

When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don't turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

**TOWN OF BAY HARBOR ISLANDS  
MORRIS N. BROAD COMMUNITY CENTER  
1175 95TH STREET  
BAY HARBOR ISLANDS, FL 33154**

**MEETING OF THE DESIGN REVIEW BOARD**

**QUASI-JUDICIAL PUBLIC HEARING**

**March 4, 2025  
7:00 PM**

**AGENDA**

**CALL TO ORDER:** Set for 7:00 p.m.

**PLEDGE OF ALLEGIANCE:**

**ROLL CALL**

1. Request for approval for an addition and exterior renovations for "Orit & Jack Osman" located at 9655 W. Broadview Drive, Lot 7 of Block 34. The owners are proposing to add a new second-story addition at the northeast corner of the existing house, adding 900 sq. ft. of new a/c floor area totaling 4,783 sq. ft. In addition, a connected 832 sq. ft. roof deck is shown to the west of the addition. The expanded home will have 5 bedrooms and 5 bathrooms. Enclosed please find the site plan and elevations. Item #1

*\* Staff Review:* The design meets the Town Code and was approved by Michael Miller Planning Associates.

2. Request for approval for a new multi-family dwelling for "West Bay Harbor 9761, LLC" located at 9761 West Bay Harbor Drive, Lot 8 of Block 22. The developer is proposing to construct a new five (5) dwelling unit "townhouse" development. The proposed site design incorporates one rectangular-shaped building positioned north / south on the site. The proposed building will have three (3) stories in height with two (2) floors of residential over one (1) floor (grade) of a garage with two bedrooms / bathrooms elevated to DFE @ 32'-10" feet above BFE + 1' FBC freeboard. The proposed dwelling units will range from 2,735 to 3,076 square feet of A/C space plus garages, balconies, etc. On the buildings' rooftop are five (5) proposed individual recreation areas with a plunge pool, half bathroom, lounge chair area and expansive open terrace. The proposed building will not require any TDR's. Enclosed please find the site plan and elevations. Item #2.

*\* Staff Review:* The design meets the Town Code and was approved by the Development Review Committee.

**PUBLIC COMMENT** - for the purpose of hearing any public comment with respect to an application for site plan approval at 9761 West Bay Harbor Drive.

## **CONCLUSION OF QUASI-JUDICIAL PUBLIC HEARING**

**ADJOURNMENT:** Approximately 8:00 p.m.

*Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.*

**AGENDA ITEM REPORT**  
March 4, 2025

**ITEM NUMBER: 1.**

**ITEM:** Request for approval for an addition and exterior renovations for “Orit & Jack Osman” located at 9655 W. Broadview Drive, Lot 7 of Block 34. The owners are proposing to add a new second-story addition at the northeast corner of the existing house, adding 900 sq. ft. of new a/c floor area totaling 4,783 sq. ft. In addition, a connected 832 sq. ft. roof deck is shown to the west of the addition. The expanded home will have 5 bedrooms and 5 bathrooms. Enclosed please find the site plan and elevations. Item #1

**DESCRIPTION:**

**RECOMMENDED ACTION:**

The design meets the Town Code and was approved by Michael Miller Planning Associates.

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**FINANCIAL ANALYSIS:**

**BUDGET IMPACT:**

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Submitted By:           Ayanidys Martinez  
                                  Ayanidys Martinez

**ATTACHMENTS**

1.	BHI 9655 WBVD SFR Add DRB Staff Report Feb 11 2025
2.	SPR24-000026 DRB Application 9655 W. BRDV Drive
3.	9655 W BRDV Drive DRB Set 3.4.2025

**TOWN OF BAY HARBOR ISLANDS  
COMMUNITY DEVELOPMENT  
MEMORANDUM**

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**To:** Design Review Board (DRB)  
Town of Bay Harbor Islands

**From:** Michael J. Miller, AICP *MDM*  
Consultant Town Planner

**Date:** February 11<sup>th</sup>, 2025

**Subject:** Single-Family Residence – Building Addition & Renovations  
9655 West Broadview Drive  
Bay Harbor Islands Acct. No.: SPR24-000026  
MMPA Acct. No.: 01-0702-1199

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**RECOMMENDED ACTION**

MMPA recommends the Design Review Board (DRB) review the contents of this staff report, the latest revised Site Development Plans (BHI Recd. Feb. 4<sup>th</sup>, 2025) and if felt to be acceptable, **APPROVE** the plans as submitted or with modifications as deemed appropriate and/or with conditions, to allow for a 2<sup>nd</sup> Story 900 square foot building addition & roof deck / interior renovations to an existing single-family home located at 9655 West Broadview Drive.

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**GENERAL PROJECT INFORMATION**

**Land Use Designation:** L – Low Density Residential  
**Zoning District:** RD Single-Family District  
**General Location:** 9655 West Broadview Drive  
**Legal Description:** Lot 7 of Block 34, “Bay Harbor Island” according to the plat thereof, as recorded in Plat Book 46, at Page 5 of the Public Records of Miami-Dade County.

**PROJECT DESCRIPTION**

The project architect, Eduardo Vasquez from the EAV / BTD, LLC architectural firm, as agent for the property owners, Jack & Orit Osman, have submitted an application to allow an addition & renovations to their existing home located at 9655 West Broadview Drive. According to the MDPA website the existing 3,893 sq. ft. single-story home (interior corner lot) was originally built in 1959.

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**Town of Bay Harbor Islands  
Design Review Board Staff Report  
Single-Family Home @ 9655 West Broadview Drive – Building Addition & Renovations  
February 11<sup>th</sup>, 2025  
Page 2**

The proposed new 2<sup>nd</sup> story addition located at the northeast corner of the existing house will add 900 sq. ft. of new A/C floor area (total 4,783 sq. ft.). The plans indicate the 2<sup>nd</sup> story addition will be for a new Master Bedroom suite including a new Bathroom and His & Her Closets. In addition to the proposed 2<sup>nd</sup> story addition, a connected 832 sq. ft. roof deck is shown to the west of the addition. Access to the new 2<sup>nd</sup> story addition will be via an interior staircase from the remodeled ground level Playroom / Utility Room beneath the new addition. Portions of the ground level will also be remodeled. The expanded home will have 5 bedrooms / 5 baths and no garage.

This property is an oddly shaped corner lot. The BHI developer's Deed Restrictions and current Zoning Code allow for the modification of setbacks based on each situation due to unique lot shapes or circumstances. The house / site design predates the current Zoning Code as to "yard" definitions and setbacks. It appears when the home was built in 1959 the south property line was considered a "side" (10' min. setback) and the east property line was considered the "rear" (15' min. setback) as the house faces westerly. By current Zoning Code definition, the south property line is the "rear" of the lot. Both the west and north lot lines adjoin roadways which require a min. 25' "front" setback. The survey indicates the existing house meets the 25' setback to 97<sup>th</sup> Street but some portions of the house do not meet that requirement along West Broadview Drive due to the unusual house architectural design (as little as 15'-5" per the survey) and lot shape. This site is considered legal nonconforming as to those existing setbacks. No portion of the 2<sup>nd</sup> story addition or interior house renovations will affect the existing house footprint. In addition, a swimming pool / deck is built in the "side street" setback area facing 97<sup>th</sup> Street which is allowed (fenced / screened with landscaping). The existing home has some prominent roof eave yard encroachments that will remain (do not meet current 2' max. yard encroachment). Finally, the current Code requires a minimum of 35% landscaped open space for one-story homes but a minimum of 40% for 2-story homes. From the plan information provided the site currently has about 37% of the site as landscaped open space (OK for existing 1-story home). While the new 2<sup>nd</sup> story addition would technically require more ground level open space, due to the existing site design and features it would be difficult to meet the 40% requirement (remove hardscape). Therefore, we feel the Town should grandfather the existing setback / open space situation.

This 1950s Ranch style home has a unique footprint and architecture with some very wide roof eave overhangs, especially facing West Broadview Drive. These are planned to stay. For the new 2<sup>nd</sup> story addition, the architect has attempted to incorporate features & materials to match the existing ground level house. The house will have a white stucco exterior finish. The existing landscaping appears to meet the Miami-Dade County Landscape Code and Town Supplemental Landscape Code requirements. Further landscaping improvements are always welcome.

## **PROJECT HISTORY**

The applicant submitted an initial set and revised set of plans that were reviewed by MMPA / Town staff for consistency with the Town Code requirements. Comments were given to the applicant each time and the current submitted plans are reflective of all requested changes.

## **COMPREHENSIVE PLAN / ZONING**

**Comprehensive Plan** – The property has a Future Land Use Map (FLUM) designation of "Low Density Residential". The maximum allowable base density is six (6) DUA. The proposed use and density of the property would be consistent with the applicable FLUM designation of the property.

***Michael Miller Planning Associates, Inc.***

**Town of Bay Harbor Islands  
Design Review Board Staff Report  
Single-Family Home @ 9655 West Broadview Drive – Building Addition & Renovations  
February 11<sup>th</sup>, 2025  
Page 3**

**Land Development Regulations / Zoning Code** –The property has a Zoning Classification of RD Single Family Zoning District. The proposed use and density of the property is consistent with this zoning classification. The following Zoning and Planning sections of the Code apply to this proposal: Section 23-3 (Use Regulations RD Single-Family District), Section 23-9 (Minimum Size of Living Units), Section 23-10 (Minimum Size of Building Lot), Section 23-11(A) (Land Development Regulations RD Single-Family Area) and Section 23-12 (Land Development Regulations General Provisions). In addition, the Town has separate regulations for landscaping, building material regulations, and other items.

**PLATTING**

The site will not require re-platting, as the site is currently platted as described above (single lot).

**SUMMARY / SITE PLAN COMMENTS**

The latest Site Development Plans submitted for the construction of a new 2<sup>nd</sup> Story 900 square foot building addition, a roof deck, and interior modifications to an existing single-story single-family home located at 9655 West Broadview Drive meet or exceed all Town Land Development and Landscape Code requirements, except for those features that are deemed grandfathered mentioned herein. The applicant submitted plans that were reviewed and commented on by MMPA / Town Staff and all previous comments and issues have been addressed by the current revised plans.

The following conditions of approval are recommended:

- 1) This approval is based on the latest revised plans prepared by Eduardo Vasquez from the EAV / BTB, LLC architectural firm, received by the Town Feb. 4<sup>th</sup>, 2025, with any modifications required by the Design Review Board (DRB). Any future modifications to the above plans shall be reviewed by Town staff / MMPA and may require re-approval by the Design Review Board if felt to be substantial.



TOWN OF BAY HARBOR ISLANDS  
DESIGN REVIEW BOARD

**(NEW SUBMITTAL)**

TO ENSURE EFFICIENT PROCESSING OF YOUR APPLICATION, PLEASE  
MAKE SURE THIS FORM IS FILLED OUT COMPLETELY.

PROCESS NUMBER SPR24-000026  
DRB APPLICATION FEE - \$350.00

**APPLICANT INFORMATION (IF DIFFERENT THAN PROPERTY OWNER)**

Name JACK Osman Contact Number \_\_\_\_\_  
Address 9655 W. Broadview Drive  
City Bay Harbor Islands State FL Email Address jack@theosmans.com

**OWNER / PROPERTY INFORMATION**

Name JACK & Orit Osman Address 9655 W Broadview Drive  
Folio# 13-2227-001-6300 Lot \_\_\_\_\_ Block \_\_\_\_\_

**DESCRIPTION OF PROPOSED USE / REQUEST**

2nd story Addition  
Landscaping & Driveway will remain as existing

PLEASE READ AND SIGN BELOW

I hereby attest that the information on this application form is, to the best of my knowledge, true and accurate. I understand that my plans must be reviewed and approved by staff prior to being placed on the agenda.

Date: 11/7/2024 Signature of Applicant: \_\_\_\_\_

I hereby grant permission for members of the Town of Bay Harbor Islands Design Review Board, Town Council, and Town Staff to enter the above described property (or as described in the attached) for the purposes of gathering information related to this application/request/proposal.

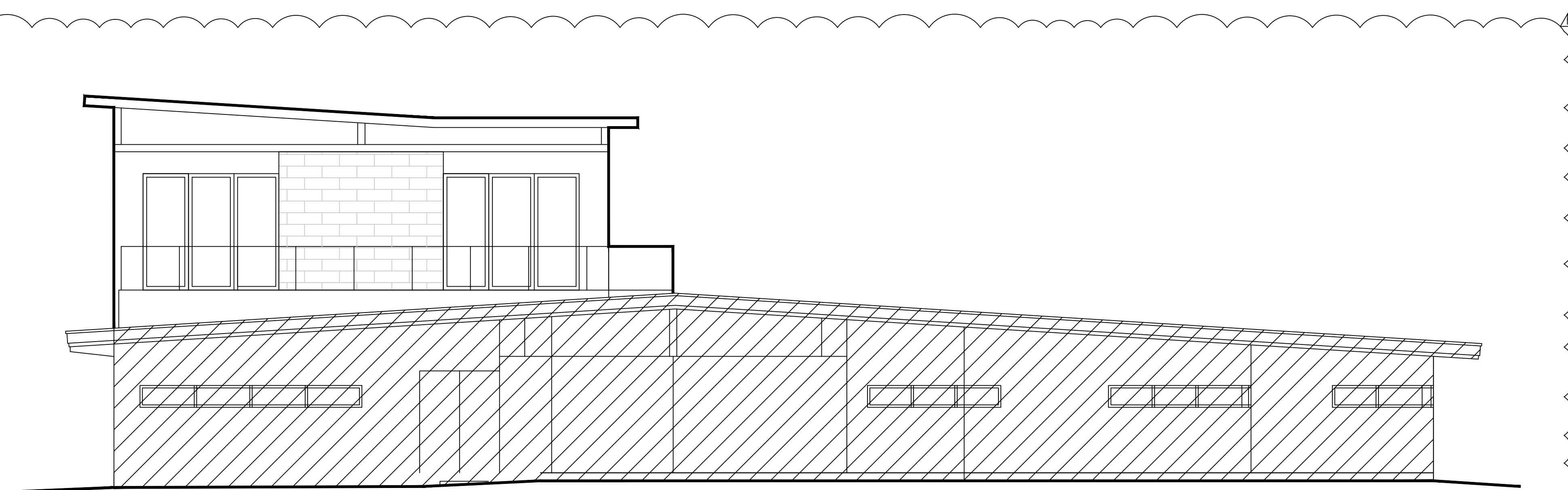
Date: 11/7/2024 Signature of Owner: \_\_\_\_\_

I hereby agree to reimburse the Town of Bay Harbor Islands for all professional planning and legal fees that are incurred on behalf of the Town while reviewing and/or considering this application. These fees include reviews by the Town's planner of record and zoning attorney. The Town may also require reviews from other outside professional services. The Town of Bay Harbor Islands will provide an itemized bill of professional costs incurred while reviewing and/or considering this application. Building permits and/or final occupancy permits will not be issued until the itemized bill is paid in full to the Town of Bay Harbor Islands.

