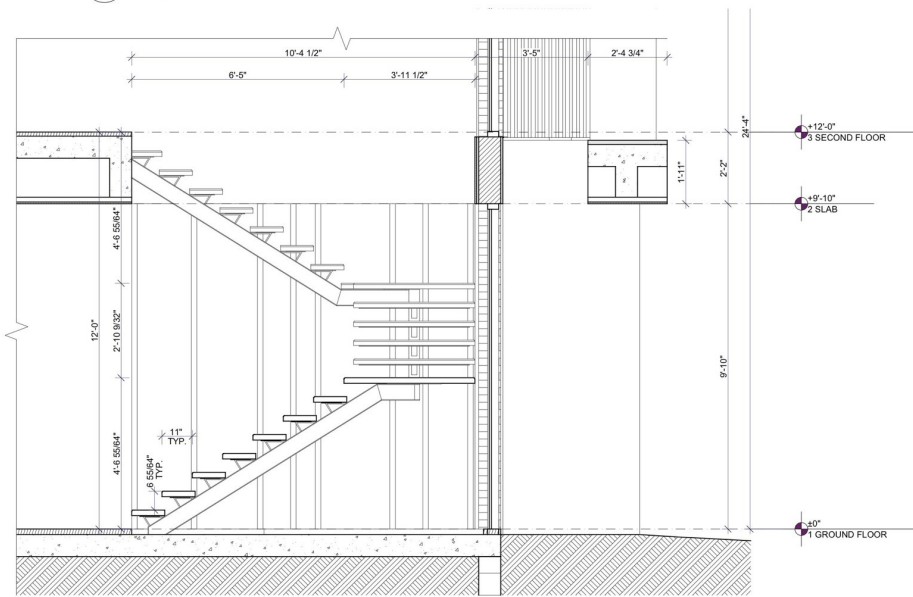
3 STAIR ENLARGE GROUND FLOOR
SCALE: 1/2" = 1'-0"



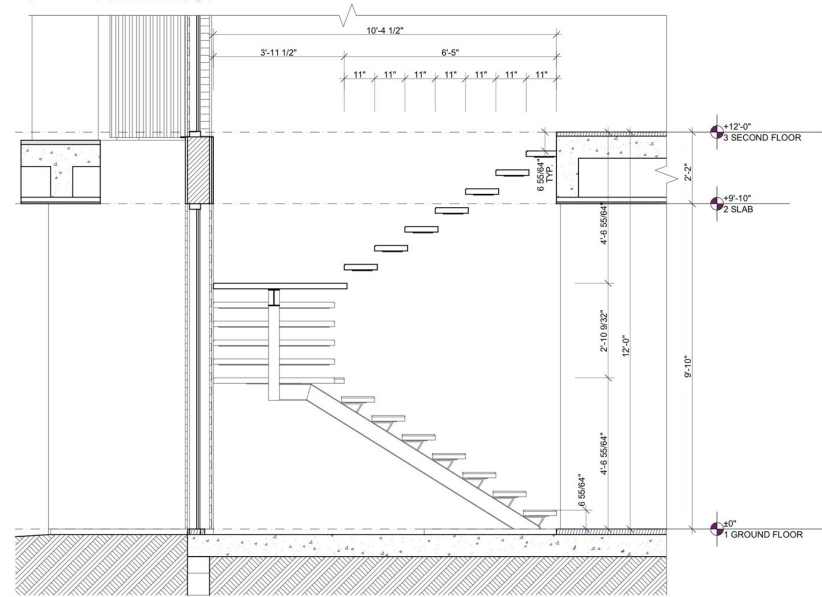
4 STAIR ENLARGE SECOND FLOOR
SCALE: 1/2" = 1'-0"



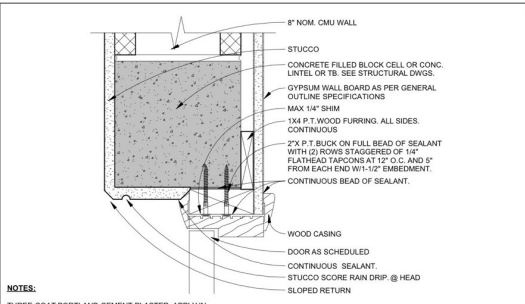
5 MAIN STAIR 3D VIEW
SCALE: 3/8" = 1'-0"



2 BUILDING SECTION E
SCALE: 1/2" = 1'-0"

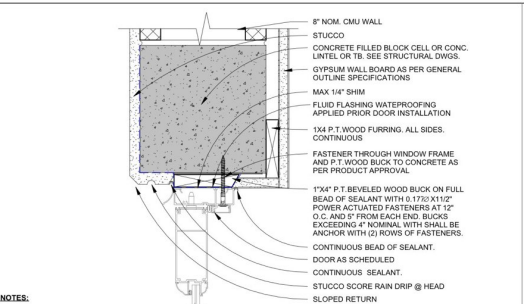


1 BUILDING SECTION D
SCALE: 1/2" = 1'-0"



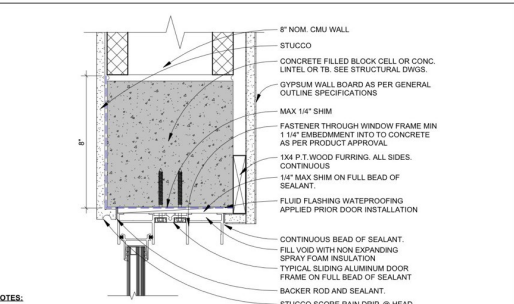
NOTES:
THREE-COAT PORTLAND CEMENT PLASTER APPLY IN ACCORDANCE WITH ASTM C926-24 AND ALSO EXTERIOR STUCCO SYSTEM LATH AND ACCESSORIES PER ASTM C1063-24

DOOR HEAD - WOOD	15
	N.T.S.



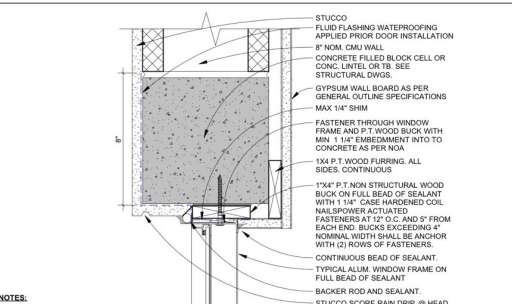
NOTES:
THREE-COAT PORTLAND CEMENT PLASTER APPLY IN ACCORDANCE WITH ASTM C926-24 AND ALSO EXTERIOR STUCCO SYSTEM LATH AND ACCESSORIES PER ASTM C1063-24

ALUMINUM FRAME DOOR HEAD/JAMB	11
	N.T.S.



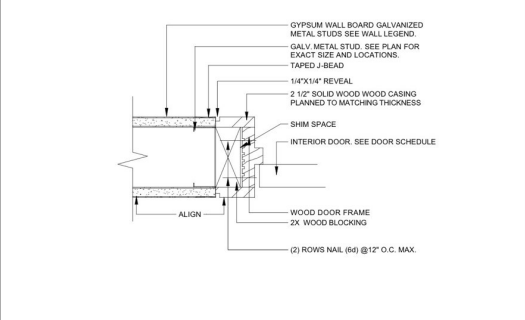
NOTES:
THREE-COAT PORTLAND CEMENT PLASTER APPLY IN ACCORDANCE WITH ASTM C926-24 AND ALSO EXTERIOR STUCCO SYSTEM LATH AND ACCESSORIES PER ASTM C1063-24

SLIDING DOOR JAMB-HEAD	7
	N.T.S.

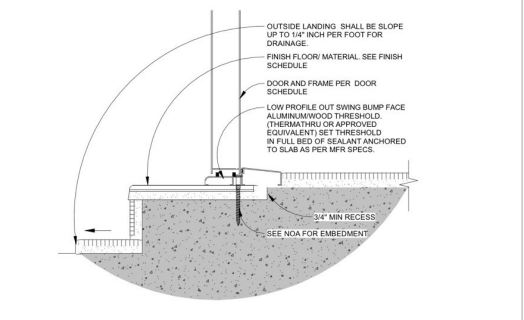


NOTES:
THREE-COAT PORTLAND CEMENT PLASTER APPLY IN ACCORDANCE WITH ASTM C926-24 AND ALSO EXTERIOR STUCCO SYSTEM LATH AND ACCESSORIES PER ASTM C1063-24

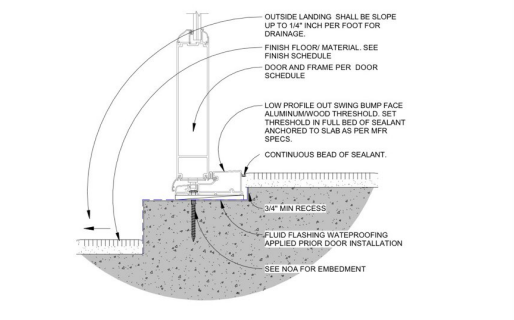
WINDOW JAMB-HEAD	3
	N.T.S.



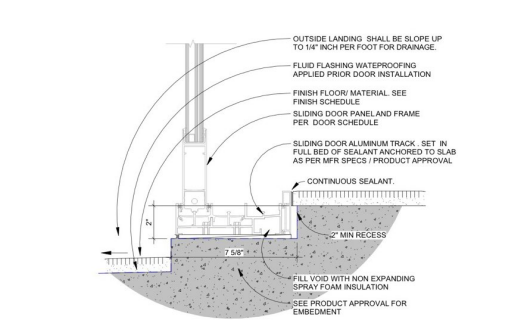
INTERIOR DOOR HEAD JAMB DETAIL	14
	N.T.S.



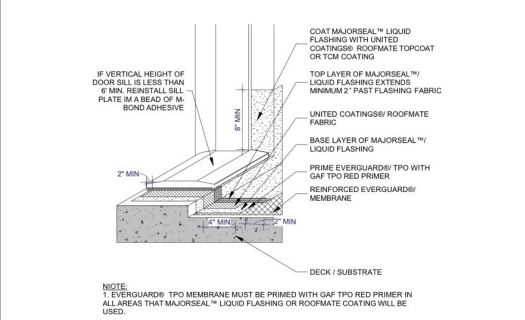
DOOR SILL - EXT. SOLID DOOR	10
	N.T.S.



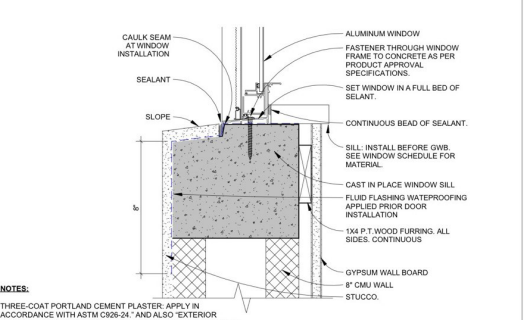
DOOR SILL - ALUMINUM FRAME	6
	N.T.S.



SLIDING DOOR SILL	2
	N.T.S.

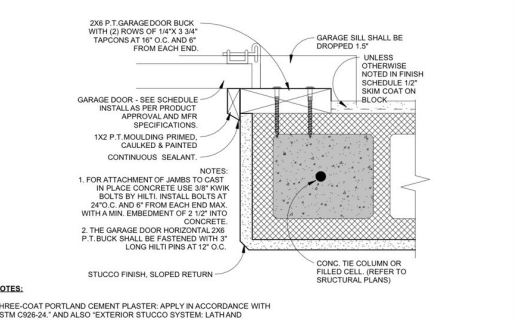


LOW DOOR SILL FLASHING	13
	N.T.S.



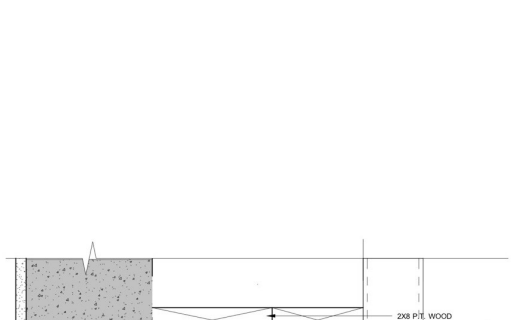
NOTES:
THREE-COAT PORTLAND CEMENT PLASTER APPLY IN ACCORDANCE WITH ASTM C926-24 AND ALSO EXTERIOR STUCCO SYSTEM LATH AND ACCESSORIES PER ASTM C1063-24

WINDOW SILL	9
	N.T.S.



NOTES:
THREE-COAT PORTLAND CEMENT PLASTER APPLY IN ACCORDANCE WITH ASTM C926-24 AND ALSO EXTERIOR STUCCO SYSTEM LATH AND ACCESSORIES PER ASTM C1063-24

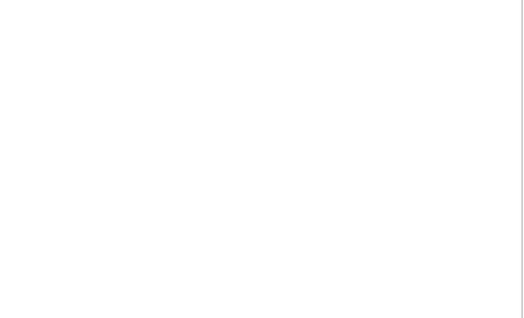
GARAGE DOOR JAMB	5
	N.T.S.



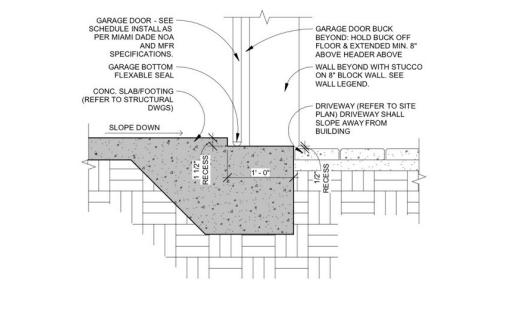
ROLLER SHADE POCKET	1
	N.T.S.



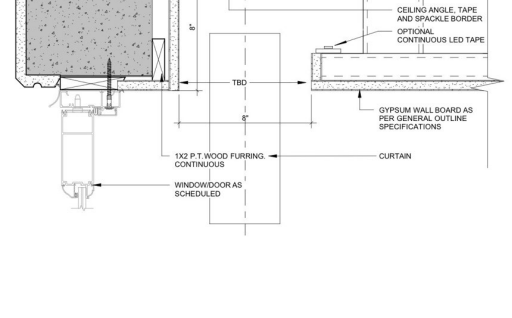
FENCE DETAIL	12
	1/2" = 1'-0"



FENCE DETAIL	8
	3/4" = 1'-0"



GARAGE DOOR SILL	4
	N.T.S.



ROLLER SHADE POCKET	1
	N.T.S.

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FOLIO NUMBER: 13-2227-001-4470

DATE: 4/9/2026

REVISION

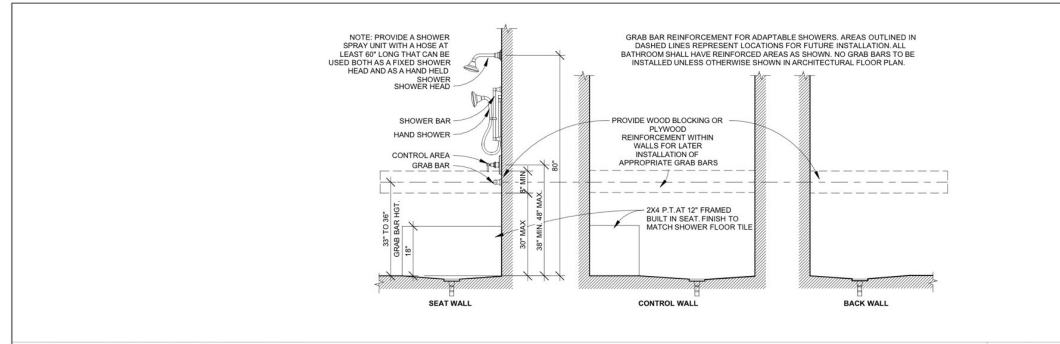
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DRAFTED BY: _____
SCALE: _____

ARCHITECT OF RECORD

DETAILS

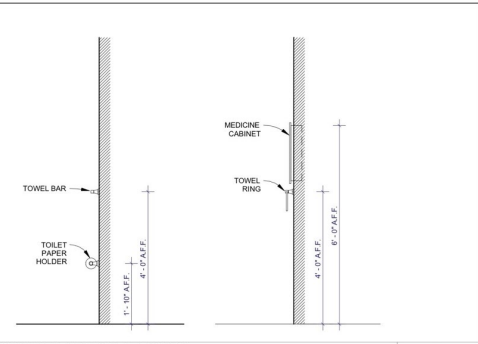
A-603

DRAWN BY: _____ B.C.



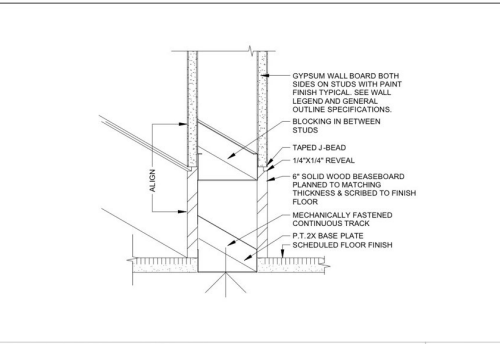
REINFORCED AREAS AT SHOWERS

11	N.T.S.
----	--------



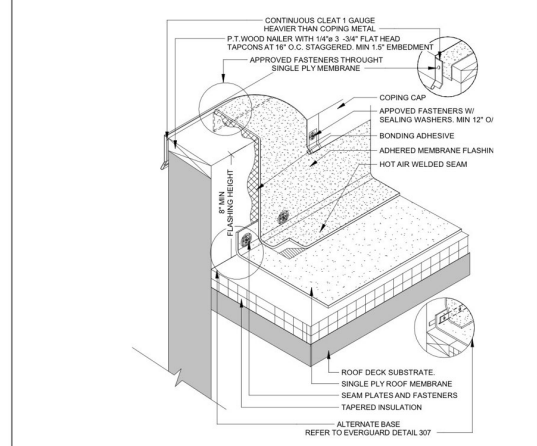
BATH ACCESSORIES DETAIL

8	N.T.S.
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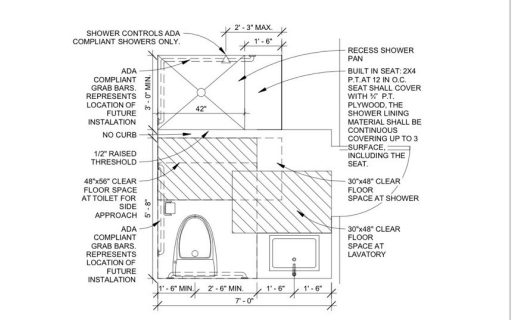
FLUSH BASEBOARD DETAIL

4	N.T.S.
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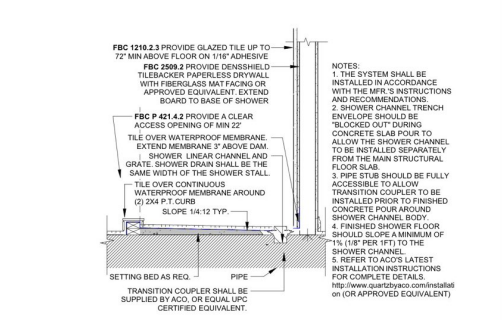
SINGLE PLY WALL CAP

13	N.T.S.
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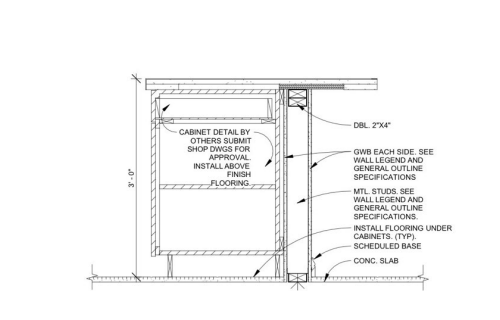
ADAPTABLE BATHROOMS CLEARANCES

10	N.T.S.
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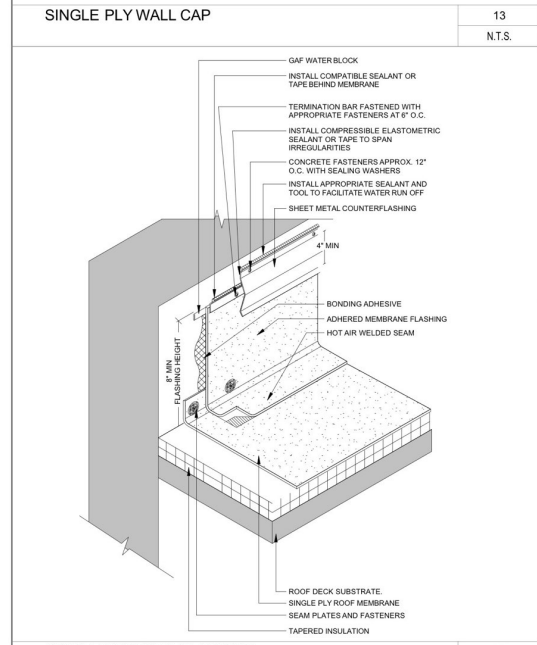
SHOWER DETAIL - LINEAR DRAIN

7	N.T.S.
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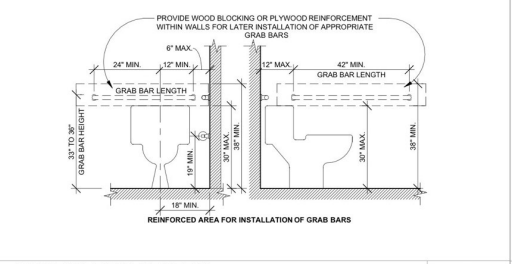
CABINET SECTION ISLAND

3	N.T.S.
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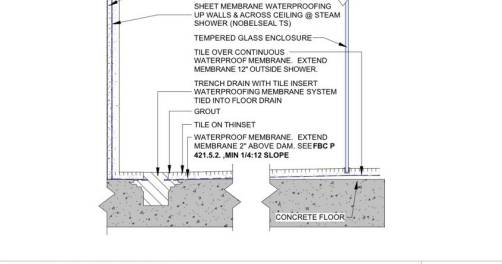
SINGLE PLY WALL FLASHING

12	N.T.S.
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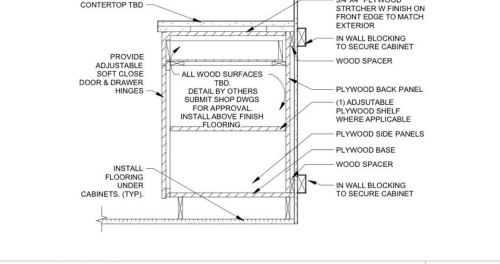
ADAPTABLE TOILET DETAIL

9	N.T.S.
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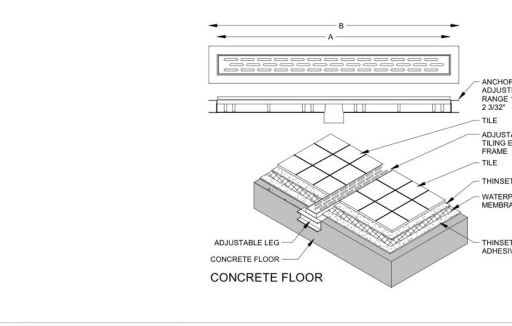
LINEAR DRAIN FLUSH