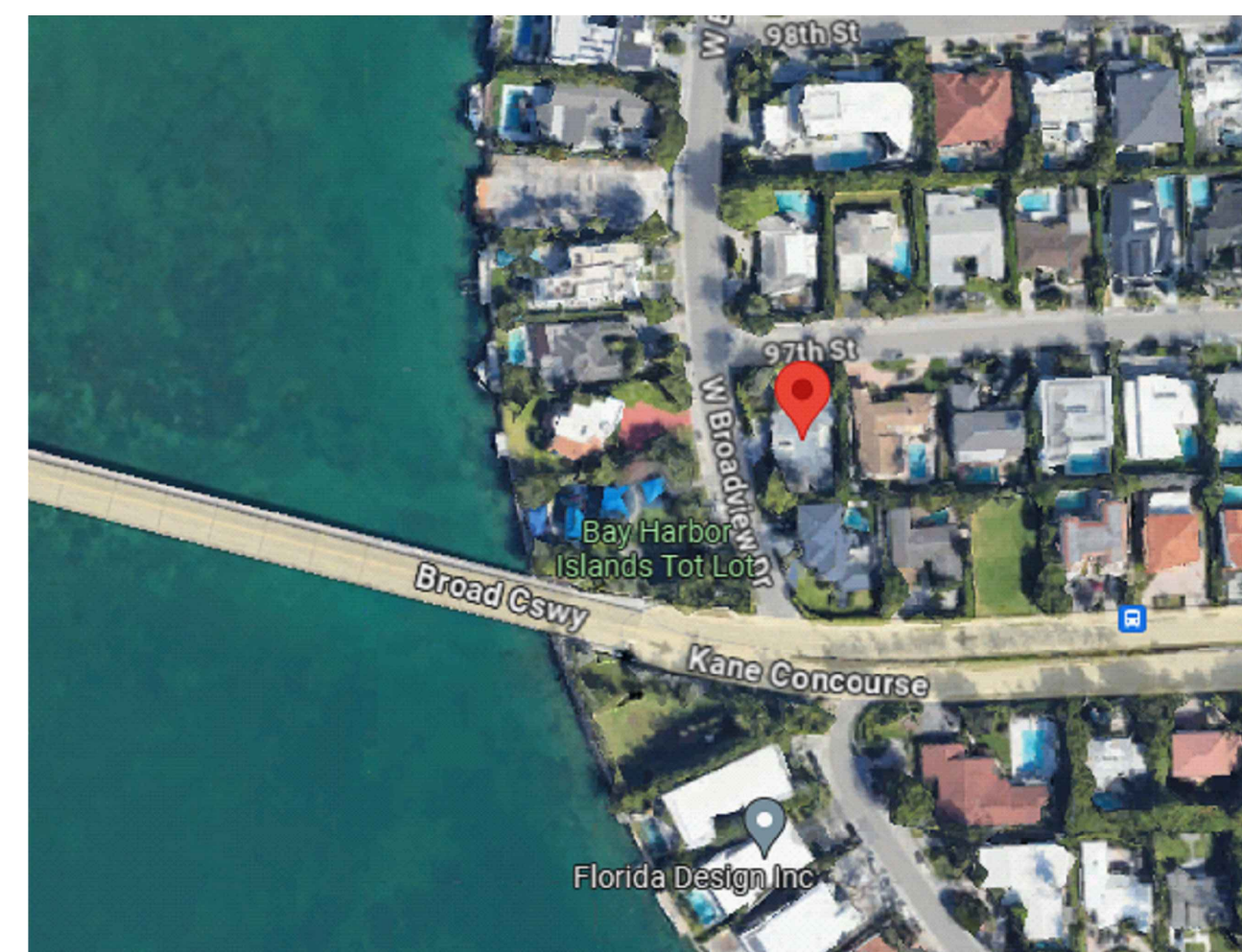
Date: 11/7/2024 Signature of Applicant: \_\_\_\_\_

**NOTE:** If any application is disapproved, the Design Review Board shall detail in its findings the criterion or criteria that are not met. The action taken by the Board shall be reduced to writing, signed by the Chairman, and a copy thereof made available to the applicant upon request. Any action taken by the Design Review Board may be appealed to the Town Council, whose decision on appeal shall be final.

# DESIGN SUBMITTAL



PROJECT LOCATED AT:  
9655 W BROADWAY DRIVE  
BAY HARBOR ISLANDS, FL  
33154



9655 W BROADVIEW DR  
BAY HARBOR, FL



EAV / BTD LLC.  
6425 Biscayne Blvd., Suite 103  
Miami, FL 33138  
7.305.796.4565  
7.305.756.9697  
www.bigtrivedesignstudio.com

EDUARDO ALBERTO VAZQUEZ - AR 0014369

ARCHITECTURE

PROJECT TEAM:

PROJECT DESCRIPTION:

RESIDENTIAL SECOND  
FLOOR ADDITION

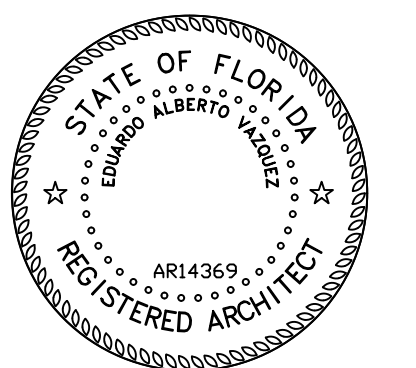
PROJECT ADDRESS:

9655 W BROADVIEW DRIVE  
BAY HARBOR ISLAND, FL

OWNER:

JACK AND ORIT OSMAN

SEAL / SIGNATURE / DATE:



Eduardo A. Vazquez, R.A.  
AR 14369

REVISIONS

DESIGN SUB. 1.10.24

KEY:

INDEX

SCALE: AS SHOWN

PROJECT NUMBER: \*

DATE ISSUED: MAY 5TH 2024

DRAWN: JV

CHECKED: EAV

SHEET:

A0.1



9640 W BROADVIEW DR



9700 W BROADVIEW DR



9701 W BROADVIEW DR



9601 W BROADVIEW DR



EAV / BTD LLC.  
8425 Biscayne Blvd., Suite 103  
Miami, FL 33138  
T: 305.756.4566  
F: 305.756.6667  
www.bigtimebigdesignstudio.com

EDUARDO ALBERTO VAZQUEZ - AR 0014369  
ARCHITECTURE

PROJECT TEAM:

PROJECT DESCRIPTION:

RESIDENTIAL SECOND FLOOR ADDITION

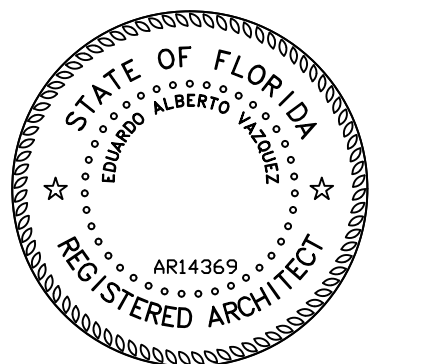
PROJECT ADDRESS:

9655 W BROADVIEW DRIVE  
BAY HARBOR ISLAND, FL

OWNER:

JACK AND ORIT OSMAN

SEAL / SIGNATURE / DATE:



Eduardo A. Vazquez, R.A.  
AR 14369

REVISIONS

DESIGN SUB. 1.10.24

KEY:

NEIGHBORING BUILDINGS

SCALE: AS SHOWN

PROJECT NUMBER: \*

DATE ISSUED: MAY 5TH 2024

DRAWN: JV

CHECKED: EAV

SHEET:

A0.2



9655 W BROADVIEW DRIVE PROPOSED FRONT VIEW

**EAV / BTD L.L.C.**  
 8425 Biscayne Blvd., Suite 103  
 Miami, FL 33138  
 T: 305.756.4564  
 F: 305.756.4567  
 www.bigtimebigideas.com

**EDUARDO ALBERTO VAZQUEZ - AR 0014369**  
 ARCHITECTURE

**PROJECT TEAM:**

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**PROJECT DESCRIPTION:**

RESIDENTIAL SECOND FLOOR ADDITION

**PROJECT ADDRESS:**

9655 W BROADVIEW DRIVE  
 BAY HARBOR ISLAND, FL

**OWNER:**

JACK AND ORIT OSMAN

**SEAL / SIGNATURE / DATE:**

Eduardo A. Vazquez, R.A.  
 AR 14369

**REVISIONS**

AR	DESIGN SUB. 1.10.24

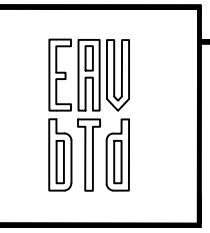
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**PROJECT NUMBER:** \*  
**DATE ISSUED:** MAY 5TH 2024  
**DRAWN:** JV  
**CHECKED:** EAV  
**SHEET:** A0.3



9655 W BROADVIEW DRIVE PROPOSED CORNER VIEW



**EAV / BTD LLC.**  
 8425 Biscayne Blvd., Suite 103  
 Miami, FL 33138  
 T: 305.756.4565  
 F: 305.756.4567  
 www.bigtimedesignstudio.com

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EDUARDO ALBERTO VAZQUEZ - AR 0014369  
**ARCHITECTURE**

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**PROJECT TEAM:**

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**PROJECT DESCRIPTION:**

**RESIDENTIAL SECOND FLOOR ADDITION**

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**PROJECT ADDRESS:**

**9655 W BROADVIEW DRIVE  
 BAY HARBOR ISLAND, FL**

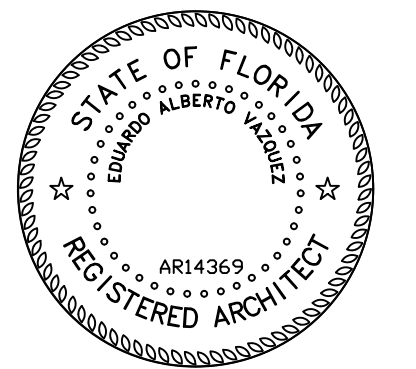
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**OWNER:**

**JACK AND ORIT OSMAN**

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**SEAL / SIGNATURE / DATE:**



Eduardo A. Vazquez, R.A.  
 AR 14369

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**REVISIONS**

R1	DESIGN SUB. 1.10.24

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**KEY:**

RENDERING

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SCALE: AS SHOWN  
 PROJECT NUMBER: \*  
 DATE ISSUED: MAY 5TH 2024  
 DRAWN: JV  
 CHECKED: EAV  
 SHEET:

R1  
 A0.4



9655 W BROADVIEW DRIVE PROPOSED FULL CORNERVIEW



EAV / BTD LLC.  
 8425 Biscayne Blvd., Suite 103  
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 T: 305.756.4565  
 F: 305.756.4567  
 www.bigtimeidesignstudio.com

EDUARDO ALBERTO VAZQUEZ - AR 0014369  
 ARCHITECTURE

PROJECT TEAM:

\_\_\_\_\_  
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PROJECT DESCRIPTION:

RESIDENTIAL SECOND  
 FLOOR ADDITION

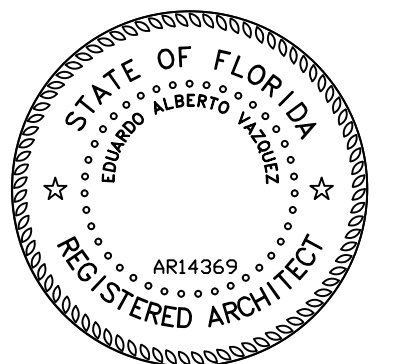
PROJECT ADDRESS:

9655 W BROADVIEW DRIVE  
 BAY HARBOR ISLAND, FL

OWNER:

JACK AND ORIT OSMAN

SEAL / SIGNATURE / DATE:



Eduardo A. Vazquez, R.A.  
 AR 14369

REVISIONS

AR DESIGN SUB. 1.10.24

KEY:

RENDERING

SCALE: AS SHOWN

PROJECT NUMBER: \*

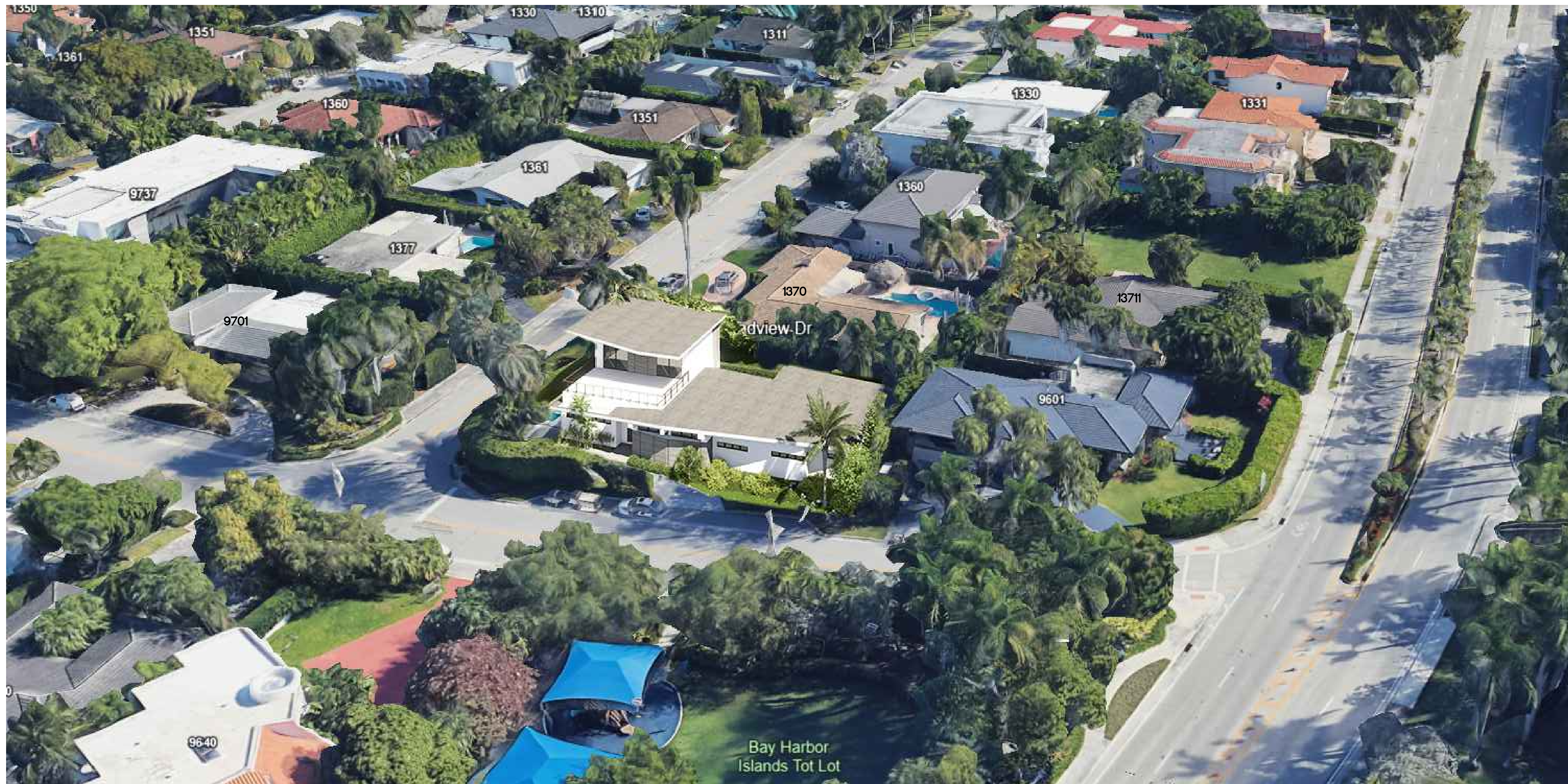
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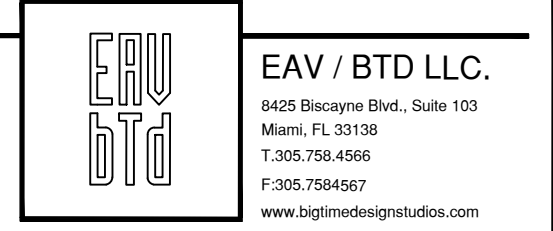
CHECKED: EAV

SHEET:

A0.5



9655 W BROADVIEW DRIVE PROPOSED ARIAL OVERVIEW



EAV / BTD LLC.  
 8425 Biscayne Blvd., Suite 103  
 Miami, FL 33138  
 T: 305.756.4565  
 F: 305.756.4567  
 www.bigtimedesignstudio.com

EDUARDO ALBERTO VAZQUEZ - AR 0014369  
 ARCHITECTURE

PROJECT TEAM

\_\_\_\_\_  
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PROJECT DESCRIPTION