6	N.T.S.
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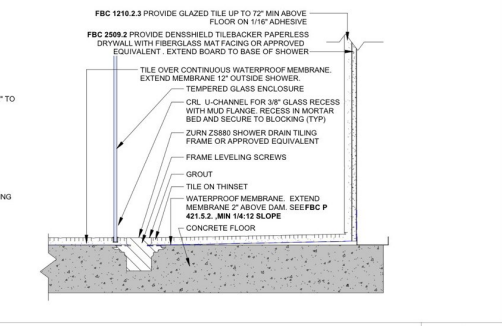
CABINET SECTION

2	N.T.S.
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LINEAR DRAIN FLUSH

5	N.T.S.
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CABINET SECTION

1	N.T.S.
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NO.	FROM ROOM NUMBER	ROOM			DOOR SCHEDULE				JAMB	HARDWARE
		FROM ROOM	TO ROOM	TO ROOM NUMBER	TYPE	WIDTH	HEIGHT	MATERIAL		
GROUND FLOOR										
D1	02	FOYER	FOYER	02	SWING	7'-0"	10'-0"	WOOD LACQUER		PRIVACY LOCK
D2	012	2 CARS GARAGE	2 CARS GARAGE	012	SWING	16'-0"	9'-10 1/4"	WOOD		PRIVACY LOCK
D3	012	2 CARS GARAGE	-	-	SWING	3'-0"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D4	015	HALL	LAUNDRY	013	SWING	3'-0"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D5	014	AV	HALL	015	SWING	3'-0"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D6	015	HALL	MAID'S ROOM	016	SWING	3'-0"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D7	016	MAID'S ROOM	MAID'S BATH	017	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D8	020	KITCHEN	PANTRY	019	SWING	3'-0"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D9	019	PANTRY	-	-	SWING	3'-0"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D10	020	KITCHEN	-	-	SWING	4'-1 1/4"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D11	02	FOYER	HOME THEATER	011	SWING	6'-0"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D12	03	HALL	POWDER ROOM	09	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D13	03	HALL	OFFICE	08	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D14	010	COLLECTION	OFFICE	08	SWING	8'-9 3/4"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D15	08	OFFICE	BATHROOM	07	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D16	05	A/C	HALL	03	SWING	6'-0"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D17	03	HALL	GYM	04	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D18	06	SAUNA	GYM	04	SWING	5'-4 7/8"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D19	04	GYM	BATHROOM	07	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D20	027	WC	BAR	024	SWING	2'-8"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D21	025	TECH. CL.	-	-	SWING	7'-0"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D22	025	STORAGE	-	-	SWING	2'-8"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D22	027	WC	-	-	SWING	2'-8"	8'-0"	WOOD LACQUER		PRIVACY LOCK
SD1					SLIDING	23'-0 45/64"	10'-2 1/4"	SC WOOD		PRIVACY LOCK
SD2					SLIDING	15'-5 29/64"	10'-2 1/4"	SC WOOD		PRIVACY LOCK
SD3					SLIDING	15'-5 29/64"	10'-2 1/4"	SC WOOD		PRIVACY LOCK
SECOND FLOOR										
D29	021	MASTER BEDROOM	MASTER BEDROOM	021	PIVOT	4'-0"	10'-10"	WOOD		PRIVACY LOCK
D30	025	WC	MASTER BATH	024	SWING	2'-6"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D31	026	WC	MASTER BATH	024	SWING	2'-6"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D32	01	HALL	BEDROOM 6	018	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D33	018	BEDROOM 6	CLOSET	020	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D34	018	BEDROOM 6	BATH 6	019	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D35	01	HALL	BEDROOM 5	015	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D36	015	BEDROOM 5	CLOSET	017	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D37	015	BEDROOM 5	BATH 5	016	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D38	01	HALL	BEDROOM 4	012	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D39	012	BEDROOM 4	BATH 4	013	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D40	012	BEDROOM 4	CLOSET	014	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D41	01	HALL	-	-	SWING	4'-1 3/8"	10'-0"	WOOD LACQUER		PRIVACY LOCK
D42	01	HALL	BEDROOM 1	02	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D43	02	BEDROOM 1	CLOSET	04	SWING	3'-0"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D44	04	CLOSET	BATH 1	03	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D45	05	A/C	HALL	01	SWING	6'-0"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D46	01	HALL	BEDROOM 2	06	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D47	08	CLOSET	BATH 3	07	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D48	01	TERRACE	BEDROOM 3	09	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
D49	011	TERRACE	BATH 2	010	SWING	2'-10"	8'-0"	WOOD LACQUER		PRIVACY LOCK
SD4	-	TERRACE	-	-	SLIDING	23'-0 45/64"	10'-2 1/4"	SC WOOD		PRIVACY LOCK
SD5	-	TERRACE	-	-	SLIDING	15'-5 29/64"	10'-2 1/4"	SC WOOD		PRIVACY LOCK
SD6	-	TERRACE	-	-	SLIDING	15'-5 29/64"	10'-2 1/4"	SC WOOD		PRIVACY LOCK

BURGLAR INTRUSION WINDOWS AND BURGLAR INTRUSION HARDWARE:

- LOCKS ON EXTERIOR DOOR SHALL BE CAPABLE OF RESISTING A FORCE OF 500 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN THE F.B.C.
- ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OF LOCKING COMBINATIONS. IF KEY IN THE KNOB LOCK IS USED, THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT OR INSERTS.
- THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIRS OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MINIMUM THROW BOLTS WITH INSERTS.
- HINGES ON EXTERIOR OUT SWING DOORS SHALL HAVE NON-EXPOSED SCREWS. EXPOSED PINE SHALL NOT BE REMOVABLE.
- SINGLE SWINGING, EXTERIOR DOORS SHALL BE SOLID CORE OF NOT LESS THAN 1 3/8" THICK.
- GLASS IN EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE 297.1
- VISION PANELS IN EXTERIOR DOORS, OTHER THAN GLAZING WITH 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOCKS AND SWINGING GLASS DOOR SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE - STANDARD 297.1 ON FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A SCOPE OR VISION PANELS.

DOOR NOTE:

ALL EXTERIOR DOORS SHALL MEET MIAMI-DADE PRODUCT APPROVAL STANDARDS. CONTRACTOR SHALL SUBMIT SUPPORTING LITERATURE TO THE BUILDING DEPT. FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION.

NOTE:

ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH F.B.C. SECTION 2410 THROUGH 2415. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING ALL NECESSARY PRODUCT APPROVALS AND REQUIRED SHOP DRAWINGS TO THE BUILDING DEPARTMENT.

CONTRACTOR NOTE:

CONTRACTOR TO COORDINATE ALL EXTERIOR WINDOW AND DOOR SIZES WITH FIXTURES, EQUIPMENT, AND ALL INTERIOR FINISHES (INCLUDING FINISHED DRYWALL @ CORNERS, WALLS WITH SWITCHES) PRIOR TO ORDERING WINDOWS AND DOORS.

ROUGH OPENING NOTE:

CONTRACTOR SHALL VERIFY WINDOW AND DOOR MANUFACTURER THE ROUGH OPENING DIMENSIONS AND STEEL COLUMN LOCATIONS PRIOR TO ORDERING, MANUFACTURING OR INSTALLING DOORS AND WINDOWS.

GLAZING NOTE:

ALL GLAZING AT DOORS AND WINDOWS TO BE CLEAR IMPACT RESISTANT WITH:
GLAZING #1:
A U-VALUE OF 0.98 AND SHGC OF 0.41

PERMIT NOTE:

WINDOWS & DOORS ARE NOT PART OF THIS PERMIT

WINDOWS & DOORS MANUFACTURE NOTE:

WINDOWS & DOORS UNDER SEPARATE PERMIT. MANUFACTURER SHALL VERIFY DIMENSIONS AND ROUGH OPENINGS, AS WELL AS THE STEEL COLUMNS AND BEAMS LOCATIONS ON FIELD PRIOR TO ORDERING OR INSTALLING DOORS & WINDOWS.

NOTE:
ALL DOORS DIMENSIONS SHOWN ARE ROUGH OPENING SIZES IN THE WALL, NOT FINISHED WINDOW UNIT DIMENSIONS, UNLESS OTHERWISE SPECIFIED. REFER TO DOORS SCHEDULE AND MANUFACTURER'S SPECIFICATIONS FOR FINAL SIZING, AND INSTALLATION DETAILS.

DOOR SCHEDULE NOTES

- EXTERIOR DOORS MANUFACTURERS:
- ALL EXTERIOR DOORS, SIDELITES, FRAMES AND TRANSOMS TO BE IMPACT RATED AS MANUFACTURED BY "ESW" ALL GLAZING TO BE IMPACT RATED CLEAR, INSULATED LAMINATED GLAZING. PROVIDE SHOP DRAWINGS AND FULL SCALE SAMPLES FOR ARCHITECT AND OWNER FOR APPROVAL PRIOR TO FABRICATION.
- COORDINATE THE SCHEDULED DIMENSIONS WITH THE STANDARDS SET BY THE WINDOW AND DOOR MANUFACTURER. NOTIFY ARCHITECT OF ANY CHANGES OR SUBSTITUTIONS.
- G.C. TO COORDINATE MASONRY/ROUGH OPENINGS WITH WINDOW/DOOR SUPPLIER.
- ALL EXTERIOR DOOR AND WINDOW BUCKS TO BE PRESSURE TREATED WOOD FASTENED TO STRUCTURE PER STRUCTURAL DRAWINGS. FASTEN DOOR & WINDOW FRAMES TO BUCK PER MANUFACTURER'S TESTED SPECIFICATIONS. ALL JOINTS BETWEEN BUCKS AND STRUCTURE TO BE SEALED CONTINUOUSLY. JAMB BUCKS SHALL BE KEPT 1/2" OFF SILL BUCK TO PREVENT MOISTURE TRANSFER BETWEEN SILL AND JAMB BUCKS.
- REFER ALSO TO ARCHITECTURAL DRAWINGS FOR INSTALLATION DETAILS.
- DOOR HARDWARE HEIGHT TO BE 36" ABOVE FINISHED FLOOR, TYPICAL, U.N.O.
- PROVIDE CONCRETE SLAB DEPRESSION WATER-STOP AT EXTERIOR SIDE OF ALL MASONRY OPENINGS. SEE DETAILS FOR MORE INFORMATION AND SIZES.
- PROVIDE CONTINUOUS BACKER ROD AND SEALANT BETWEEN BUCK AND DOOR/WINDOW FRAME AND AT ALL STONE/BRICK/STUCCO RETURNS.

INTERIOR DOOR NOTES:

- ALL INTERIOR DOORS TO HAVE 1 3/4" MIN. THICKNESS AND TO BE SOLID MDF UNLESS OTHERWISE NOTED.
- ALL INTERIOR SWING DOOR HARDWARE TO BE SELECTED, FINISH T.B.D.
- DOOR HARDWARE HEIGHT TO BE 36" ABOVE FINISH FLOOR

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BELLE COAST GROUP, Inc.

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andreu@bellicoast.com
(786) 218-3972

PROJECT:
9730 W Broadway Dr
BAY HARBOR ISLANDS, FL 33154

FOLIO NUMBER: 13-2227-001-4470

DATE: 4/9/2026

REVISION

DATE:

DRAFTED BY:

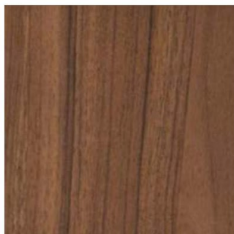
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ARCHITECT OF RECORD





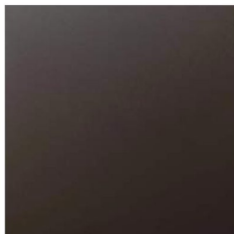
01 PT-01 WHITE STUCCO



02 WD-01 - ALUMINIUM WALNUT WOOD GRAIN FINISH



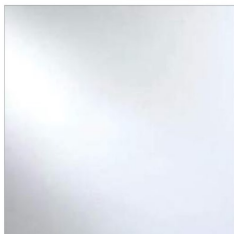
03 STN-01 NATURAL HONED CORAL STONE



04 MTL-01 BRONZE ALUMINIUM



05 GL-01 GREY IMPACT GLASS



06 GL-02 CLEAR IMPACT GLASS



07 STN-02 BEIGE MARBLE SANDBLASTED-LEATHER PAVERS



9 L1 OUTDOOR WALL LIGHTS

ARCHITECTURAL STYLE DESCRIPTION

THE PROPOSED RESIDENCE IS DESIGNED IN A CONTEMPORARY TROPICAL MODERN ARCHITECTURAL STYLE, INSPIRED BY SOUTH FLORIDA COASTAL ARCHITECTURE. THE DESIGN EMPHASIZES CLEAN HORIZONTAL LINES, OPEN VOLUMES, AND DEEP OVERHANGS TO PROVIDE SHADE AND ENHANCE THE INDOOR-OUTDOOR LIVING EXPERIENCE TYPICAL OF TROPICAL CLIMATES.

THE ARCHITECTURE INCORPORATES NATURAL MATERIALS AND MODERN FINISHES THAT RESPOND TO THE SURROUNDING TROPICAL LANDSCAPE. THE PRIMARY MATERIALS INCLUDE WHITE STUCCO, NATURAL HONED CORAL STONE, ALUMINIUM WALNUT WOOD GRAIN PANELS, BRONZE ALUMINIUM ELEMENTS, AND LARGE IMPACT-RESISTANT GLASS PANELS TO MAXIMIZE NATURAL LIGHT AND VISUAL CONNECTION WITH THE EXTERIOR ENVIRONMENT.

VERTICAL WOOD-GRAIN ALUMINIUM FINS ARE USED ON THE SECOND LEVEL TO PROVIDE SOLAR SHADING, PRIVACY AND ARCHITECTURAL ARTICULATION, HELPING BREAK UP THE MASSING OF THE FACADE WHILE MAINTAINING A CONTEMPORARY AESTHETIC. LARGE EXPANSES OF GLAZING CREATE TRANSPARENCY AND ALLOW VIEWS TOWARD THE LANDSCAPE WHILE MAINTAINING COMPLIANCE WITH HURRICANE IMPACT REQUIREMENTS.

THE LANDSCAPING DESIGN COMPLEMENTS THE ARCHITECTURE WITH LUSH TROPICAL PLANTING, PALMS AND NATIVE VEGETATION, REINFORCING THE TROPICAL MODERN CHARACTER OF THE RESIDENCE AND INTEGRATING THE BUILDING INTO ITS NATURAL ENVIRONMENT.

OVERALL, THE DESIGN REFLECTS A MODERN TROPICAL RESIDENTIAL ARCHITECTURE APPROPRIATE FOR BAY HARBOR ISLANDS, COMBINING CONTEMPORARY FORMS WITH MATERIALS AND LANDSCAPING SUITABLE FOR THE SOUTH FLORIDA CLIMATE.

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PROJECT:

9730 W Broadview Dr
BAY HARBOR ISLANDS, FL 33154

FOLIO NUMBER: 13-2227-001-4470

DATE: 4/9/2026

REVISION

DATE:

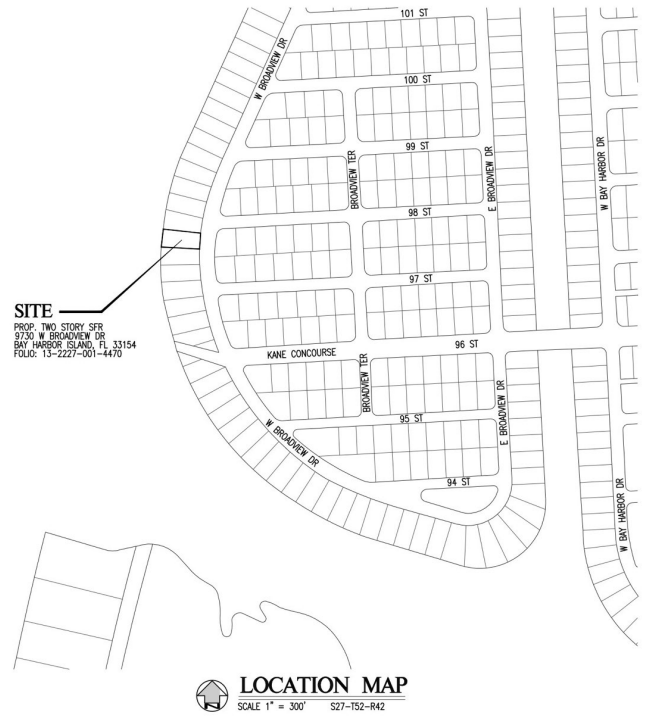
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SCALE:

ARCHITECT OF RECORD



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LEGAL DESCRIPTION

LOT 63, BLOCK 23, BAY HARBOR ISLAND, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, AT PAGE 5 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ENGINEER'S NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MIAMI-DADE COUNTY PUBLIC WORKS DEPT. ENGINEERING STANDARDS FOR CONSTRUCTION AND APPLICABLE NORTH MIAMI STANDARDS AND SPECIFICATIONS.
2. ALL SECTIONS INDICATED HEREIN REFER TO THE MIAMI DADE COUNTY AND BAY HARBOR ISLAND PUBLIC WORKS MANUAL OF ENGINEERING STANDARDS FOR DESIGN AND CONSTRUCTION
3. ALL UNDERGROUND INFORMATION SHALL BE VERIFIED WITH THE DIFFERENT UTILITY COMPANIES BEFORE THE START OF ANY CONSTRUCTION OR EXCAVATION, NEITHER THE ENGINEER OR OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THIS ITEM.
4. ALL UNDERGROUND INSTALLATIONS SHALL BE PROTECTED AT ALL TIMES DURING CONSTRUCTION AND EXCAVATION.
5. OCTOBER HIGH WATER TABLE = 2.0' NGVD
6. FLOOD CRITERIA = 7.52' N.G.V.D.
7. ALL ELEVATIONS REFER TO N.G.V.D.
8. SHOULD FIELD CONDITIONS CONFLICT WITH THIS PLAN NOTIFY THE ENGINEER IMMEDIATELY.
9. FLOOD ZONE AE, COMMUNITY 120637; PANEL 0144; MAP NO: 12086C0144L ELEV. 8.0'; SUFFIX L; DATED 9/11/09.
10. SURVEY USED FOR DESIGN BY ERNEST W DUNCAN PSM NO. 5182 (08/31/2023)
11. SEE LANDSCAPING PLANS FOR REQUIRED PLANTINGS.
12. EXISTING TREES TO REMAIN SHALL HAVE A MINIMUM OF 10' RADIUS SURROUNDING TRUNK WITH NO DISTURBANCE, SEE LANDSCAPING PLAN FOR MORE DETAILS.
13. CONTRACTOR SHALL PHOTOGRAPH EXISTING ASPHALT CONDITIONS PRIOR TO COMMENCING CONSTRUCTION, SHOULD ANY DAMAGE OCCUR, CITY INSPECTOR SHALL HAVE ULTIMATE SAY IN REQUIRED RESTORATION.

INDEX OF SHEETS:

- C-1 CIVIL COVER SHEET AND NOTES
- C-2 DRAINAGE AND GRADING PLAN
- C-3 STORMWATER POLLUTION PREVENTION PLAN

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 Check positive response codes before you dig!



CARLAB, INC.
 ENGINEERS AND PLANNERS
 CERTIFICATE OF AUTHORIZATION 6419
 8730 S.W. 25 STREET MIAMI, FL 33195
 TEL: 781.865.4091 | FAX: 305.228.0438
 E-MAIL: SLABISTE@CARLABINC.COM

PROJECT NAME:
9730 BROADVIEW DR
 9730 W BROADVIEW DR, BAY HARBOR ISLANDS, FL 33154
 FOLIO: 13-2227-001-4470

REVISIONS	DATE	BY

CARLAB, INC. PROJECT NUMBER	2510-2447
DRAWN	AMG
CHECKED	RMM
DESIGNED	AMG
SCALE	AS SHOWN
DATE	11/20/25

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DATE: 11/20/25
 SERGIO C. LABISTE P.E. # 61733

SHEET TITLE
CIVIL COVER SHEET AND NOTES

SHEET NUMBER
C-1



CARLAB, INC.
ENGINEERS AND PLANNERS
CERTIFICATE OF AUTHORIZATION 6179
8730 SW 25 STREET MIAMI, FL 33195
TEL: 781.861.4091 FAX: 305.226.0438
EMAIL: SLABETTE@CARLABINC.COM

PROJECT NAME:
9730 BROADVIEW DR
9730 W BROADVIEW DR, BAY HARBOR ISLANDS, FL 33154
FOIDC: 13-2227-001-4470

REVISIONS	DATE	BY

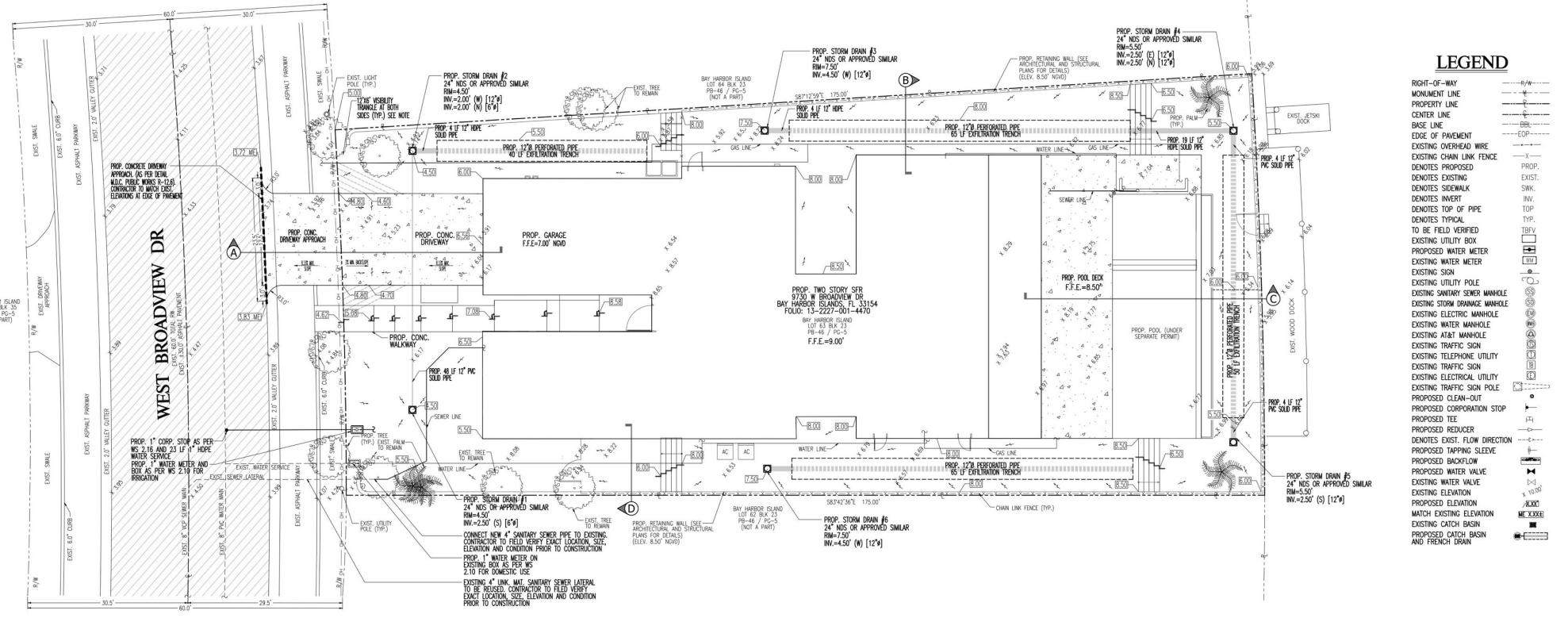
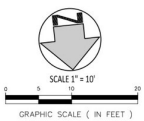
CARLAB, INC. PROJECT NUMBER
2510-2447