RESIDENTIAL SECOND  
 FLOOR ADDITION

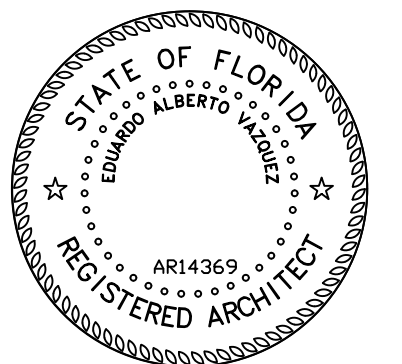
PROJECT ADDRESS

9655 W BROADVIEW DRIVE  
 BAY HARBOR ISLAND, FL

OWNER

JACK AND ORIT OSMAN

SEAL / SIGNATURE / DATE:



Eduardo A. Vazquez, R.A.  
 AR 14369

REVISIONS

AR DESIGN SUB. 1.10.24

KEY:

RENDERING

SCALE: AS SHOWN

PROJECT NUMBER: \*

DATE ISSUED: MAY 5TH 2024

DRAWN: JV

CHECKED: EAV

SHEET:

RENDERING

**PROJECT TEAM:**

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**PROJECT DESCRIPTION:**

**RESIDENTIAL SECOND FLOOR ADDITION**

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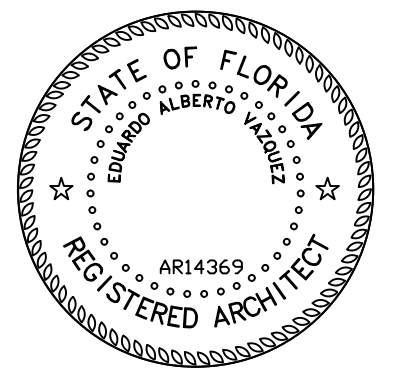
**PROJECT ADDRESS:**

**9655 W BROADVIEW DRIVE  
 BAY HARBOR ISLAND, FL**

**OWNER:**

**JACK AND ORIT OSMAN**

**SEAL / SIGNATURE / DATE:**



Eduardo A. Vazquez, R.A.  
 AR 14369

**REVISIONS**

▲ DESIGN SUB. 1.10.24  
 ▲ DESIGN SUB. COMS. 1.27.25

**KEY:**

**SITE PLAN**

**SCALE:** AS SHOWN

**PROJECT NUMBER:** \*

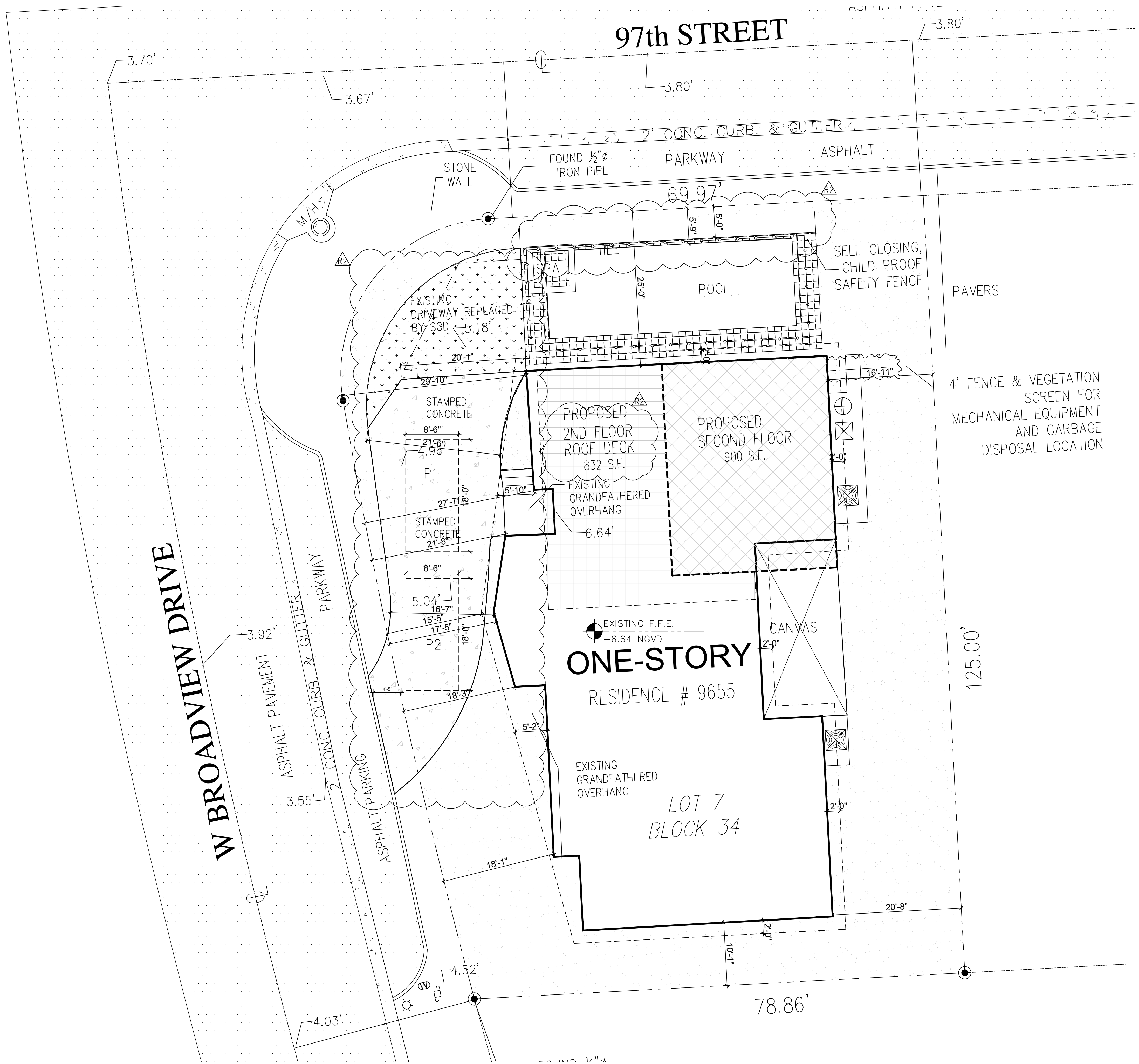
**DATE ISSUED:** MAY 5TH 2024

**DRAWN:** JV

**CHECKED:** EAV

**SHEET:**

**A1.0**



**LEGEND:**

ENCLOSED EXISTING HOUSE	
ENCLOSED ADDITION/NEW ALL FLOORING TO MATCH 8.19 NGVD	
ENCLOSED ADDITION/NEW ALL FLOORING TO MATCH 5.65 N.G.V.D.	
24" X 48" CONCRETE SLABS W/ 5" TURF JOINT	
LANDSCAPE	
CONCRETE SLAB, STEPSTONES, STAIRS	
TINTED CONCRETE DRIVEWAY	

**SITE INFORMATION**

**ZONING:**

RD SINGLE FAMILY RESIDENTIAL DISTRICT  
 PROJECT IS LOCATED WITHIN ZONE "AE"-BASE FLOOD ELEVATION 8'-0" SUFFIX "L".

CONCRETE SLAB AND ALL CONCRETE PADS MUST HAVE A FFE OF 8.0 FEET NGVD.  
 OCCUPANCY GROUP:

IN ACCORDANCE WITH 2023 FLORIDA BUILDING CODE, THIS PROJECT IS CLASSIFIED GROUP R- RESIDENTIAL OCCUPANCY.  
 THIS PROJECT IS DESIGNATED AS FLUM (RESIDENTIAL LOW DENSITY)

**CONSTRUCTION TYPE:**  
 ACCORDING TO FBC 2023, CHAPTER 6 TABLES 601 AND 602, THE EXISTING STRUCTURE IS CLASSIFIED AS TYPE IIB (NONCOMBUSTIBLE CONSTRUCTION)

**UTILITIES**

WATER & SEWER:	MUNICIPAL SEWER SYSTEM
ELECTRIC:	F.P.L. CO.

**SET BACKS:**

	REQUIRED	PROVIDED
WEST (PRIM.FRONT GRANDFATHERED):	25'-0"	17'-5"
EAST (REAR GRANDFATHERED):	15'-0"	17'-0"
NORTH (FRONT/SIDE STREET):	25'-0"	25'-0"
SOUTH (SIDE GRANDFATHERED):	10'-0"	10'-0"

**SITE CALCULATION**

	S.F.	%
TOTAL SITE AREA	11,020	
AC AREA FIRST FLOOR	3,893	
A/C AREA SECOND FLOOR	900	
PROPOSED ENCLOSED AREA UNDER A/C	4,793	
EXTERIOR CONCRETE TERRACE, STEPS & CONCRETE PAVERS	3,490	
FRONT WALLS, FENCE BASE & DRIVEWAY ASPHALT	0	
POOL	556	
TOTAL IMPERVIOUS AREA	4,759	63
LANDSCAPE	4,481	34
TOTAL PERVIOUS AREA	4,050	37
PROPOSED ENCLOSED UNDER A/C	4,783	S.F.
EXISTING ENCLOSED UNDER A/C	3,893	S.F.
ENCLOSED ADDITION	900	S.F.

**BUILDING INFORMATION**

TOTAL BUILDING HEIGHT: 25'-0" ABOVE BFE

**LEGAL DESCRIPTION**

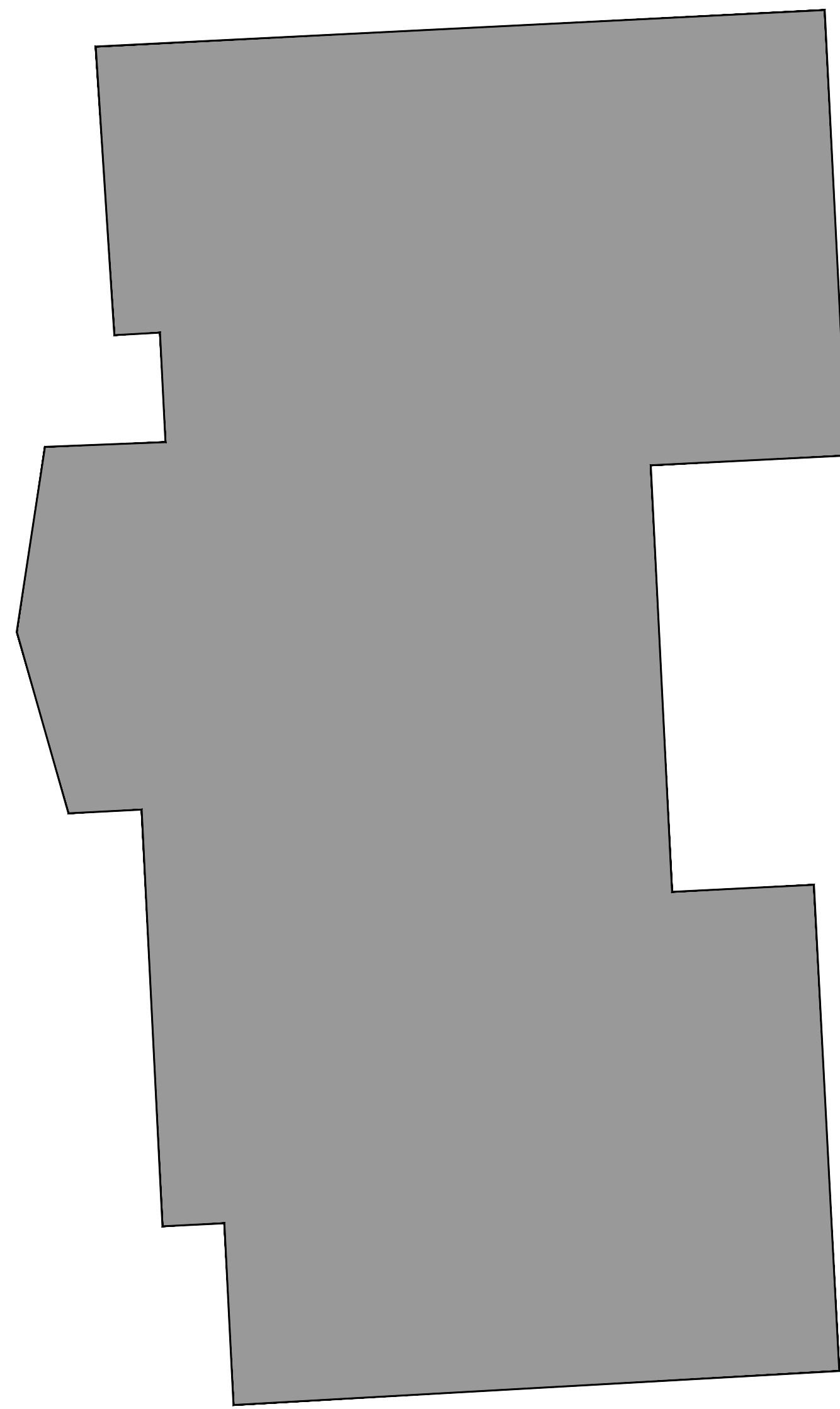
26-27-34-35 52 42  
 BAY HARBOR ISLAND PB 46-5  
 LOT 7 BLK 34  
 LOT SIZE 86,060 X 126  
 OR 21038-2088 02 2003 4  
 THE PUBLIC RECORDS OF MIAMI-DADE COUNTY,  
 FLORIDA.  
 FOLIO NUMBER: 13-2227-001-6300

**SITE PLAN**  
 SCALE: 1/8"=1'-0"

FIRST FLOOR 3,914 S.F.

GARAGE 0 S.F.

MAIN HOUSE: 3,914 S.F.  
TOTAL: 3,914 S.F.

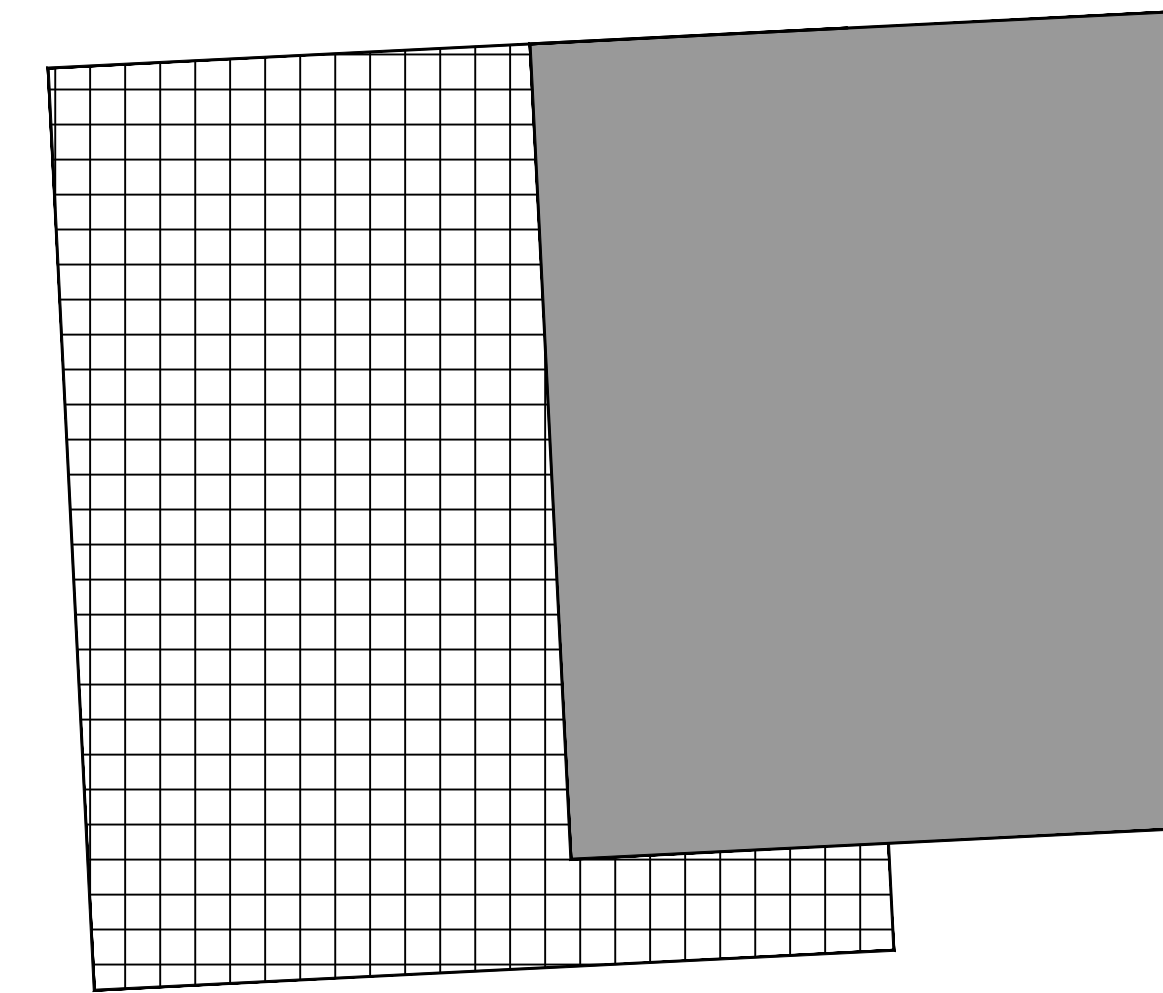


UNIT SIZE  
GROUND FLOOR  
SCALE: 1/8"=1'-0"

SECOND FLOOR 901 S.F.

ROOF DECK AREA 832 S.F.

SECOND FLOOR ADDITION



UNIT SIZE  
SECOND FLOOR  
SCALE: 1/8"=1'-0"



EAV / BTD LLC.  
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F: 305.756.6957  
www.bigtimedesigstudio.com

EDUARDO ALBERTO VAZQUEZ - AR 0014369

ARCHITECTURE

PROJECT TEAM:

PROJECT DESCRIPTION:

RESIDENTIAL SECOND  
FLOOR ADDITION

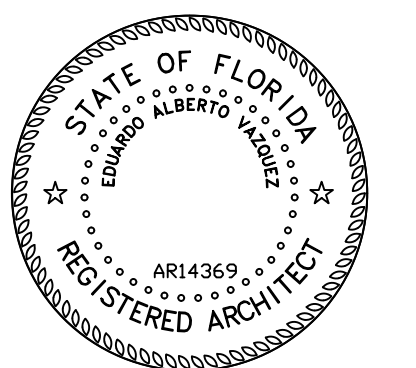
PROJECT ADDRESS:

9655 W BROADVIEW DRIVE  
BAY HARBOR ISLAND, FL

OWNER:

JACK AND ORIT OSMAN

SEAL / SIGNATURE / DATE:



Eduardo A. Vazquez, R.A.  
AR 14369

REVISIONS

DESIGN SUB. 1.10.24  
DESIGN SUB. COMS. 1.27.25

KEY:

UNIT SIZE

SCALE: AS SHOWN

PROJECT NUMBER: \*

DATE ISSUED: MAY 5TH 2024

DRAWN: JV

CHECKED: EAV

SHEET:

A1.1

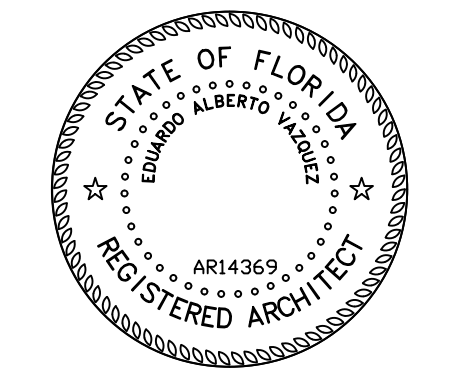
**PROJECT TEAM:**  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**PROJECT DESCRIPTION:**  
 RESIDENTIAL SECOND FLOOR ADDITION

**PROJECT ADDRESS:**  
 9655 W BROADVIEW DRIVE  
 BAY HARBOR ISLAND, FL

**OWNER:**  
 JACK AND ORIT OSMAN

**SEAL / SIGNATURE / DATE:**



Eduardo A. Vazquez, R.A.  
 AR 14369

**REVISIONS**  
 A DESIGN SUB. 1.10.25  
 B DESIGN SUB. COMS. 1.27.25

**KEY:**  
 PERVIOUS +  
 IMPERVIOUS

**SCALE:** AS SHOWN  
**PROJECT NUMBER:** \*  
**DATE ISSUED:** MAY 5TH 2024  
**DRAWN:** JV  
**CHECKED:** EAV

**SHEET:** A1.2

GRASS (PERVIOUS) 1,770 S.F.  
 PAVERS (IMPERVIOUS) 1,343 S.F.

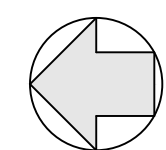
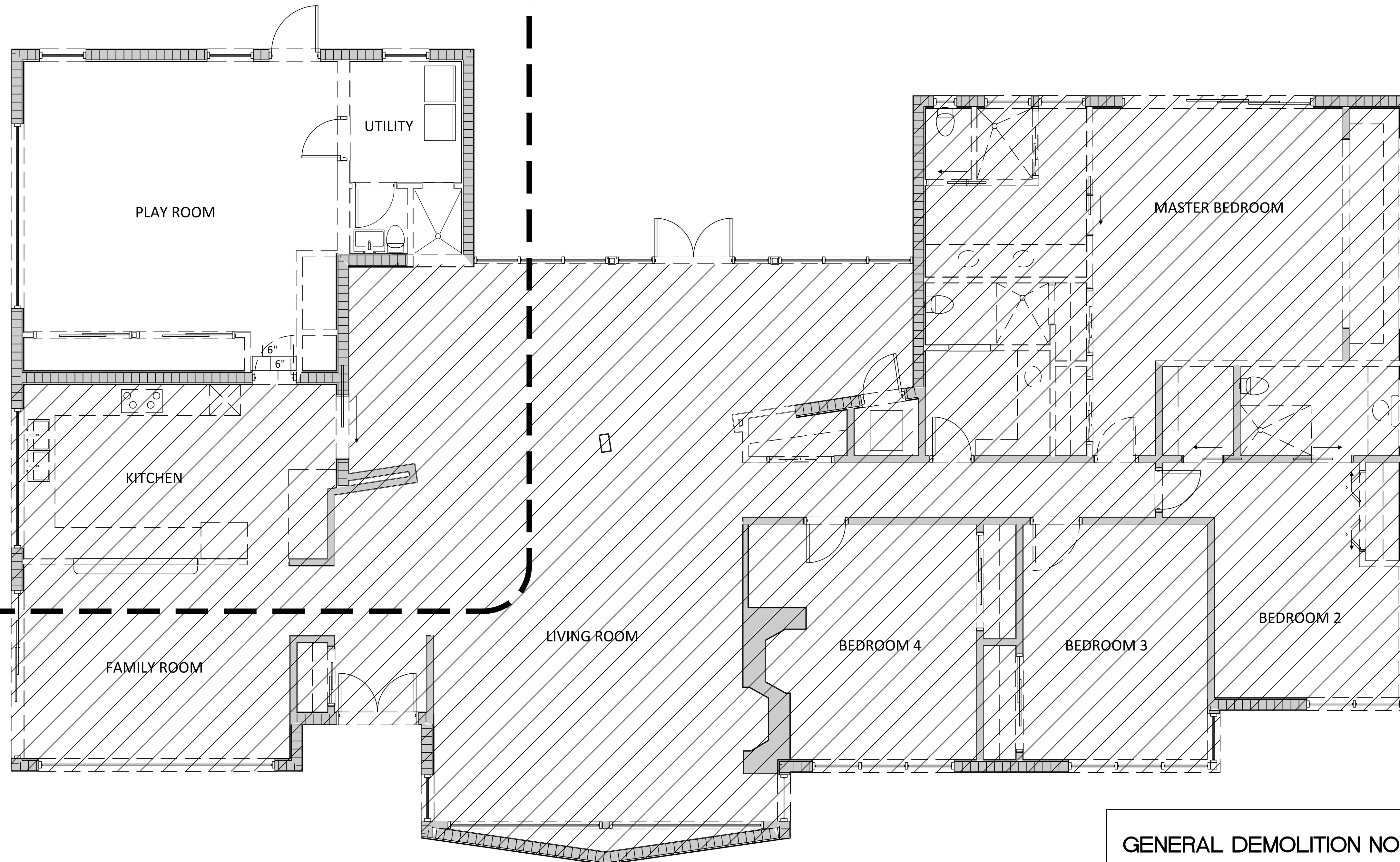
FRONT SETBACK AREA: 3,113 S.F.  
 PROVIDED PERVIOUS AREA: 1,770 S.F. (57 %)

SITE PLAN  
 TOTAL AREA: 11,020 S.F.  
 HALF OF POOL ADDED TO EACH (556 TOTAL)  
 IMPERVIOUS AREA: 6,262 S.F. (56.8%)  
 PERVIOUS AREA: 4,758 S.F. (43.2 %)



**SITE PLAN**  
 SCALE: 1/8"=1'-0"

AREA OF WORK C



**EXISTING/ DEMO GROUND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**LEGEND:**

- EXISTING CONCRETE BLOCK WALL
- EXISTING PARTITION
- CONCRETE BLOCK WALL TO BE REMOVED
- PARTITION TO BE REMOVED

**NOTES:**

G.C. SHALL PATCH AND/OR REPAIR ALL WALLS, FLOOR AND CEILING FINISHES TO EXISTING CONDITION DEEDED DAMAGED DURING PROGRESS OF EXECUTION OF PROPOSED WORK. ALL FINISHED SHALL MATCH EXISTING

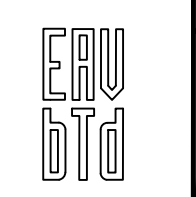
G.C. SHALL TAKE PRECAUTION TO MINIMIZE DAMAGING EXISTING FINISHES ON THE EXTERIOR AND INTERIOR AS MUCH AS POSSIBLE. IT SHALL BE THE RESPONSIBILITY ON THE G.C. TO REPAIR ALL DAMAGED EXISTING FINISHED DURING THE EXECUTION

**NOTES:**

WINDOWS AND DOORS UNDER SEPARATE PERMIT

**GENERAL DEMOLITION NOTES**

1. GENERAL CONTRACTOR MUST CAP AND IDENTIFY EXPOSED UTILITIES.
2. GENERAL CONTRACTOR TO PROVIDE PERMITS AND NOTICES AUTHORIZING DEMOLITION.
3. GENERAL CONTRACTOR TO PROVIDE PERMIT FOR TRANSPORT AND DISPOSAL OF DEBRIS
4. GENERAL CONTRACTOR MUST SUBMIT A SCHEDULE FOR DEMOLITION PROCEDURES AND OPERATIONAL SEQUENCE FOR REVIEW & ACCEPTANCE BY ARCHITECT/ENGINEER.
5. GENERAL CONTRACTOR MUST SUBMIT A SCHEDULE SHOWING TIME OF DAY AREA AND MEANS OF TRAVEL THROUGH PREMISES FOR DISPOSAL OF DEBRIS.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE, AND ASSUME LIABILITY FOR DAMAGE OR INJURY RELATED TO ANY PORTION OF THE WORK.
7. GENERAL CONTRACTOR MUST CEASE OPERATIONS AND NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY, IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
8. GENERAL CONTRACTOR MUST, EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE UNLESS OTHERWISE NOTIFIED.
9. GENERAL CONTRACTOR MUST ERECT AND MAINTAIN DUST PROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES AND SMOKE TO OTHER PARTS OF THE BUILDING. UPON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
10. GENERAL CONTRACTOR SHALL DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS.
11. GENERAL CONTRACTOR SHALL PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
12. GENERAL CONTRACTOR SHALL REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO THE OWNER.
13. GENERAL CONTRACTOR SHALL REMOVE FROM SITE, CONTAMINATED, VERMIN INFESTED OR DANGEROUS MATERIALS ENCOUNTERED AND DISPOSE OF BY SAFE MEANS SO AS NOT TO ENDANGER HEALTH OF WORKERS AND PUBLIC.



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F: 305.756.9567  
www.bigtimearchitecture.com

EDUARDO ALBERTO VAZQUEZ - AR 0014369  
ARCHITECTURE

**PROJECT TEAM:**

**PROJECT DESCRIPTION:**

**RESIDENTIAL SECOND FLOOR ADDITION**

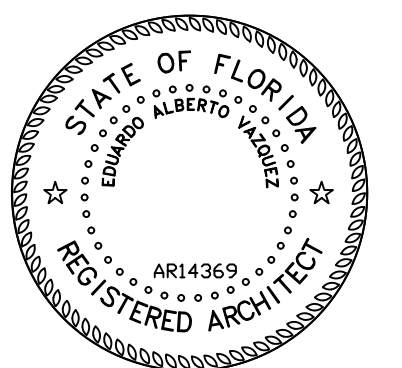
**PROJECT ADDRESS:**

**9655 W BROADVIEW DRIVE  
BAY HARBOR ISLAND, FL**

**OWNER:**

**JACK AND ORIT OSMAN**

**SEAL / SIGNATURE / DATE:**



Eduardo A. Vazquez, R.A.  
AR 14369

**REVISIONS**

DESIGN SUB. 1.10.24

**KEY:**

**EXISTING GROUND FLOOR PLAN**

SCALE: AS SHOWN

PROJECT NUMBER: \*

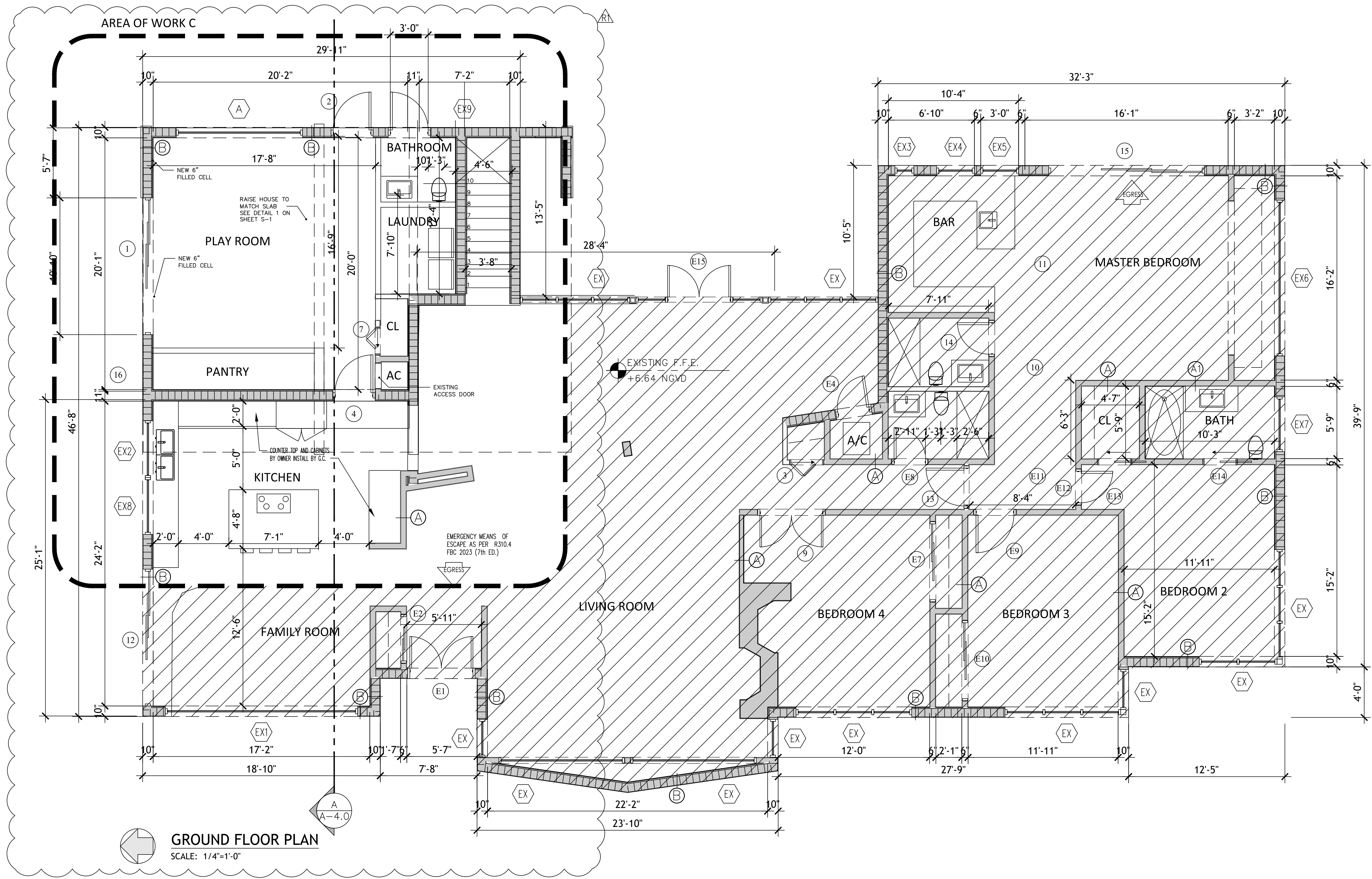
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DRAWN: JV