DRAWN: []
CHECKED: RMM
DESIGNED: AHM
SCALE: AS SHOWN
DATE: 11/20/25

PROF. SERGIO C. LABISTE, P.E.
No. 61733
STATE OF FLORIDA
PROFESSIONAL ENGINEER

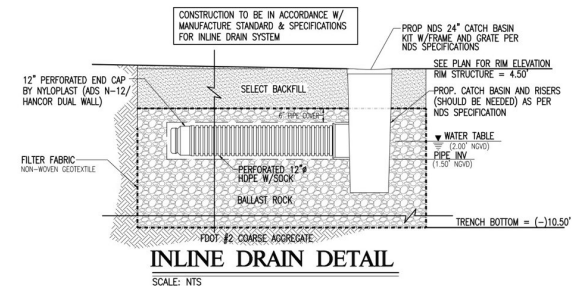
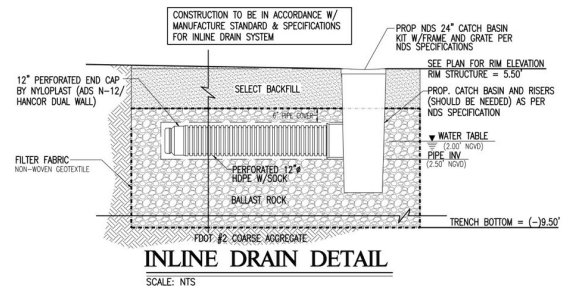
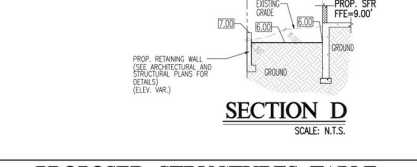
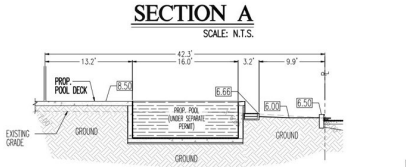
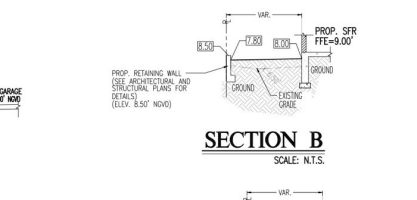
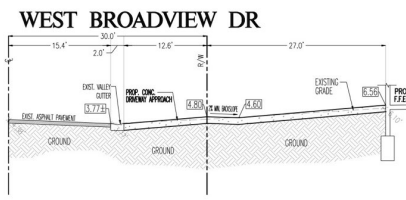
DATE: 11/20/25
SCALE: AS SHOWN
SHEET TITLE: DRAINAGE AND GRADING PLAN

SHEET NUMBER
C-2



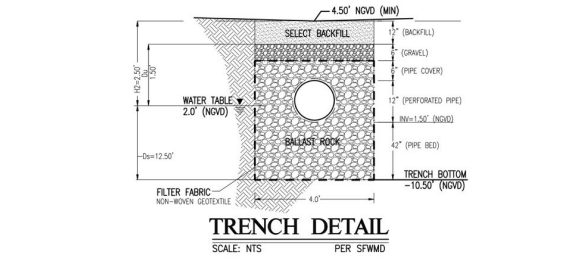
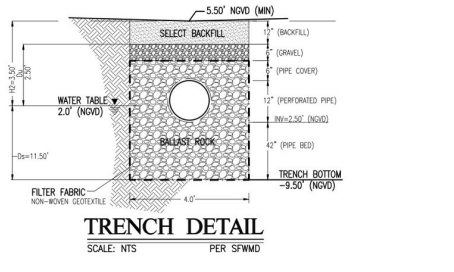
LEGEND

RIGHT-OF-WAY	---
MONUMENT LINE	---
PROPERTY LINE	---
CENTER LINE	---
BASE LINE	---
EDGE OF PAVEMENT	---
EXISTING OVERHEAD WIRE	---
EXISTING CHAIN LINK FENCE	---
PROPOSED	---
EXIST.	---
SWK.	---
INVT.	---
TOP	---
TYP.	---
TO BE FIELD VERIFIED	---
EXISTING UTILITY BOX	---
PROPOSED WATER METER	---
EXISTING WATER METER	---
EXISTING SIGN	---
EXISTING UTILITY POLE	---
EXISTING SANITARY SEWER MANHOLE	---
EXISTING STORM DRAINAGE MANHOLE	---
EXISTING ELECTRICAL MANHOLE	---
EXISTING AT&T MANHOLE	---
EXISTING TRAFFIC SIGN	---
EXISTING TELEPHONE UTILITY	---
EXISTING TRAFFIC SIGN	---
EXISTING ELECTRICAL UTILITY	---
EXISTING TRAFFIC SIGN POLE	---
PROPOSED CLEAN-OUT	---
PROPOSED CORPORATION STOP	---
PROPOSED TEE	---
PROPOSED REDUCER	---
PROPOSED TAPPING SLEEVE	---
PROPOSED BACKFLOW	---
PROPOSED WATER VALVE	---
EXISTING WATER VALVE	---
EXISTING ELEVATION	---
MATCH EXISTING ELEVATION	---
EXISTING CATCH BASIN	---
PROPOSED CATCH BASIN	---
EXISTING DRAIN BASIN AND FRENCH DRAIN	---



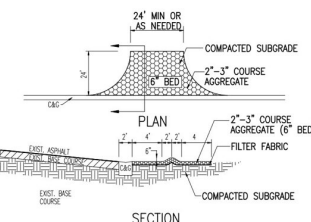
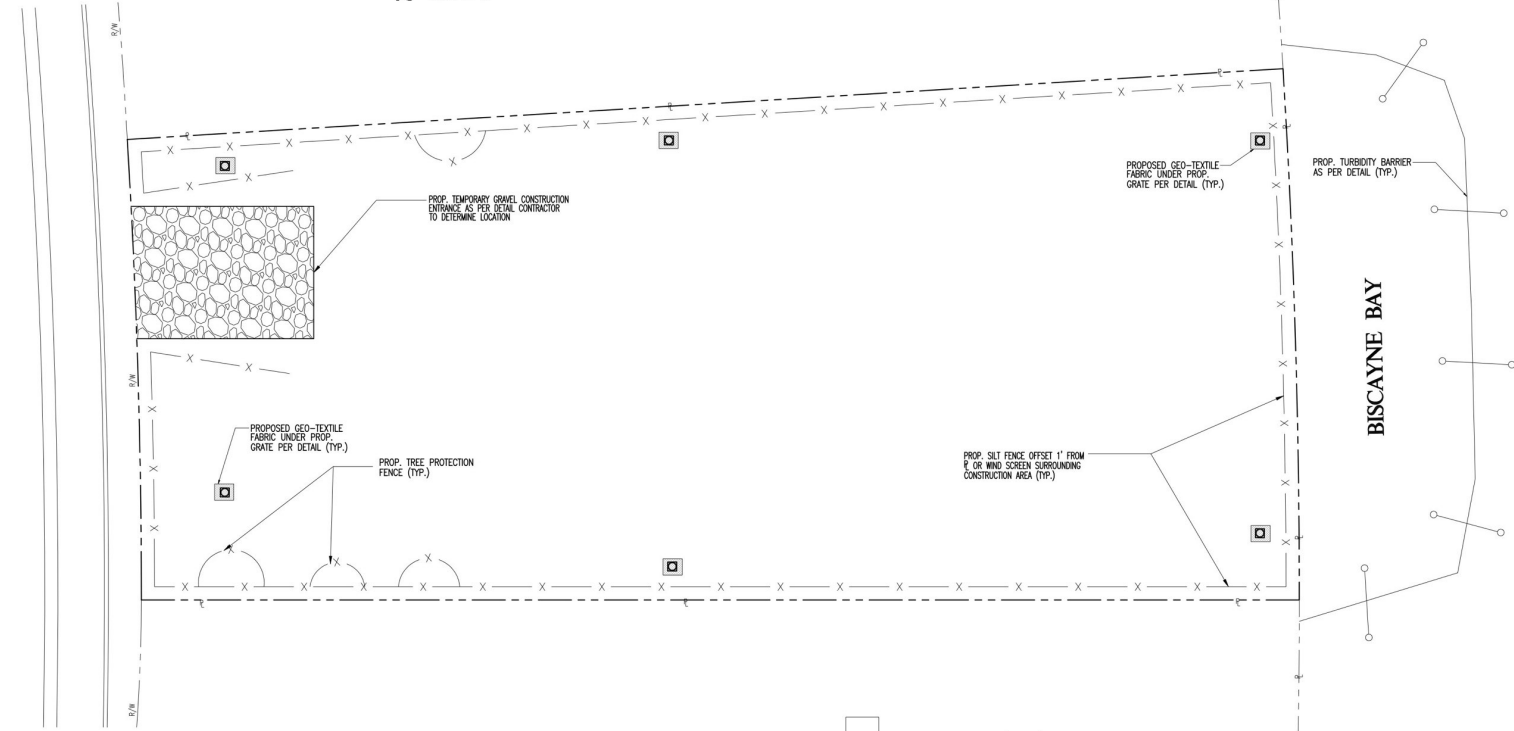
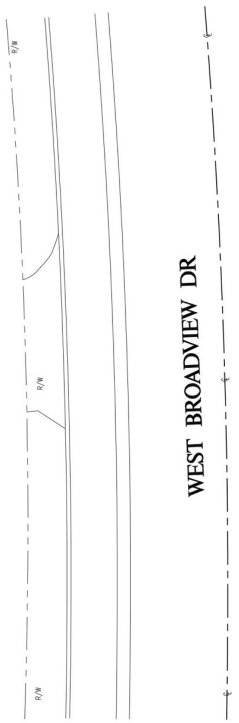
PROPOSED STRUCTURES TABLE

CB #	STRUCT.	RIM ELEV.	STRUCTURE BOTTOM	PIPE SIZE / DIRECTION / INVERT	TRENCH
1	NDS 24" STORM DRAIN (OR SIMILAR APPROVED)	4.50'	0.50'	6" PVC / S / 2.50'	40 LF
2	NDS 24" STORM DRAIN (OR SIMILAR APPROVED)	4.50'	0.00'	12" HDPE / W / 2.00'	
3	NDS 24" STORM DRAIN (OR SIMILAR APPROVED)	7.50'	0.50'	12" HDPE / W / 2.50'	
4	NDS 24" STORM DRAIN (OR SIMILAR APPROVED)	5.50'	0.50'	12" HDPE / E / 2.50'	115 LF
5	NDS 24" STORM DRAIN (OR SIMILAR APPROVED)	5.50'	0.50'	12" PVC / N / 2.50'	
6	NDS 24" STORM DRAIN (OR SIMILAR APPROVED)	7.50'	0.50'	12" HDPE / W / 2.50'	65 LF

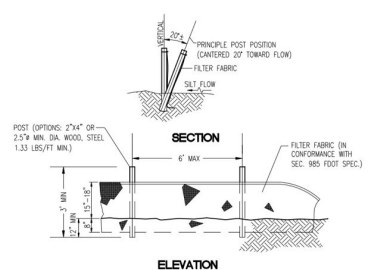


Sunshine811
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

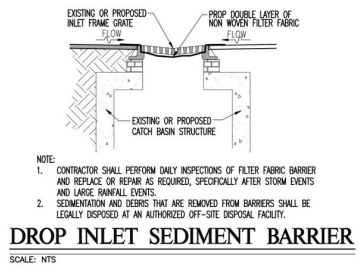
STORM WATER POLLUTION PREVENTION PLAN
SCALE: 1" = 10'



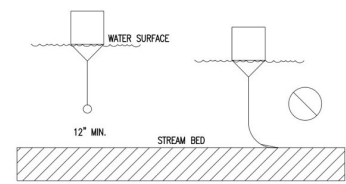
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



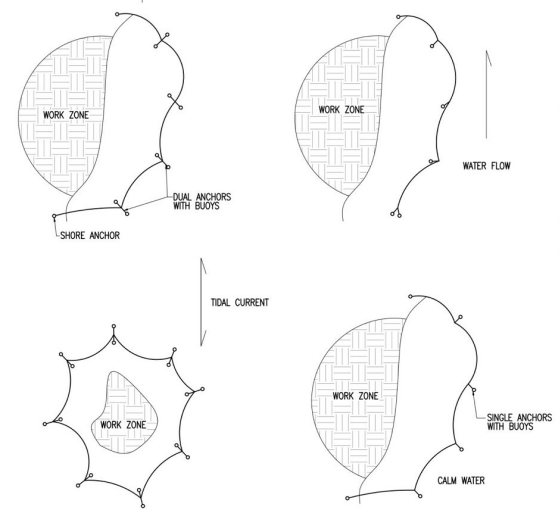
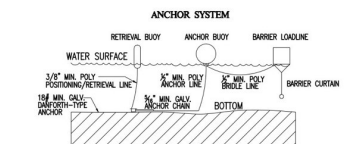
CONTRACTOR TO PROVIDE SILT FENCE SURROUNDING THE AREA OF CONSTRUCTION. MAINTAIN CONSTRUCTION ENTRANCES AND EXITS CLEAN / CLEAR OF SILT AND DEBRIS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PERMIT AND PERFORM THE NECESSARY INSPECTIONS AND REPORTS OF SAID PERMIT, (IF REQUIRED).