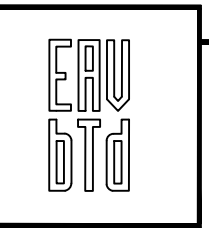
CHECKED: EAV

SHEET:

**A2.0**



**GROUND FLOOR PLAN**  
SCALE: 1/4"=1'-0"



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6425 Biscayne Blvd., Suite 103  
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7.305.756.9567  
www.bigtrivedesignstudio.com

---

EDUARDO ALBERTO VAZQUEZ - AR 0014369  
ARCHITECTURE

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**PROJECT TEAM**

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**PROJECT DESCRIPTION**

**RESIDENTIAL SECOND FLOOR ADDITION**

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**PROJECT ADDRESS**

**9655 W BROADVIEW DRIVE  
BAY HARBOR ISLAND, FL**

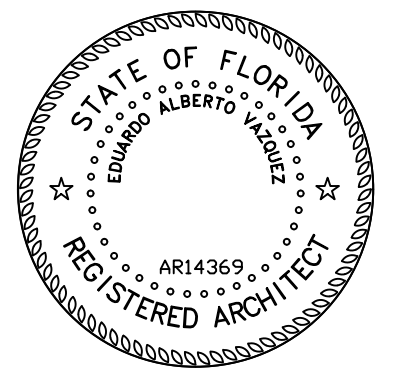
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**OWNER**

**JACK AND ORIT OSMAN**

---

**SEAL / SIGNATURE / DATE:**



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Eduardo A. Vazquez, R.A.  
AR 14369

---

**REVISIONS**

▲ DESIGN SUB. 1.10.24

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**KEY:**

**PROPOSED GROUND FLOOR PLAN**

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SCALE: AS SHOWN  
PROJECT NUMBER: \*  
DATE ISSUED: MAY 5TH 2024  
DRAWN: JV  
CHECKED: EAV  
SHEET:

A2.1



**PROJECT TEAM:**

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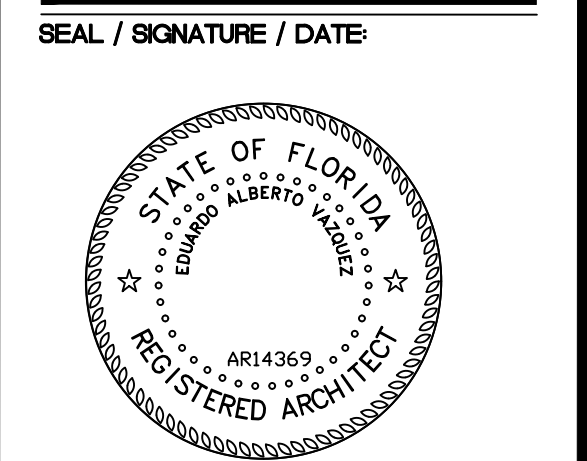


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**PROJECT DESCRIPTION:**  
**RESIDENTIAL SECOND FLOOR ADDITION**

**PROJECT ADDRESS:**  
**9655 W BROADVIEW DRIVE  
 BAY HARBOR ISLAND, FL**

**OWNER:**  
**JACK AND ORIT OSMAN**



Eduardo A. Vazquez, R.A.  
 AR 14369

**REVISIONS**  
 A DESIGN SUB. 1.10.24

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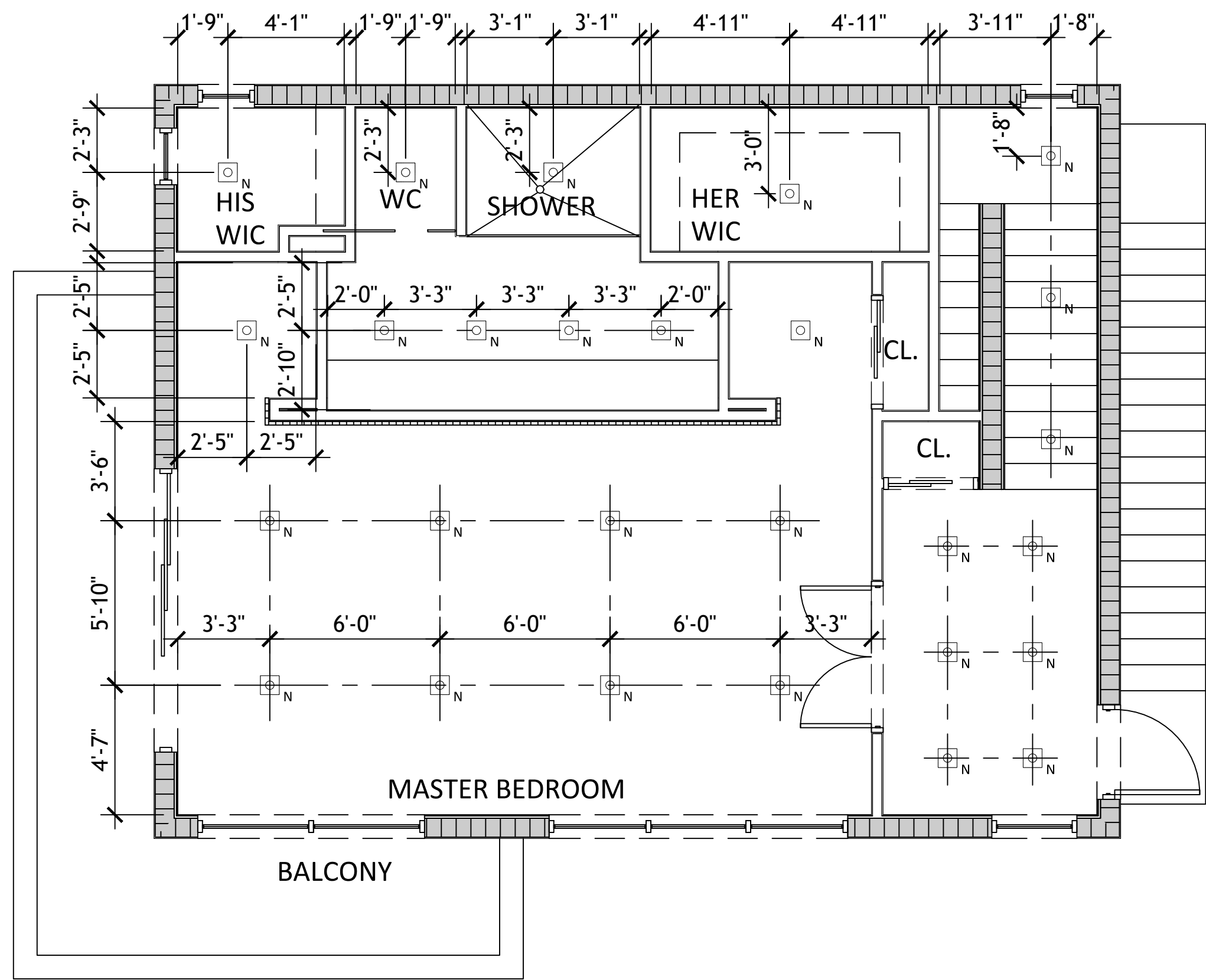
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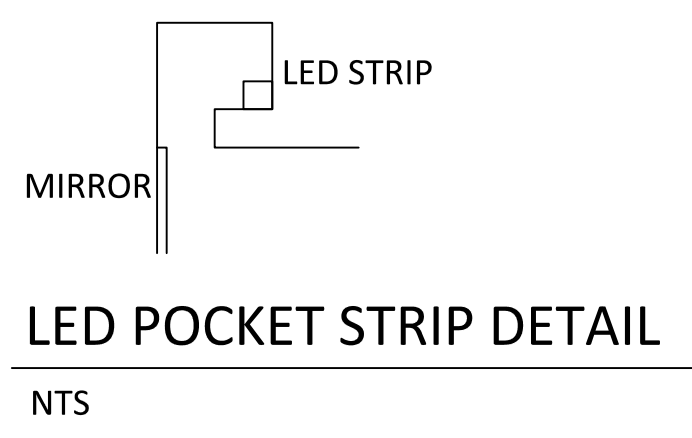
**PROPOSED SECOND FLOOR RCP**

**SCALE:** AS SHOWN  
**PROJECT NUMBER:** \*  
**DATE ISSUED:** MAY 5TH 2024  
**DRAWN:** JV  
**CHECKED:** EAV  
**SHEET:**

**A2.3**



- LEGEND:**
- CARBON MONOXIDE SMOKE DETECTOR
  - SMOKE DETECTOR
  - RECESSED LIGHTING FIXTURE
  - WALL LIGHTING FIXTURE
  - BATHROOM EXTRACTOR FANS
  - SEMI-RECESSED LIGHTING FIXTURE IN SLAB
  - LED STRIP
  - FLORESCENT LIGHTING FIXTURE
  - AIR CONDIONING UNIT
  - PENDENT LIGHTING FIXTURE
  - BATHROOM WALL LIGHTING FIXTURE
  - (E) EXISTING
  - (N) NEW



**PROPOSED SECOND FLOOR RCP**  
 SCALE: 1/4"=1'-0"

**2023 FLORIDA BUILDING CODE,  
 ENERGY CONSERVATION, EIGHTH EDITION**

CHAPTER 5 EXISTING BUILDINGS, SECTION R502 ALTERATIONS

- |   |   |
|---|---|
| <ol style="list-style-type: none"> <li>1. Building envelope assemblies that are part of the alteration shall comply with Section R402.1.2 or R402.1.4, Sections R402.2.1 through R402.2.13, R402.3.1, R402.3.2, R402.4.3 and R402.4.5.</li> <li>2. Where some or all of an existing fenestration unit is replaced with a new fenestration product, including sash and glazing, the replacement fenestration unit shall meet the applicable requirements for U-factor and SHGC as provided in Table R402.1.2. Where more than one replacement fenestration unit is being installed, an area-weighted average of the U-factor and/or SHGC of all replacement fenestration units shall be permitted to be used to demonstrate compliance.</li> <li>3. New heating, cooling and duct systems that are part of the alteration shall comply with Sections R403.1, R403.2, R403.3 and R403.6.</li> <li>4. New service hot water systems that are part of the alteration shall comply with Section R403.4.</li> <li>5. New lighting systems that are part of the alteration shall comply with Section 404.1.</li> <li>6. Any nonconditioned or low-energy space that is altered to become conditioned space shall be required to be brought into full compliance with this code.</li> </ol> | <ol style="list-style-type: none"> <li>1. N/A NO NEW BUILDING ENVELOPE</li> <li>2. ALL NEW WINDOWS AND DOORS MUST COMPLY WITH TABLE R402.1.2 CLIMATE ZONE 1, NR U-FACTOR, CEILING MINIMUM R-VALUE: 30</li> <li>3. N/A NO NEW HEATING OR COOLING</li> <li>4. Mechanical system piping capable of carrying fluids above 105°F (41°C) or below 55°F (13°C) shall be insulated to a minimum of R-3.</li> <li>5. All permanently installed luminaires, excluding those in kitchen appliances, shall have an efficacy of at least 45 lumens-per-watt or shall utilize lamps with an efficacy of not less than 65 lumens-per-watt</li> <li>6. N/A NO NEW AIR CONDITIONED SPACES</li> </ol> |
|---|---|



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EDUARDO ALBERTO VAZQUEZ - AR 0014369  
 ARCHITECTURE

PROJECT TEAM

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PROJECT DESCRIPTION

RESIDENTIAL SECOND FLOOR ADDITION

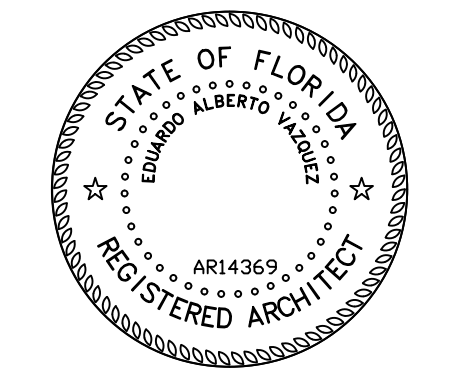
PROJECT ADDRESS

9655 W BROADVIEW DRIVE  
 BAY HARBOR ISLAND, FL

OWNER

JACK AND ORIT OSMAN

SEAL / SIGNATURE / DATE



Eduardo A. Vazquez, R.A.  
 AR 14369

REVISIONS

DESIGN SUB. 1.10.24

KEY:

ELEVATION

SCALE: AS SHOWN

PROJECT NUMBER: \*

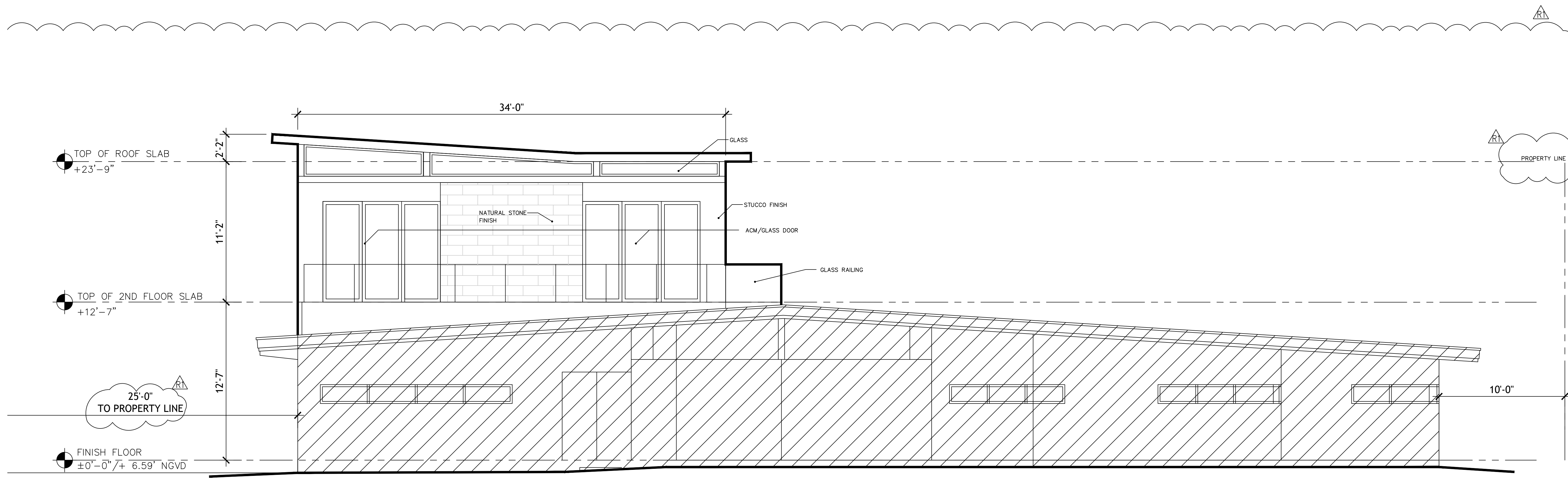
DATE ISSUED: MAY 5TH 2024

DRAWN: JV

CHECKED: EAV

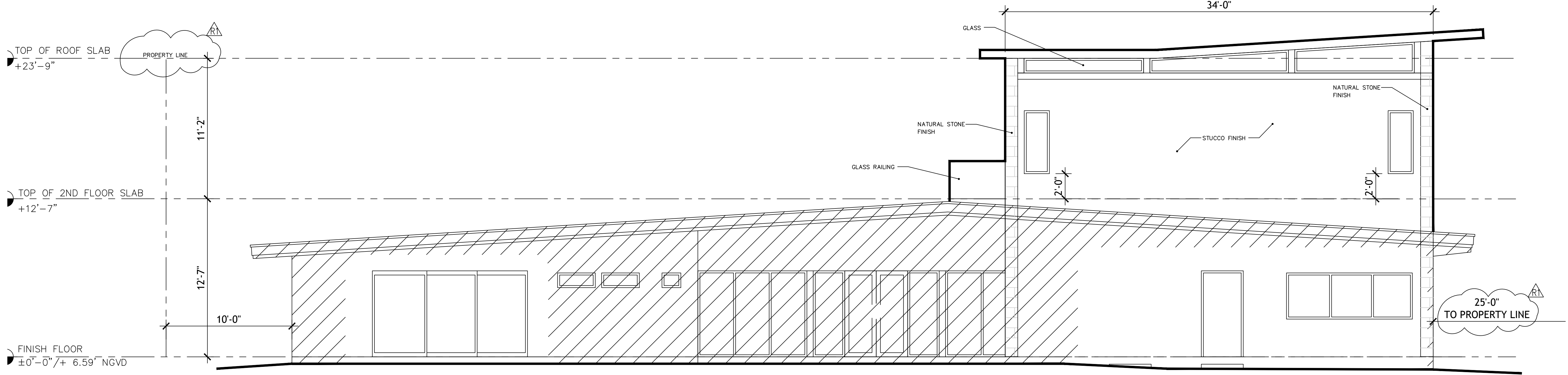
SHEET:

A3.0



WEST ELEVATION

SCALE: 1/4"=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"

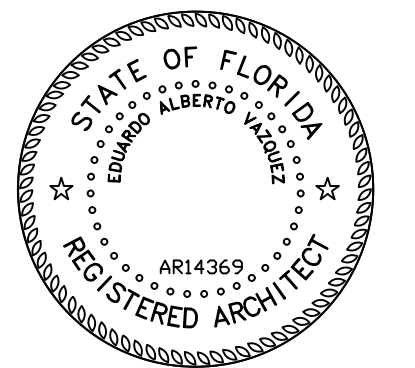
**PROJECT TEAM:**  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**PROJECT DESCRIPTION:**  
 RESIDENTIAL SECOND FLOOR ADDITION

**PROJECT ADDRESS:**  
 9655 W BROADVIEW DRIVE  
 BAY HARBOR ISLAND, FL

**OWNER:**  
 JACK AND ORIT OSMAN

**SEAL / SIGNATURE / DATE:**



Eduardo A. Vazquez, R.A.  
 AR 14369

**REVISIONS**

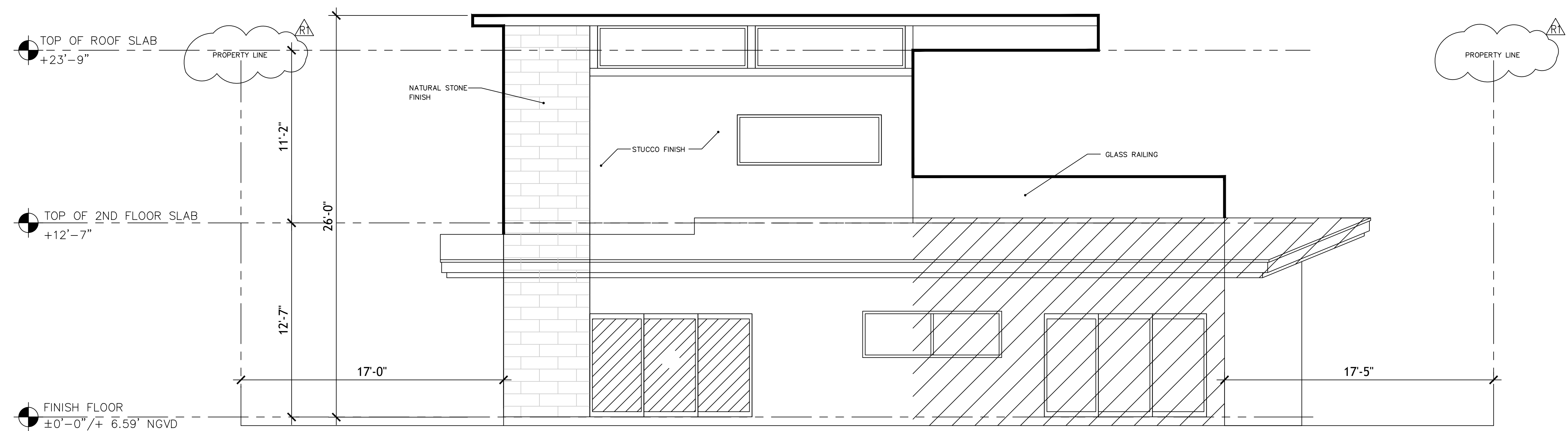
RT	DESIGN SUB. 1.10.24

**KEY:**

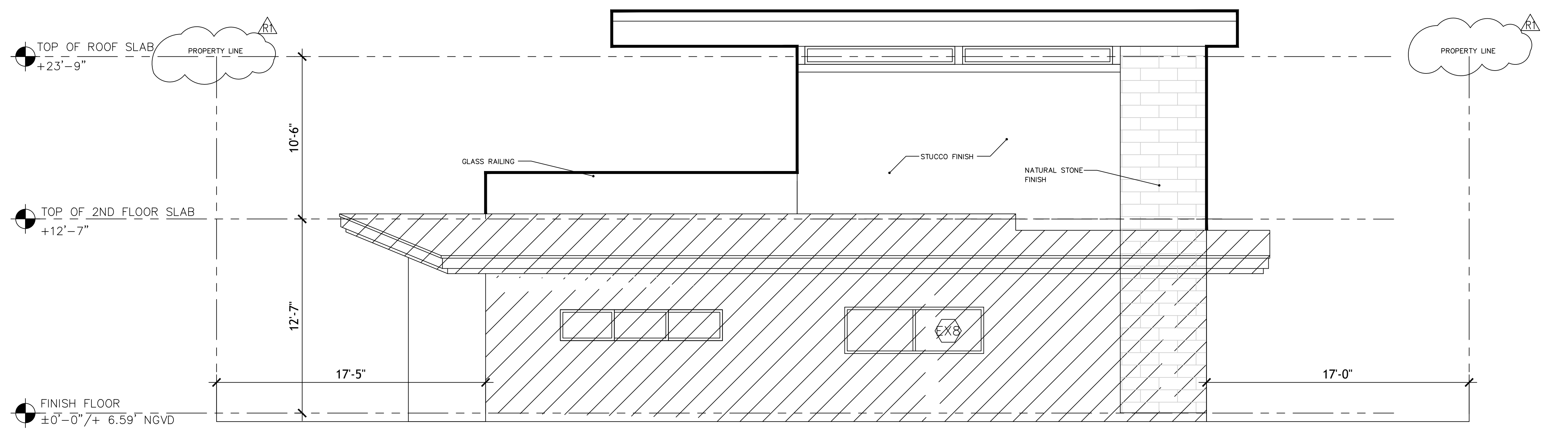
**ELEVATION**

**SCALE:** AS SHOWN  
**PROJECT NUMBER:** \*  
**DATE ISSUED:** MAY 5TH 2024  
**DRAWN:** JV  
**CHECKED:** EAV  
**SHEET:**

**A3.1**



**NORTH ELEVATION**  
 SCALE: 1/4"=1'-0"



**SOUTH ELEVATION**  
 SCALE: 1/4"=1'-0"

**PROJECT TEAM:**

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**PROJECT DESCRIPTION:**

RESIDENTIAL SECOND FLOOR ADDITION

---

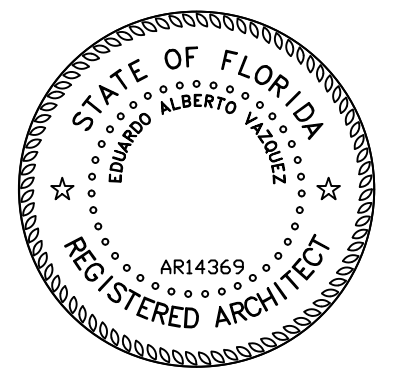
**PROJECT ADDRESS:**

9655 W BROADVIEW DRIVE  
 BAY HARBOR ISLAND, FL

**OWNER:**

JACK AND ORIT OSMAN

**SEAL / SIGNATURE / DATE:**



**REVISIONS**

△	DESIGN SUB.	1.10.24
△	DESIGN SUB.	COMS. 1.27.25

**KEY:**

COLORED ELEVATION

**SCALE:** AS SHOWN  
**PROJECT NUMBER:** \*  
**DATE ISSUED:** MAY 5TH 2024  
**DRAWN:** JV  
**CHECKED:** EAV  
**SHEET:**



**NORTH ELEVATION**  
 SCALE: 1/4"=1'-0"

- ① PAINTED STUCCO: CHINA WHITE OC-141
- ② DARK BRONZE ALUM. FRAME
- ③ STONE: OCEAN REEF WHITE, EXTRA BRUSHED
- ④ PAINTED TRIM AND FASCIA: COLLONADE GRAY SW 7641
- ⑤ FRONT DOOR: CAROLINA GULL BM 2138-40



**WEST ELEVATION**  
 SCALE: 1/4"=1'-0"

**COLOR NOTE:**  
 REFER TO ATTACHED DOCUMENT FOR COLOR CHIP INFORMATION.

**AGENDA ITEM REPORT**

March 4, 2025

**ITEM NUMBER: 2.**

**ITEM:** Request for approval for a new multi-family dwelling for "West Bay Harbor 9761, LLC" located at 9761 West Bay Harbor Drive, Lot 8 of Block 22. The developer is proposing to construct a new five (5) dwelling unit "townhouse" development. The proposed site design incorporates one rectangular-shaped building positioned north / south on the site. The proposed building will have three (3) stories in height with two (2) floors of residential over one (1) floor (grade) of a garage with two bedrooms / bathrooms elevated to DFE @ 32'-10" feet above BFE + 1' FBC freeboard. The proposed dwelling units will range from 2,735 to 3,076 square feet of A/C space plus garages, balconies, etc. On the buildings' rooftop are five (5) proposed individual recreation areas with a plunge pool, half bathroom, lounge chair area and expansive open terrace. The proposed building will not require any TDR's. Enclosed please find the site plan and elevations. Item #2.

**DESCRIPTION:**

for the purpose of hearing any public comment with respect to an application for site plan approval at 9761 West Bay Harbor Drive.

**RECOMMENDED ACTION:**

The design meets the Town Code and was approved by the Development Review Committee.

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**FINANCIAL ANALYSIS:**

**BUDGET IMPACT:**

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Submitted By:           Ayanidys Martinez  
                                  Ayanidys Martinez

**ATTACHMENTS**

1.	BHI 9761 WBHD TH DRB Staff Report Feb 22 2025
2.	SPR24-000021 DRC Application 9761 WBH Drive
3.	9761 Sewer System Capacity
4.	9761 West Bay Harbor Arborist Report
5.	Impact Analysis Report Format
6.	9761 WBH Drive DRB Set 3.4.2025



**TOWN OF BAY HARBOR ISLANDS  
COMMUNITY DEVELOPMENT  
MEMORANDUM**

---

**To:** Design Review Board (DRB)  
Town of Bay Harbor Islands

**From:** Michael J. Miller, AICP *MJM*  
Consultant Town Planner

**Date:** February 20<sup>th</sup>, 2025

**Subject:** Site Development Plan Application  
Bay Harbor Luxury Townhomes - 5 DU Complex  
9761 West Bay Harbor Drive  
Bay Harbor Islands Acct. No. SPR2024-000021  
MMPA Acct. No. 01-0702-1196

---

**RECOMMENDED ACTION**

MMPA recommends the Design Review Board (DRB) review the most recent revised plans dated December 20<sup>th</sup>, 2024 (DRC final sign off 1/14/25), and if found acceptable, as submitted or with modifications, **APPROVE** the Site Development Plan subject to any staff recommended conditions listed herein, or any additional changes / conditions felt to be necessary by the DRB.

---

**GENERAL PROJECT INFORMATION**

**Land Use Designation:** MH – Medium-High Density Residential  
**Zoning District:** RM-2 Multiple Family District  
**General Location:** 9761 West Bay Harbor Drive  
**Legal Description:** Lot 8 of Block 22, "Bay Harbor Island" Subdivision, according to the plat thereof, as recorded in Plat Book 46, at Page 5 of the Public Records of M-D County.

**PROJECT DESCRIPTION**

The project architect, Orlando Castro, as agent for the owner (West Bay Harbor 9761, LLC) has submitted a Site Development Plan application to allow for the construction of a luxury five (5) dwelling unit "townhouse" development (original submittal had 6 DU) located at 9761 West Bay Harbor Drive. The proposed dwelling units will range between 2,735 to 3,076 square feet of A/C space plus garages, balconies, etc. The lot is currently developed with a one-story / 2 DU

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**Site Development Plan Application (#3 DRC Review)  
Bay Harbor Luxury Townhomes  
9761 West Bay Harbor Drive  
Design Review Board (DRB)  
February 20<sup>th</sup>, 2025  
Page 2**

duplex complex. Therefore, the net increase will be 3 DU. The proposed site design incorporates one (1) rectangular-shaped building positioned north / south on the site. Most of the "front doors" of the proposed dwelling units will face west (4 units) onto West Bay Harbor Drive while one (1) DU will face north onto 98<sup>th</sup> Street. Four (4) direct driveway connections along West Bay Harbor Drive and one (1) driveway connection along 98<sup>th</sup> Street are proposed. The driveways are straight-in driveways dimensioned at 18' in width. There are existing non-conforming parallel parking spaces adjoining the lot in the Town's right-of-way along West Bay Harbor Drive and 98<sup>th</sup> Street. Per Code these must be removed and proper swales created for drainage and landscaping.

On the building rooftops are five (5) proposed individual recreation areas, each with a plunge pool, half-bathroom, lounge chair area and expansive open terrace. The proposed new building is 3-stories in height with two (2) floors of residential over one (1) floor (grade) of a garage with two (2) bedrooms / bathrooms elevated to DFE @ 32'-10" feet above BFE + 1' FBC freeboard. There are stair towers to the roof that are shown.

The M-D County Property Appraiser's records indicate that the lot is currently developed as a one-story residential duplex complex with a total of 2 DU. The project survey shows the lot size as 11,116 sq.ft./ 0.2557 acres (slightly smaller due to corner lot area loss). Based on the above this would allow a maximum of nine (9) dwelling units on the property at the maximum allowable base density (34 DUA). The revised proposal is to build five (5) residential units (19.6 DUA) which would not require the developer to obtain any TDR units (none being requested). There will be 4 TDR units available.

The adjoining / nearby development sites currently include the 3-story Villas at Bay Harbor Condo complex @ 18 DU / 34 DUA to the immediate east along 98<sup>th</sup> Street, and to the south is the Town's 97<sup>th</sup> Street surface parking lot (portion now being used for temporary construction staging area). To the west across W. Bay Harbor Drive is the 7-story Guildford House Condo complex 72 DU / 70 DUA and a new proposed 7-story multifamily complex now under construction at 9740-60 W. Bay Harbor Drive 27 DU / 52 DUA. To the north across 98<sup>th</sup> Street is an older 2-story / 20 DU multifamily complex. This area of the Town is predominated by a mixture of older low-rise residential complexes (2-3 stories) and mid-rise residential complexes (5-7 stories). The Town's 2002 Community Vision Master Plan identifies this area as being preferred for mid-rise residential complexes (5-7+/- stories). Therefore, the proposed development is deemed generally consistent with the Town's future vision for this area.

## **BACKGROUND INFORMATION**

The Town has completed major amendments to the Town's adopted Comprehensive Plan and Land Development Regulations (LDRs) in the last 22+/- years. The former RE zoned lands located on waterfront lots were rezoned into the RM-1 District, while interior (non-waterfront lots) are zoned RM-2. This non-waterfront lot is zoned RM-2. The Town also adopted numerous other modifications to many other code provisions that affect yard encroachments, parking lot designs, building height limits and exceptions, building design standards, landscaping and other provisions.

**COMPREHENSIVE PLAN / ZONING**

**Comprehensive Plan** – The property has a Future Land Use Map (FLUM) designation of “Medium-High Density Residential”. The maximum allowable base density is 34 DUA. Additional dwelling units may be acquired to increase the base density if approved by the Town Council. The developer is seeking to build only 5 DU while 9 DU are allowed via the base density. Therefore, no additional TDR are being requested; nor or any required. The proposed development is consistent with the applicable FLUM designation of the property.

**Land Development Regulations / Zoning Code** – The property has a Zoning classification of RM-2 Multiple Family Zoning District. The maximum building height allowed in this area is 65 feet (measured from BFE + 1' FBC freeboard to top of main roof deck). The proposed use and density of the property is consistent with this zoning classification, and the project design was revised to meet all provisions of the Code.

**PLATTING**

The site will not require re-platting, as the site is currently platted as described above (1 lot).

**RIGHT-OF-WAY, OFF-STREET PARKING AND ACCESS DESCRIPTION**

As stated above, the revised Site Development Plan depicts access to the site from four (4) driveway connections along West Bay Harbor Drive and one (1) driveway connection to 98<sup>th</sup> Street. The driveways are straight-in driveways dimensioned at 18 feet in width and lead to five (5) individual one-car garages. The revised driveways provide access to the garage and the 2<sup>nd</sup> parking spaces for each unit. The driveway to the garage space can serve for guests / deliveries. The Town limits driveway width to 12-feet for a single driveway and 18-feet for a double driveway. The Town has detailed requirements for townhouse developments with individual driveways.

Based on five (5) DU the Code requires at least ten (10) parking spaces. Section 23-24(d)(5)(c) of the Town's Code states that for townhouse projects at least one (1) space must be in a garage and other parking spaces must be accessible without driving over or through another parking space. As designed each DU has one internal parking space in a garage, and one (1) space provided on the outdoor driveway next to garage driveway. As this is a single lot development, no additional guest spaces are required.

Fire Department staging areas are shown on the plans. The applicant met with the M-D Fire Department preliminarily to identify an agreeable fire staging area(s). Any changes required by the Fire Department subsequent to the Town's site plan approval may cause the plans to be resubmitted to the DRC / DRB.

**BUILDING DESIGN / BUILDING LENGTH / BREEZEWAY**

The building design is modern with an abundant use stucco (painted white) with accents including travertine stone and tinted glass.

The building does not exceed one hundred twenty (120) feet in length, nor does the building exceed forty-five (45) feet in height, therefore, no "breezeway" is required.

#### **SUGGESTED CONDITIONS OF APPROVAL**

Following are suggest conditions of approval and/or comments based on the latest revised plans dated December 20<sup>th</sup>, 2024 (DRC final sign off 1/14/25),, submitted to the Town for consideration:

1. This approval is based on the Site Development Plans prepared by Orlando Castro, dated December 20<sup>th</sup>, 2024 ((DRC final sign off 1/14/25), as well as any required modifications stated herein, and any modifications required by the Design Review Board. Any substantial changes desired after the Board's approval may require separate approvals from the Town staff and/or Design Review Board as specified by the Code.
2. Outdoor Lighting Plan - The preliminary Photometric Lighting Plan shows general compliance with the Town's Exterior Lighting Code requirements found in Sec. 23-19. At the time of building permit review the Town staff will ensure the final lighting plan complies with the Code footcandle limitations / requirements.
3. Town park impact fees must to be paid / satisfied at the time of building permits.
4. School Concurrency - Coordinate with the Miami-Dade County School Board staff through the Town staff (Building Dept.) to address any deficiencies at public schools that serve the Town. If mitigation is required, an agreement / payment must be finalized prior to the issuance of building permits.
5. Miami-Dade County Fire Department final approval of the staging areas shown on the plans is required at the time on building permit review. Any changes required by the Fire Department subsequent to the Town's site plan approval may cause the plans to be re-submitted to the DRC / DRB.
6. All FPL transformers / backflow preventers / exposed utility facilities must be substantially screened / hidden with landscaping / fences / painted to match.
7. Installation of conduit for future undergrounding of overhead utilities as opposed to the removal of all existing overhead lines and placement underground due to FPL's objection to incremental undergrounding.

# APPLICATION FOR SITE PLAN REVIEW



Legal description of real property in the Town of Bay Harbor Islands, Florida for which site plan approval is requested.

### Town Council

Joshua D. Fuller  
Mayor

Elizabeth Tricoche  
Vice Mayor

Stephanie Bruder  
Council Member

Molly Winters Diallo  
Council Member

Isaac Salver  
Council Member

Teri D'Amico  
Council Member

Robert Yaffe  
Council Member

### Town Officials

Mana Lasday  
Town Manager

Yvonne Hamilton  
Town Clerk

Joseph S. Geller  
Town Attorney

Folio # 13-2227-001-3820

Size of described property 11,250 SF

Project Description 6 TOWN HOMES Units 6

Owner(s) Name WEST BAY HARBOR 9761 LLC

Mailing Address 999 BRICKELL AVE 1001

City MIAMI State FL Zip 33131

Phone Number 954-474-0220 Email AMERICA.GCS@GMAIL.COM

Signature of Owner Jose Matos

Name of Applicant (if different from owner) ORLANDO CASTRO

Mailing Address 9039 W. SUNRISE BLVD,

City PLANTATION State FL Zip 33322

Phone Number 954-474-0220 Email AMERICA.GCS@GMAIL.COM

Signature of Applicant ORLANDO CASTRO

Name of Representative Joseph Geller

Mailing Address 999 Brickell Ave, Ste 1001

City Miami State FL Zip 33131

Phone Number 3057904162 -7864871404 Email presidencianeos@gmail.com

### TO BE COMPLETED BY TOWN OF BAY HARBOR ISLANDS

Date Received 9/27/2024 By AGM

Process Number SPR24-000021 Fee Paid \$3,000.00

CLC # 1447



1855 Indian Road, Suite 202  
West Palm Beach, FL 33409  
stormwaterj@gmail.com

(561) 242-0028  
Fax 242-0109

## **Report on Sewage System Capacity Assessment for 9761 West Harbor Drive Project**

### **1. Introduction**

This report presents the findings of the sewage system capacity assessment for the proposed development at 9761 West Harbor Drive. The assessment aims to determine the adequacy of the existing sewage collection and transmission system to handle the increased flow resulting from the project.

### **2. Methodology**

The following methodology was employed to assess the capacity of the existing sewage system:

#### **2.1 Flow Observation**

The flows on the West invert of Manhole (MH76 see attached city atlas) were measured. The 15-inch PVC pipe was selected for flow observation during peak hours (6 AM to 9 AM).

The depth of flow was measured and recorded.

#### **2.2 Flow Calculation**

The flow rate was calculated based on the observed depth of flow using standard hydraulic formulas. Assumptions were made for minimum slope using 10 state standards of 0.15 per 100 feet, and a roughness coefficient of 0.013 was used to be conservative.

#### **2.3 Project Flow Projection**

The additional flow generated by the proposed development was estimated based on the project's design parameters and anticipated usage. Design Flow is based on the Miami Dade County Guidelines for Sec 24.43 which uses peak hour flows.

#### **2.4 Capacity Assessment**

The combined flow (existing flow + projected project flow) was compared to the maximum capacity of the pipe.

If the combined flow does not exceed 80% of the pipe's capacity, the system is considered adequate.

### **3. Results**

#### **3.1 Flow Observation and Calculation**

Peak flow observed: 5 inches deep

- Calculated flow rate: 269.904 GPM

<b>Input:</b>			
	Inches	Feet	Information
D	15	1.25	
h	5	0.417	Depth of flow observed during peak hours
n	0.013		(Mannings Coefficient)
S	0.0015		*Assumed Slope

<b>Existing flow Calculations:</b>			
	Values	Units	Formula
r	0.625	Feet	D/2
$\theta$	2.462	Radians	
A	0.358	Square feet	$A=r^2 * (\theta - \sin(\theta))/2$ (for less than half full)
P	1.539	Ft	$r*\theta$ (for less than half full)
R	0.2327	Ft	A/P
V	1.6795	Ft/Sec	Q/A
Q	<b>0.601</b>	CFS	$Q = (1.49/n) * A * (R^{2/3}) * (S^{1/2})$
Q	<b>269.904</b>	GPM	

- Full pipe capacity: 1125.861 GPM

<b>Input:</b>			
	Inches	Feet	Information
D	15	1.25	
n	0.013		(Mannings Coefficient)
S	0.0015		Slope
<b>Calculations (Full pipe):</b>			
A	1.227	Square feet	Formula
P	3.927	Ft	
R	0.3125	Ft	A/P
V	2.0442	Ft/Sec	Q/A
Q	<b>2.509</b>	CFS	$Q = (1.49/n) * A * (R^{2/3}) * (S^{1/2})$
Q	<b>1125.861</b>	GPM	

### 3.2 Project Flow Projection

Estimated additional flow from the project: 13.61 GPM

<b>Per capita Water Use:</b>	
140	Gal/Person/Day
7	People
5	townhomes
4900	GPD
19600	GPD with peak hour factor (4)
13.61	GPM with peak hour factor (4)

\*Per capital Flow is based on the national average

### 3.3 Capacity Assessment

Combined flow:  $13.61 \text{ GPM} + 269.9 \text{ GPM} = 283.51 \text{ GPM}$

$283.51 \text{ GPM} / 1125.861 \text{ GPM} = 25\%$

Percentage of pipe capacity utilized: 25%

### 4. Conclusion

Based on the analysis, the existing sewage collection system is adequate to accommodate the additional flow generated by the proposed development at 9761 West Harbor Drive. The combined flow, including the project's contribution, is well below the 80% capacity threshold.


### 5. Recommendations

**Regular Monitoring:** It is recommended to continue monitoring the sewage system, particularly during peak usage periods, to ensure ongoing adequacy.

**Future Development Considerations:** If future developments are planned in the area, a reassessment of the sewage system's capacity may be necessary.

**Maintenance and Upgrades:** Regular maintenance and potential upgrades to the sewage system should be considered to maintain its efficiency and reliability.

Signed,



Daniel Rey, P.E.  
StormwaterJ Engineering, Inc.

— MATERIAL = DUCTILE IRON  
 — MATERIAL = VCP

FORCE MAIN LINES

— MATERIAL = CAST IRON  
 — MATERIAL = DUCTILE IRON  
 — MATERIAL = PVC C-900 GRE



INROAD

TOWN OF BAY HARBOR ISLANDS  
 SANITARY SEWER DISTRIBUTION  
 DETAIL 05

Date:	02/01/96	Drawing no.:	SSDET05
Drawn by:	WAGNER ALMEIDA	Scale:	1" = 200'

Rahim Vedaee

ISA Certified Arborist #FL-9609A  
(954) 868-4763  
Rvedaee1@yahoo.com



November 26, 2024  
9761 West Bay Harbor  
Miami FL

An Arborist report was requested for above reference address. See below for detailed report.

**Tree #1** Arbovitae (*Thuja occidentalis*) 15' HT, 10' Sprd, 6" DBH, TPZ 6' Poor Condition

This tree is located on the southwest corner of the property. Tree showing signs of decline with spars foliage.

**Tree #2** Arbovitae (*Thuja occidentalis*) 15' HT, 10' Sprd, 6" DBH, TPZ 6' Poor Condition

This tree is located on the southwest corner of the property. Tree showing signs of decline with spars foliage.

**Tree #3** Song of Jamaica (*Dracaena reflexa*) 20' HT, 18' Sprd, 4" DBH, TPZ 4' Fair Condition

This Plant is located on the west side of the property. This plant is considered an exotic.

**Tree #4** Arbovitae (*Thuja occidentalis*) 15' HT, 10' Sprd, 6" DBH, TPZ 6' Poor Condition

This tree is located on the west side of the property. Tree showing signs of decline with spars foliage.

**Tree #5** Arbovitae (*Thuja occidentalis*) 15' HT, 10' Sprd, 6" DBH, TPZ 6' Poor Condition

This tree is located on the west side of the property. Tree showing signs of decline with spars foliage.

**Tree #6** Arbovitae (*Thuja occidentalis*) 15' HT, 10' Sprd, 6" DBH, TPZ 6' Poor Condition

This tree is located on the southwest corner of the property. Tree showing signs of decline with spars foliage.

**Tree #7** Royal Palm (*Roystonea regia*) 40' HT, 20' Sprd, 18" DBH, TPZ 2.5' Good Condition

This Palm northwest side of the property. No signs of insects or diseases.

**Tree #8** Royal Palm (*Roystonea regia*) 40' HT, 20' Sprd, 120" DBH, TPZ 2.5' Good Condition

This Palm northwest side of the property. No signs of insects or diseases.

**Tree #9** Royal Palm (*Roystonea regia*) 40' HT, 20' Sprd, 18" DBH, TPZ 2.5' Good Condition

This Palm northwest side of the property. No signs of insects or diseases.

**Tree #10** Arbovitae (*Thuja occidentalis*) 15' HT, 10' Sprd, 6" DBH, TPZ 6' Poor Condition

This tree is located on the northwest corner of the property. These Trees where used as a hedge with constant trimming causing Tip blight.

**Tree #11 Alexander Palm (*Ptychosperma elegans*) 18' HT, 10' Sprd, 2" DBH, TPZ 2.5' Fair Condition**  
This palm is located in the backyard. This palm is suffering from a nutritional deficiency.

**Tree #12 Traveler Palm (*Ravenala madagascariensis*) 30' HT, 27' Sprd, 6" DBH, TPZ 2.5' Fair Condition**  
This palm is located in the backyard of the neighboring property.

**Tree #13 Montgomery Palm (*Veitchia arecina*) 30' HT, 15' Sprd, 5" DBH, TPZ 2.5' Fair Condition**  
This palm is located in the backyard of the neighboring property. This palm is suffering from a nutritional deficiency.

**Please see photos below.**









Sincerely,  
Rahim Vedaee  
ISA Certified Arborist #FL-969A, TRAQ Certified. 954-868-4763

A handwritten signature in black ink, appearing to be 'RV'.

# TOWN OF BAY HARBOR ISLANDS, FLORIDA

## DEVELOPMENT IMPACT ANALYSIS REPORT

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**Project Name:** BAY HARBOUR LUXURY TOWNHOMES

**Location:** BAY HARBOR ISLANDS, FLORIDA

**Address:** 9761 WEST HARBOR DRIVE, BAY HARBOR ISLANDS, FL. 33154

**General Project Description:** 3 STORIES - 5 UNIT MULTIFAMILY LUXURY BUILDING

**Site Square Feet / Acreage:** \_\_11250 SF / 0.2582 AC

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The following information and analysis is intended to satisfy the requirements set forth in Section 11-8 of the Town of Bay Harbor Islands, Florida Code of Ordinances, which provides guidelines and requirements to ensure that the Level of Service (LOS) standards as set forth in the adopted Comprehensive Plan will be maintained, unless mitigation is provided. The following LOS standards shall be used to analyze the infrastructure impacts of each residential development. For non-residential development consult Town.