- NOTE:
1. CONTRACTOR SHALL PERFORM ONLY INSPECTIONS OF FILTER FABRIC BARRIER AND REPLACE OR REPAIR AS REQUIRED, SPECIFICALLY AFTER STORM EVENTS AND LARGE RAINFALL EVENTS.
 2. SEDIMENTATION AND DEBRIS THAT ARE REMOVED FROM BARRIERS SHALL BE LEGALLY DISPOSED AT AN AUTHORIZED OFF-SITE DISPOSAL FACILITY.



1. TURBIDITY BARRIERS ARE TO BE USED IN ALL PERMANENT BODIES OF WATER, REGARDLESS OF WATER DEPTH.
2. TURBIDITY BARRIERS SHALL NOT BE INSTALLED PERPENDICULAR TO THE MAIN FLOW OF A SIGNIFICANT BODY OF MOVING WATER.
3. IN AREAS OF TIDAL FLOW, PLACE BUOYED ANCHORS ON OPPOSITE SIDES OF THE BARRIER TO PREVENT BARRIER FROM OVERRIDING ANCHOR ON TIDE CHANGE.
4. DO NOT ANCHOR FROM BOTTOM HEM.
5. BARRIER MUST MAINTAIN A MINIMUM 4 INCH FREEBOARD.
6. ANCHOR SPACING NORMALLY 100 FT, MAY NEED 50 FT SPACING OR LARGER ANCHORS IN AREAS OF HIGHER CURRENT.
7. SHORE ANCHORS SHALL BE OF SUFFICIENT SIZE; WITH DEADMAN, IF NEEDED.
8. KEEP CHAIN HEM MINIMUM 1 FT OFF BOTTOM AT LOW TIDE.
9. DESIGN OF BARRIER AND ANCHOR SYSTEMS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS THAT MEET OR EXCEED THIS FOOT STANDARD.
10. LIGHTED BUOYS SHALL BE USED TO MEET REGULATORY STANDARDS.
11. FOR ADDITIONAL INFORMATION SEE SECTION 104 OF STANDARD SPECIFICATIONS.



TURBIDITY BARRIER DETAIL
NTS

Sunshine811
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

CARLAB, INC.
ENGINEERS AND PLANNERS
CERTIFICATE OF AUTHORIZATION 6419
8730 S.W. 25 STREET, MIAMI, FL 33156
TEL: 781.861.4091 | FAX: 305.228.0438
E-MAIL: SLABISTE@CARLAB-INC.COM

PROJECT NAME:
9730 BROADVIEW DR
9730 W BROADVIEW DR, BAY HARBOR ISLANDS, FL 33154
FOLIC: 13-2227-001-4470

REVISIONS	DATE	BY

CARLAB, INC. PROJECT NUMBER
25102447

DRAWN	AMG
CHECKED	RMM
DESIGNED	AMG
SCALE	AS SHOWN
DATE	11/20/25

STATE OF FLORIDA
Professional Engineer Seal
No. 61733
SERGIO C. LABISTE, P.E. #61733

DATE: 11/20/25
SHEET TITLE: STORMWATER POLLUTION PREVENTION PLAN
SHEET NUMBER: C-3

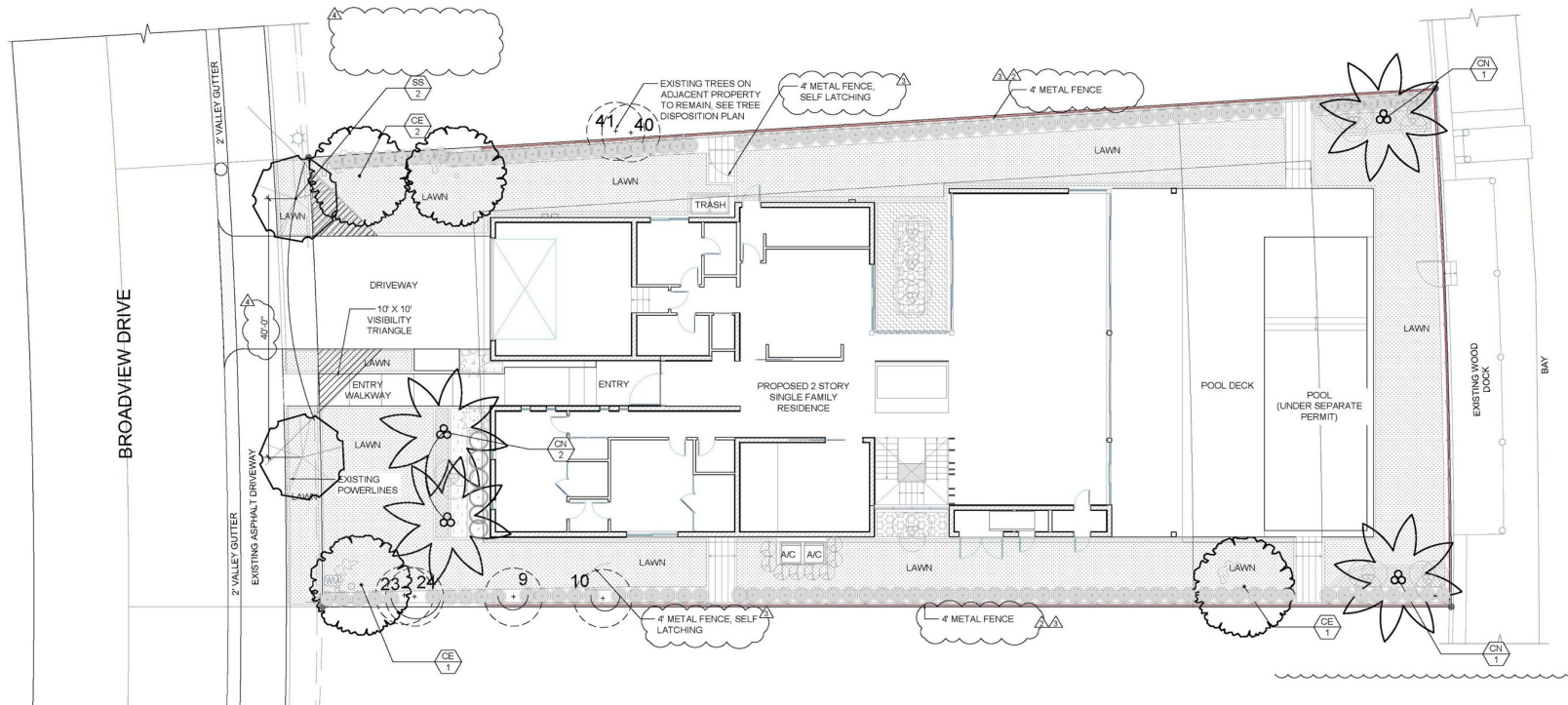


ISSUE	DATE	BY
1	02/28/25	SCM
2	03/26/25	SCM
3	03/26/25	SCM
4	03/26/25	SCM
5	04/08/25	SCM

NOTE:

- 1) All invasive species shall be removed from site.
- 2) Hedges within the front yard property lines shall not exceed 4' height and hedges along the side yard property lines shall not exceed 6' height.
- 3) Length of warranty for plant material is 12 months minimum for trees and palms and 6 months minimum for shrubs and groundcover.
- 4) All mechanical equipment to be screened.
- 5) This plan was designed using FYN "Florida Friendly" landscaping principles.

EXISTING TREE SYMBOL LEGEND



LANDSCAPE LIST

TREES			
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION
CE	4	*Conocarpus erectus GREEN BUTTOWOOD	[LOT TREE] 14' HT. X 6' SPR. 2.5" CAL. 6' CLR. WOOD, F.G.
SS	2	Senna surattensis GLAUCOUS CASSIA	[STREET TREE] 15' HT. X 5' SPR. 2.5" CAL. 6' CLR. WOOD, F.G.
CN	4	Cocos nucifera 'Maypan' GREEN MAYPAN COCONUT PALM	[LOT TREE] 8' MIN. G.W., 18' O.A. HT., 4" CAL. F.G.

SHRUBS AND GROUNDCOVERS			
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION
AL	9	Alocasia 'Portora' ALOCASIA 'PORTORA'	6' HT. X 3' SPR. / 3' O.C., BY BOX FULL TO BASE, INTACT FOLIAGE
AO	2	Alcantarea odorata BROMELIAD SP.	24" O.A. HT.
CG	135	*Clusia guttifera SMALL LEAF CLUSIA	48" HT. X 30" SPR. / 2.5' O.C.
CG1	8	*Clusia guttifera SMALL LEAF CLUSIA	6'-7" O.A. HT. X 30" SPR. / 2.5' O.C.
FM	44	Ficus microcarpa 'Green Island' GREEN ISLAND FICUS	15" HT. X 15" SPR. / 15" O.C. 3 GAL.
LM	135	Liriope muscari LILYTURF	12" HT. X 12" SPR. / 12" O.C.
MD	11	Monstera deliciosa SWISS CHEESE PLANT	24" HT. X 24" SPR., 36" O.C.
PB	25	Philodendron 'Burle Marx' BURLE MARX PHILODENDRON	24" HT. X 24" SPR. / 36" O.C.
RE	6	Rhaphis excelsa LADY PALM	3' O.A. HT.
LAWN	As Required	Stenotaphrum secundatum 'Floratum' ST. AUGUSTINE GRASS	SOLID EVEN SOD

* DENOTES NATIVE SPECIES

**Town of Bay Harbour Islands
Landscape Code (Sec. 24-16) Requirements Legend**

Residential - Single-Family Residential

A. Shade Tree Required*

	REQUIRED	PROVIDED
1. Single Family Non-Waterfront Lot	5	n/a
2. Single Family Waterfront Lot	6	6
3. Two-Family Lot	5	n/a
4. Number of Shade Trees in Front Yard	2	3
5. Native Species Required - 50%	3	3
6. Drought Tolerant and Low Maintenance Species Required - 50%	3	3

B. Shrubs Required**

	REQUIRED	PROVIDED
1. Single Family Non-Waterfront Lot	50	375
2. Single Family Waterfront Lot	60	375
3. Two-Family Lot	50	n/a
4. Native Species Required - 30%	18	143
6. Drought Tolerant and Low Maintenance Species Required - 50%	30	347

C. Maximum Lawn Area Allowed*
50% of Net Lot Area**

	REQUIRED	PROVIDED
50% (Max)	3,450 sqft (26.29%)	

Notes

* Required Shade Trees at time of planting must be minimum of 12 feet in overall height; have 4 feet of clear wood before branching, and have a 2 1/2 inch caliper. Palm Trees can be substituted at a 3:1 ratio (except approved large varieties) to a maximum of 25% of the required trees.

** Required Shrubs at time of planting must be minimum of 24 inches in overall height, if used as a visual screen must be a minimum of 36 inches in overall height.

***Miami-Dade County Landscape Ordinance Sec. 18A-5 (A)(5)

Miami Dade County Landscape Requirements*

*Miami-Dade County Landscape Ordinance, Section 18a serves as the minimum landscape standards for all property within the Town of Bay Harbour Islands, plus the town's additional landscape maintenance standards.

LANDSCAPE LEGEND Information Required to be Permanently Affixed to Plan

Zone: RD Net Lot Area 0.301 acres 13,125 s.f.

OPEN SPACE

	REQUIRED	PROVIDED
A. Square Feet of open space required by Chapter 33, as indicated on site plan: Net lot area = 13,125 square feet x .15% = 1,969 square feet	See Arch. Sheets	See Arch. Sheets
B. Square Feet of parking lot open space required by Chapter 18A, as indicated on site plan: The number of parking spaces _____ x 10 square feet per parking space =	20	20
C. Total square feet of landscape open space required by Chapter 33 A + B =	See Arch. Sheets	See Arch. Sheets

LAWN AREA CALCULATION

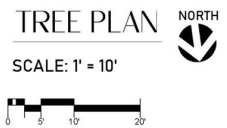
	REQUIRED	PROVIDED
A. Total square feet of landscaped open space required by Chapter 33 =	See Arch. Sheets	See Arch. Sheets
B. Maximum lawn area (St. Augustine sod) permitted = 50% x 13,125 square feet =	6,563	3,523

TREES

	REQUIRED	PROVIDED
A. No. trees required per lot less the existing number of trees that meet minimum requirements = 8 trees x net lot acreage =	6	6 (4 existing palms)
B. 30% palm trees allowed (two palms = one tree) Palms provided =	2	2
C. Percentage of native trees required = number of trees provided x 30% =	2	2
D. Street trees (max. average spacing of 35' o.c.): 70' linear feet along street = 35 =	2	n/a
Palms as street trees (max. average spacing 25' o.c.): 70' linear feet along street = 25 =	3	n/a
E. Street trees located directly beneath power lines (maximum spacing of 25' o.c.): 70' linear feet along street = 25 =	2	2
F. Total number of trees provided = A + E =	9	9

SHRUBS

	REQUIRED	PROVIDED
A. The total number of trees required x 10 = the number of shrubs required	90	375
B. The number of shrubs required x 30% = the number of native shrubs required	27	143



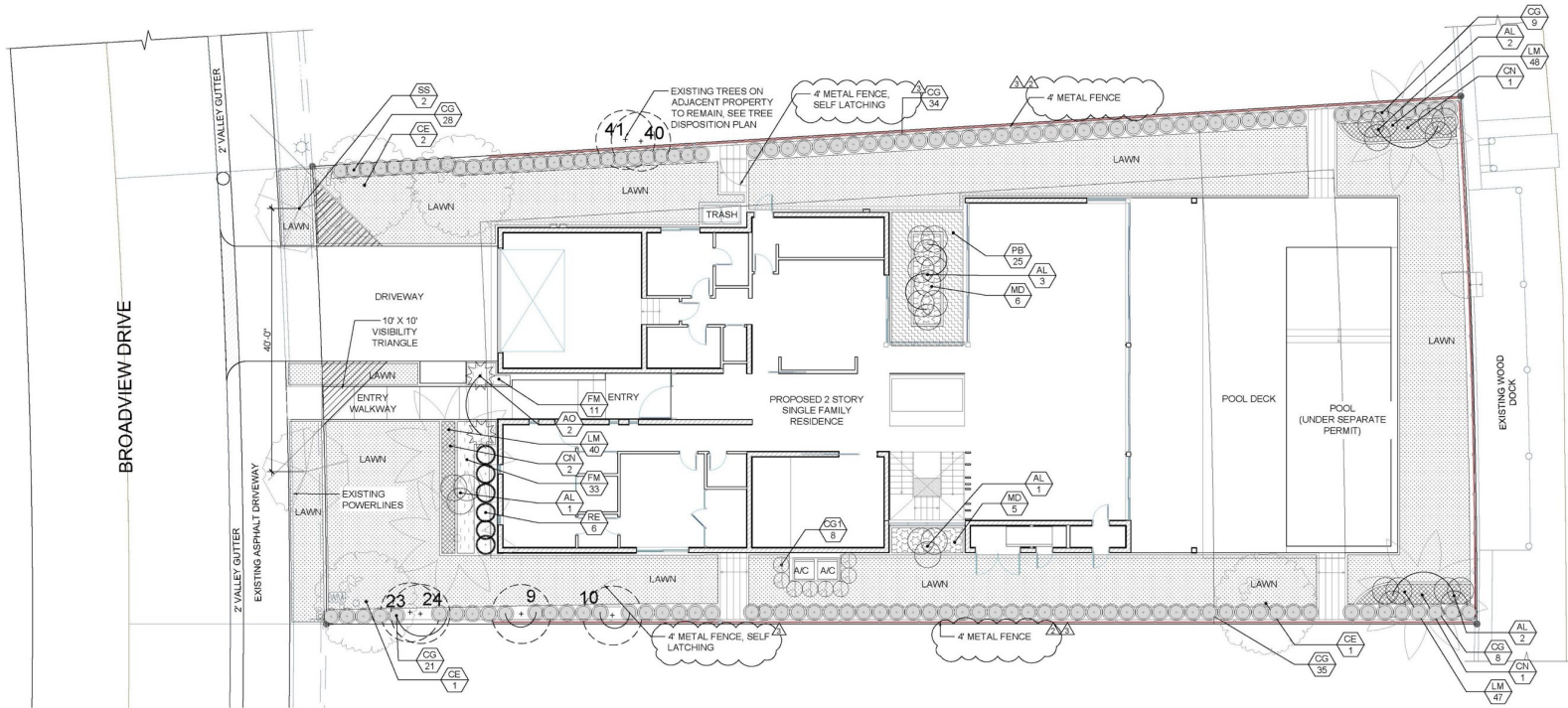


ISSUE	DATE	BY
1/22 Submittal	12/18/25	SCM
1/23 Town Comments	01/24/26	SCM
2/23 Town Comments	03/18/26	SCM
3/23 Town Comments	03/24/26	SCM

NOTE:

- 1) All invasive species shall be removed from site.
- 2) Hedges within the front yard property lines shall not exceed 4' height and hedges along the side yard property lines shall not exceed 6' height.
- 3) Length of warranty for plant material is 12 months minimum for trees and palms and 6 months minimum for shrubs and groundcover.
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EXISTING TREE SYMBOL LEGEND



LANDSCAPE LIST

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RE	6	Rhaphis excelsa LADY PALM	3' O.A. HT.
LAWN	As Required	Stenotaphrum secundatum 'Floratum' ST. AUGUSTINE GRASS	SOLID EVEN SOD

* DENOTES NATIVE SPECIES

**Town of Bay Harbour Islands
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5. Native Species Required - 50%	3	3
6. Drought Tolerant and Low Maintenance Species Required - 50%	3	3

B. Shrubs Required**

	REQUIRED	PROVIDED
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2. Single Family Waterfront Lot	60	n/a
3. Two-Family Lot	50	143
4. Native Species Required - 30%	18	
6. Drought Tolerant and Low Maintenance Species Required - 50%	30	347

C. Maximum Lawn Area Allowed*
50% of Net Lot Area**

	REQUIRED	PROVIDED
50% (Max)	3,450 sqft (26.29%)	

Notes

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** Required Shrubs at time of planting must be minimum of 24 inches in overall height, if used as a visual screen must be a minimum of 36 inches in overall height.

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Miami Dade County Landscape Requirements*

*Miami-Dade County Landscape Ordinance, Section 18a serves as the minimum landscape standards for all property within the Town of Bay Harbor Islands, plus the town's additional landscape maintenance standards.

LANDSCAPE LEGEND Information Required to be Permanently Affixed to Plan

Zone: RD Net Lot Area 0.301 acres 13,125 s.f.

OPEN SPACE

REQUIRED	PROVIDED
A. Square Feet of open space required by Chapter 33, as indicated on site plan: Net lot area = 13,125 square feet x N/A, % = N/A square feet	See Arch. Sheets See Arch. Sheets
B. Square Feet of parking lot open space required by Chapter 18A, as indicated on site plan: The number of parking spaces x 10 square feet per parking space =	20 20
C. Total square feet of landscape open space required by Chapter 33 A + B =	See Arch. Sheets See Arch. Sheets

LAWN AREA CALCULATION

REQUIRED	PROVIDED
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B. Maximum lawn area (St. Augustine sod) permitted = 50% x 13,125 square feet =	6,563 3,523

TREES

REQUIRED	PROVIDED
A. No. trees required per lot less the existing number of trees that meet minimum requirements = 6 trees x net lot acreage =	6 6 (4 existing palms)
B. 30% palm trees allowed (two palms = one tree) Palms provided =	2 2
C. Percentage of native trees required = number of trees provided x 30% =	2 2
D. Street trees (max. average spacing of 35' o.c.): 70' linear feet along street = 35 =	2 n/a
Palms as street trees (max. average spacing 25' o.c.): 70' linear feet along street = 25 =	3 n/a
E. Street trees located directly beneath power lines (maximum spacing of 25' o.c.): 70' linear feet along street = 25 =	2 2
F. Total number of trees provided = A + E =	9 9

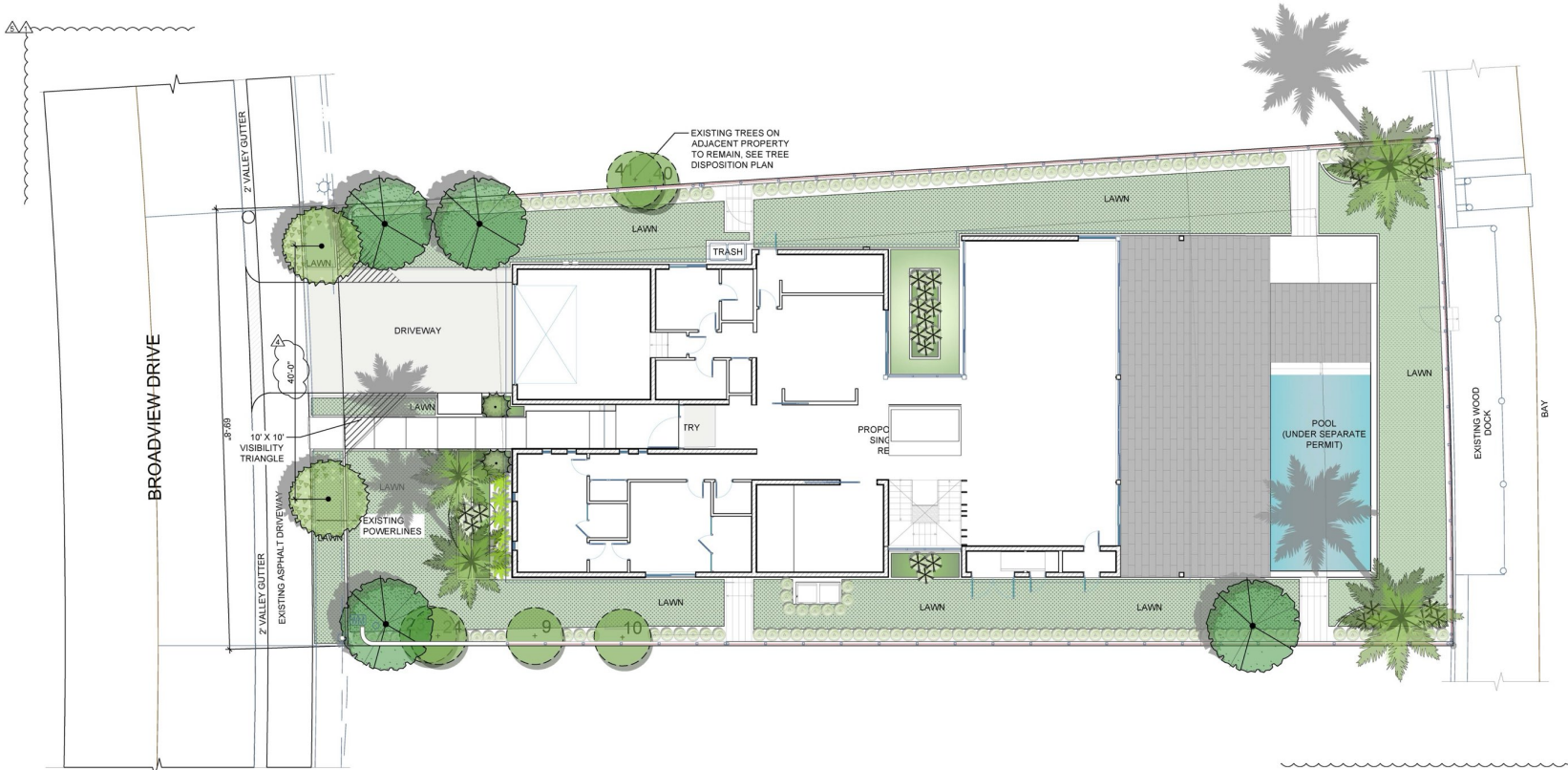
SHRUBS

REQUIRED	PROVIDED
A. The total number of trees required x 10 = the number of shrubs required	90 375
B. The number of shrubs required x 30% = the number of native shrubs required	27 143

SHRUB PLAN NORTH

SCALE: 1" = 10'





NOTE:

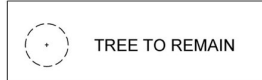
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- 5) This plan was designed using FYN "Florida Friendly" landscaping principles.

**COLOR RENDERED
LANDSCAPE PLAN**



SCALE: 1" = 10'

EXISTING TREE SYMBOL LEGEND



SITE ADDRESS:

9730 W BROADVIEW DRIVE,
BAY HARBOR ISLANDS, FL 33154

LANDSCAPE ARCHITECT:

FLORA LANDSCAPE
ARCHITECTURE + DESIGN
(784) 646-1097
SHAYC@FLORALDESIGN.COM

SEAL:



SHAYLIN CASTILLO
REGISTERED LANDSCAPE ARCHITECT
LA6687893

DRAWING TITLE:

LANDSCAPE
PLAN

© 2025 FLORA LANDSCAPE ARCHITECTURE, INC.
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PROTECTION ACT

REVISIONS:

ISSUE	DATE	BY
P&L Submittal	12/18/25	SCM
1) Town Comments	01/24/26	SCM
4) Town Comments	04/04/26	SCM
5) Town Comments	04/09/26	SCM

SCALE:

SEE LEFT

PROJECT NUMBER:

2025-19

SHEET NO.:

L-4



C:\Users\shaylin\OneDrive\Desktop\2025\2025-19 Broadview Drive - Bay Harbor Islands\2025-19 Broadview Drive - Bay Harbor Islands.dwg, 12/18/25 10:00 AM

* DENOTES NATIVE SPECIES



GREEN BUTTONWOOD
**Conocarpus erectus*



SILVER BUTTONWOOD
**Conocarpus erectus 'sericeus'*



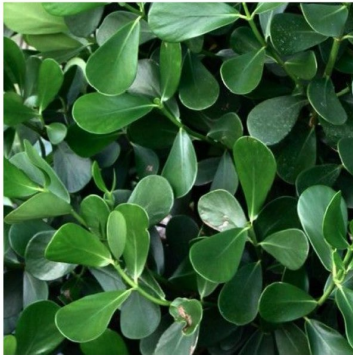
COCONUT PALM 'GREEN MAYPAN'
Cocos nucifera 'Maypan'



ALOCASIA 'PORTORA'
Alocasia 'Portora'



SILVER BROMELIAD SP.
Alcantarea odorata



SMALL LEAF CLUSIA
**Clusia guttifer*



GREEN ISLAND FICUS
**Ficus microcarpa 'Green Island'*



LILYTURF
Liriope muscari



SWISS CHEESE PLAN 'MONSTERA'
Monstera deliciosa



BURLE MARX PHILODENDRON
Philodendron 'Burle Marx'



LADY PALM
Rhapis excelsa

FLORÁ
LANDSCAPE
ARCHITECTURE
+ DESIGN

9730
BROADVIEW
BAY HARBOR ISLANDS, FL

SITE ADDRESS:
9730 W BROADVIEW DRIVE,
BAY HARBOR ISLANDS, FL 33154

LANDSCAPE ARCHITECT:
FLORA LANDSCAPE
ARCHITECTURE + DESIGN
(786) 646-1097
SHAYC@FLORALADESIGN.COM



SHAYLIN CASTILLO
REGISTERED LANDSCAPE ARCHITECT
LA6667993

DRAWING TITLE:

PROPOSED
PLANT PALETTE

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ARCHITECTURE AND ARE PROTECTED UNDER THE COPYRIGHT
PROTECTION ACT.

REVISIONS:

ISSUE	DATE	BY
PK2 Submittal	10/28/25	SCM

SCALE:

SEE LEFT

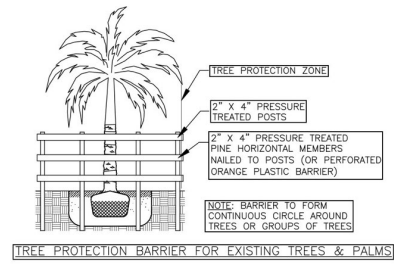
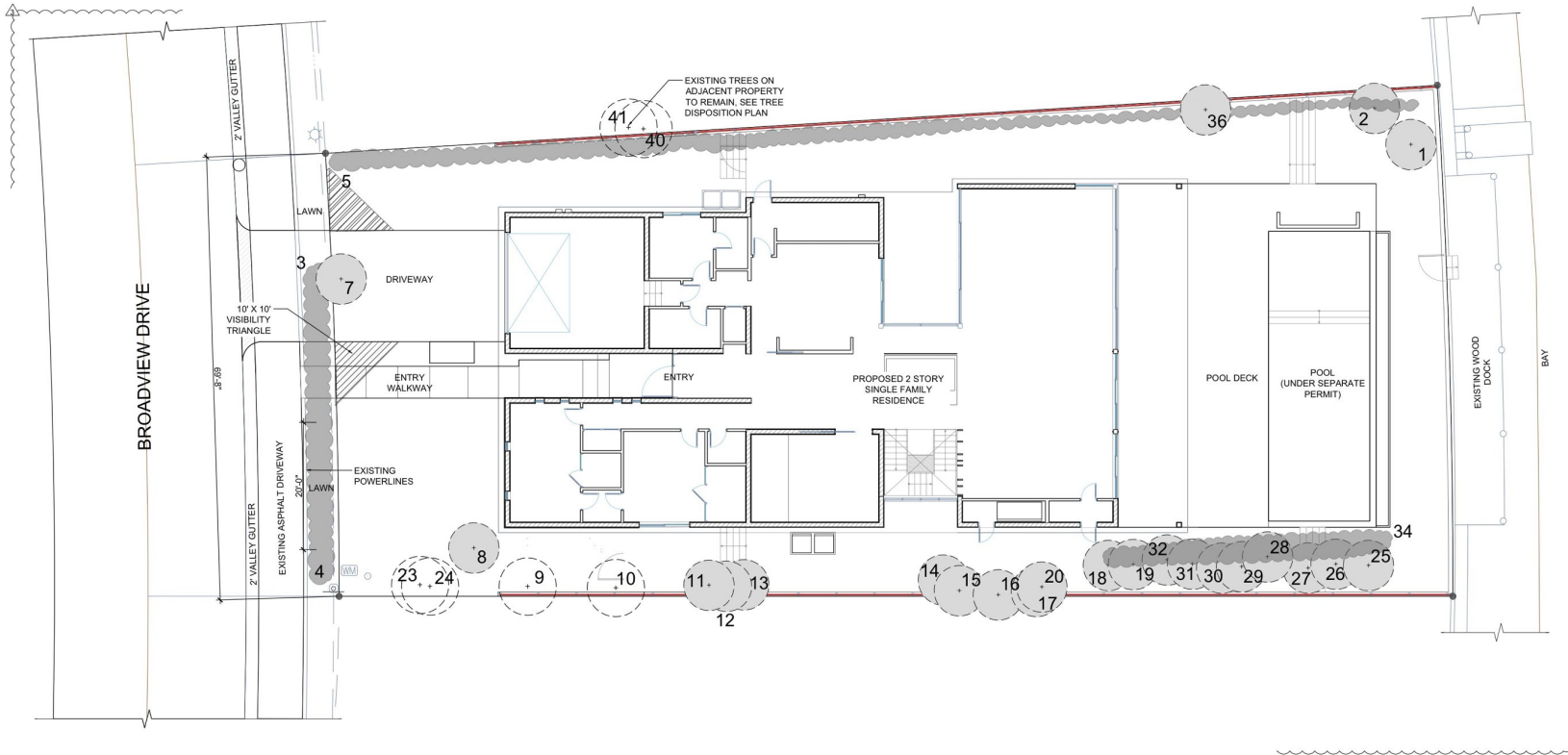
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L-5

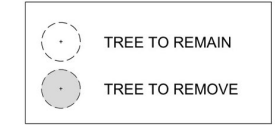
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TREE PROTECTION BARRIER FOR EXISTING TREES & PALMS

- NOTE:**
- 1) All invasive species shall be removed from site.
 - 2) Hedges within the front yard property lines shall not exceed 4' height and hedges along the side yard property lines shall not exceed 6' height.
 - 3) Length of warranty for plant material is 12 months minimum for trees and palms and 6 months minimum for shrubs and groundcover.
 - 4) All mechanical equipment to be screened.
 - 5) This plan was designed using FYN "Florida Friendly" landscaping principles.

EXISTING TREE SYMBOL LEGEND



TREE DISPOSITION PLAN

SCALE: 1" = 10'



TREE SURVEY CHART									
Tree #	DBH (in)	Canopy Shade (CS) (ft)	Height (H) (ft)	Type	Scientific Name	Common Name	Disposition	Canopy Area	Notes
1	9.6"	20	35	PALM	<i>Cocos nucifera</i>	Coconut Palm	REMOVE	314.16	
2	9.6"	20	35	PALM	<i>Cocos nucifera</i>	Coconut Palm	REMOVE	314.16	
3	-	-	-	HEDGE	<i>Podocarpus macrophyllus</i>	Podocarpus Hedge	REMOVE		Cluster; No Mitigation
4	-	-	-	HEDGE	<i>Podocarpus macrophyllus</i>	Podocarpus Hedge	REMOVE		Cluster; No Mitigation
5	-	-	-	HEDGE	-	Various Hedge Species	REMOVE		Cluster; No Mitigation
INTENTIONALLY LEFT BLANK									
6	-	-	-	-	-	-	-	-	-
7	48"	40	40	TREE	<i>Conocarpus erectus</i>	Green Buttonwood	REMOVE	1256.64	Specimen
8	36"	40	40	TREE	<i>Bucida bucerus 'Shady Lady'</i>	Black Olive	REMOVE	1256.64	Specimen
9	4.8"	30	35	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMAIN		
10	8.4"	10	45	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMAIN		
11	8.4"	10	45	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE	78.54	
12	8.4"	10	45	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE	78.54	
13	8.4"	10	45	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE	78.54	
14	4.8"	6	35	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE	28.27	
15	4.8"	6	35	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE	28.27	
16	4.8"	6	35	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE	28.27	
17	4.8"	6	35	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE	28.27	
18	8.4"	8	45	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE	50.27	
19	8.4"	8	45	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE	50.27	
20	-	-	-	PALM	<i>Dyopsis lutescens</i>	Areca Palm	REMOVE		Cluster; No Mitigation
INTENTIONALLY LEFT BLANK									
21	-	-	-	-	-	-	-	-	-
22	-	-	-	HEDGE	<i>Clusia guttifera</i>	Clusia	REMOVE		Cluster
23	7.2"	6	30	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMAIN		
24	4.8"	5	25	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMAIN		
25	8.4"	8	45	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE		
26	8.4"	8	45	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE		
27	4.8"	8	30	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE		
28	7.2"	6	30	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE		
29	7.2"	6	30	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE		
30	7.2"	6	30	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE		
31	7.2"	6	30	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE		
32	7.2"	6	30	PALM	<i>Pythosperma elegans</i>	Alexander Palm	REMOVE		
33	-	-	-	-	-	-	-	-	-
34	-	-	-	HEDGE	<i>Clusia guttifera</i>	Clusia	REMOVE		
INTENTIONALLY LEFT BLANK									
35	-	-	-	-	-	-	-	-	-
36	30"	25	35	TREE	<i>Schefflera</i>	Umbrella	REMOVE		Specimen; No Mitigation
37	-	-	-	HEDGE	-	Various Hedge Species	REMOVE		
INTENTIONALLY LEFT BLANK									
38	-	-	-	-	-	-	-	-	-
INTENTIONALLY LEFT BLANK									
39	-	-	-	-	-	-	-	-	-
40	12"	20	30	TREE	Unknown	Unknown	REMAIN		
41	18"	25	35	TREE	Unknown	Unknown	REMAIN		

MITIGATION SHORTFALL OF 6,396 CREDITS TO BE CONTRIBUTED INTO THE MIAMI-DADE COUNTY TREE TRUST FUND.