<b>Potable Water</b>	200 gallons per capita, per day = $200 \times 29 \text{ OCC.} = 5800 \text{ GAL / DAY}$
<b>Sanitary Sewer</b>	156 gallons per capita, per day = <b><math>156 \times 29 \text{ OCC.} = 4524 \text{ GAL / DAY}</math></b>
<b>Solid Waste</b>	0.632 tons per capita, per year = $0.632 \times 29 \text{ OCC.} = 18.33 \text{ TON / YEAR}$
<b>Drainage</b>	Design LOS standards to meet a 10-year storm and as specified by the Miami-Dade County Public Works manual, Section D4 – Water Control; and no ponding water for more than 48 hours
<b>Local Streets*</b>	LOS “B” at peak hour
<b>Arterial Roadways**</b>	LOS “E” at PM peak hour* (96 <sup>th</sup> Street / Kane Concourse / SR 922)
<b>Recreation Facilities</b>	1 tennis court for every 4,000 persons, 12-60 years old 1 lighted baseball field for every 6,000 persons, 10-40 years old 1 tot lot for every 500 persons, 3-12 years old
<b>Public School Facilities</b>	100% of FISH (Florida Inventory of School Houses) capacity including re-locatable classrooms in each public school concurrency service area (CSA)

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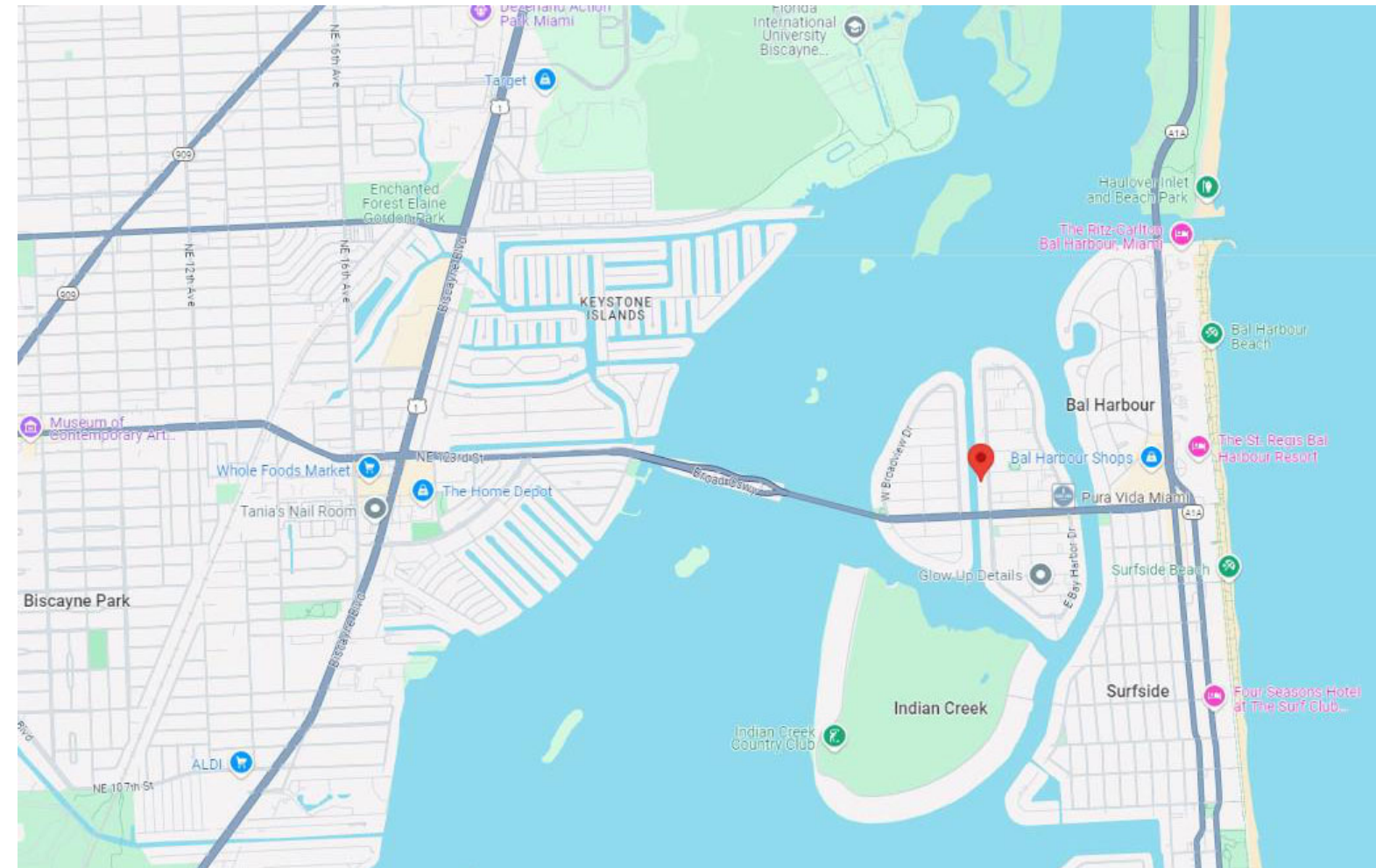
**Notes:** \* The Town’s original Comprehensive Plan (June 1988) lists the adopted Level of Service (LOS) for all local roadways as LOS “B” Peak Hour. According to the 2012 FDOT Quality / Level of Service Handbook LOS “B” is not achievable in some instances. However, the Town’s plan includes a local roadway capacity of 10,000 vehicles per day, which corresponds to LOS “D”. Therefore, the Town will use LOS “D”, which is also the adopted Miami-Dade LOS.

\*\*The Town’s original Comprehensive Plan (June 1988) lists the preferred Level of Service (LOS) for SR 922 / Kane Concourse as “C” Peak Hour but defers to state / county jurisdictions for applicable LOS. State law specifically prohibits local governments from adopting different LOS on state roadways. FDOT has adopted LOS “E” at PM Peak Hour for SR 922 / Kane Concourse and that LOS is used by both FDOT / Miami-Dade County for concurrency / planning purposes.

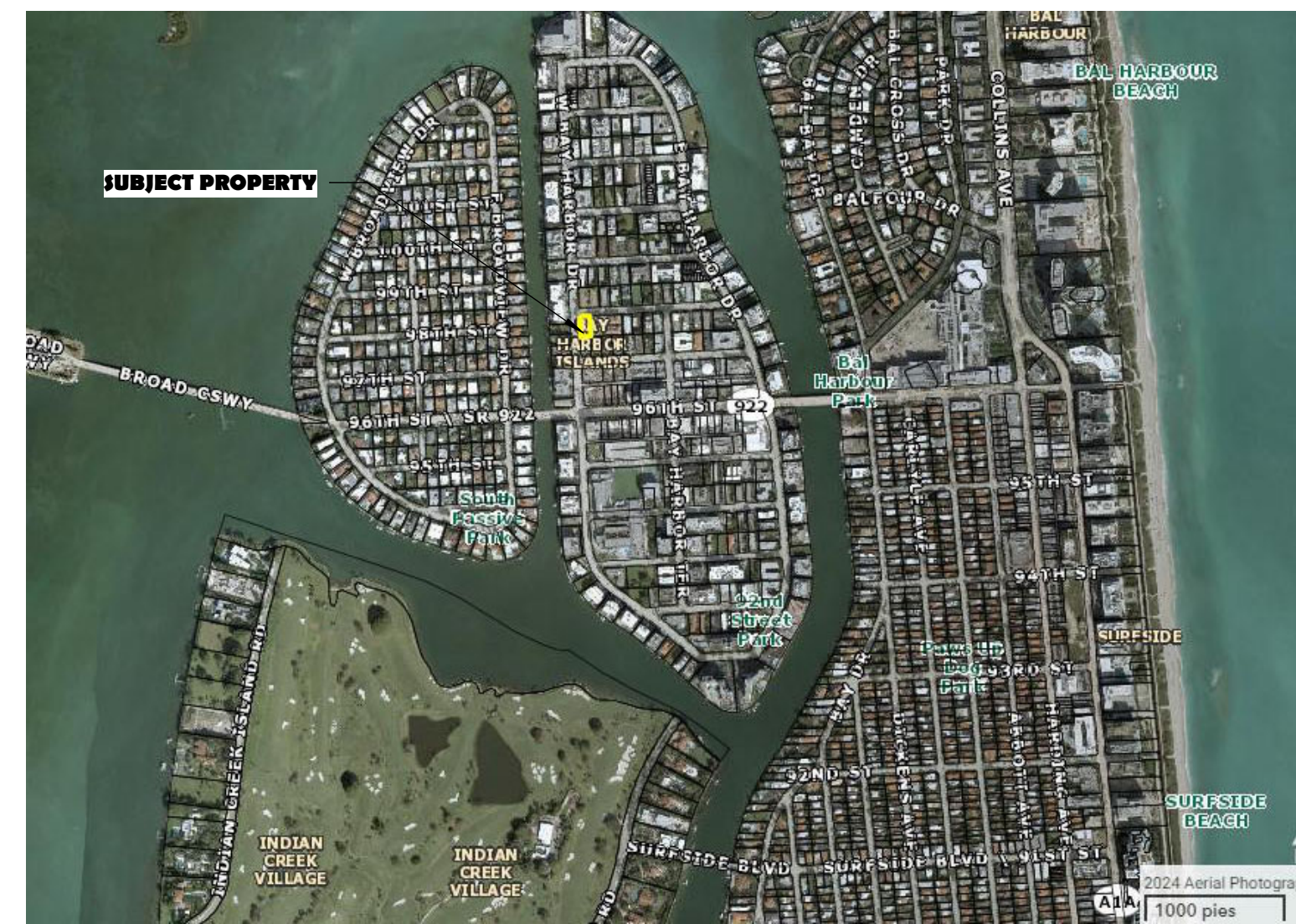
For traffic impact analysis utilize the latest ITE Manual for applicable land use trip generation purposes (both ADT / PM Peak Hour). Both roadway link & signalized intersection analysis is required, as required by Town.

# BAY HARBOR LUXURY TOWNHOMES

9761 WEST HARBOR DRIVE, BAY HARBOR ISLANDS, FLORIDA  
33154



VICINITY MAP



LOCATION AERIAL VIEW



SHEET SCHEDULE	
NUMBER	SHEET NAME
A000	COVER PAGE/ PROJECT INFO.
A101	PROPOSED 1ST & 2ND FLOOR PLAN
A102	PROPOSED 3RD & TERRACE FLOOR PLAN
A103	EAST & NORTH ELEVATIONS
A104	SOUTH & WEST ELEVATIONS
A105	BUILDING SECTIONS
A106	PROPOSED VIEWS
A107	FLOOR PLAN PER UNIT
A108	FLOOR PLAN PER UNIT
A109	PERSPECTIVES
A-01	SITE PLAN GENERAL DETAILS
A-02	SITE PLAN
A-109	IMAGES
C-01	SITE DRAINAGE PLAN
C-02	STANDARD DETAILS 1
C-03	STANDARD DETAILS 2
C-04	EROSION CTRL PLAN
IR-01	IRRIGATION PLAN
L-01	LANDSCAPE PLAN
WS-01	WATER & SEWER CONNECTION PLAN

**LEGAL DESCRIPTION**

LOT 8, IN BLOCK 22, OF "BAY HARBOR ISLAND" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 46 AT PAGE 5 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**GENERAL NOTES**

- 1-GENERAL CONTRACTOR AND ALL SUB CONTRACTORS SHALL VISIT THE BUILDING SITE AND VERIFY ALL CONDITIONS PRIOR TO SUBMISSIONS OF BID.
- 2-ANY ERRORS, AMBIGUITIES AND OMISSIONS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT FOR CORRECTIONS BEFORE SUBMISSION OF BID.
- 3-UNLESS EXPRESSLY STIPULATED, NO ADDITIONAL ALLOWANCE WILL BE MADE IN THE AND/OR OMISSIONS WHICH SHOULD HAVE BEEN DISCOVERED DURING THE PREPARATION CONTRACT AND/OR MANUFACTURES FAVOR OR BY VIRTUE OF ERRORS, AMBIGUITIES OF BID ESTIMATE AND DIRECTED TO THE (ARCHITECT) ATTENTION IN A TIMELY MANNER.
- 4-WRITTEN DIMENSIONS GOVERN. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. IN THE EVENT OF CONFLICT, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH ANY WORK.
- 5-CONTRACTOR AND SUBCONTRACTORS DOING WORK ON THIS PROJECT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND THE OWNER SHALL BE FURNISHED WITH A CERTIFICATE OF SAID INSURANCE. CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY WORKER'S COMPENSATION INSURANCE ON ALL WORKMEN EMPLOYED ON THIS JOB.
- 6-ALL WORK PERFORMED SHALL CONFORM TO THE LATEST EDITION OF THE LOCAL BUILDING CODE HAVING JURISDICTION AND ALL APPLICABLE COUNTY ORDINANCES, AND SHALL BE COMPLETED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE RESPECTIVE TRADES.
- 7-CONTRACTOR IS RESPONSIBLE FOR THE PROPER EXECUTION OF ALL WORKS, NOT WITHSTANDING THE APPROVAL OF SHOP DRAWINGS, DESIGN MIXES, LABORATORY INSPECTIONS AND REPORTS, ARCHITECTS AND/OR ARCHITECT'S FIELD OBSERVATIONS, THE LIKE OF WHICH ARE INTENDED TO ASSIST BUT IN NO WAY RELIEVE THE CONTRACTOR OF HIS/HER RESPONSIBILITY.
- 8-INCLUDED IN THE RESPONSIBILITIES OF ITEM 8. ARE THE FOLLOWING:  
A-EXECUTION OF ALL WORKS IN A PROPER AND SAFE MANNER FOR ALL PERSONS, EQUIPMENT AND PROPERTIES.  
B-DESIGN, ARCHITECT, CONSTRUCTION AND HANDLING OF ALL FORM WORK AND TEMPORARY STRUCTURES.

CODE EFFECTIVE F.B.C. 2023 8TH. EDITION  
NFPA 70 2017 ED. & NEC 2017  
FBC ENERGY CONS. 2023 8TH ED.  
FBC RE. 2023 8TH ED., FLORIDA STATUTES  
& FAC. (FLORIDA ADMINISTRATIVE CODE)

**SCOPE OF WORK**

NEW MULTIFAMILY PROJECT DEVELOPMENT WHICH CONSISTS OF (5) 3 STORY DWELING UNITS WITH USEFULL ROOF TERRACE, AS FOLLOWS:

- 1- TOWN-HOME 4 BEDROOMS / 4 BATHROOMS CORNER UNIT ( 2853 SF)
- 4- TOWN-HOME 4 BEDROOMS /4 BATHROOMS TYP. MID. UNIT (2529 SF)

THE INTENTION OF THIS WORK IS TO FULLFIL THE CONSTRUCTION PROCESS OF THIS PROJECT ACCORDING TO THIS SET OF PLANS DATED TO FBC 2023 8TH EDITION, BY THE ARCHITECT OF RECORDS. THIS JOB INCLUDES ALSO INTERIOR PARTITIONS, CEILINGS. EXTERIOR AND INTERIOR FINISHES, ELECTRICAL, PLUMBING AND MECHANICAL WORK .WINDOWS & DOORS INSTALLATION, KITCHEN, AND ROOFING

FBC 2023 8TH ED. OCCUPANCY : RESIDENTIAL GROUP R-2  
TYPE OF CONSTRUCTION: TYPE III-B  
UNPROTECTED

DEFERRED SUBMMITALS ARE REQUIRED FOR:

- RAILINGS
- ROOFING TPO.
- DRIVEWAY AND PAVING
- LANDSCAPING AND IRRIGATION
- FENCING
- WINDOWS & DOORS

NO PART OF THIS PLAN OR DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING OR ANY INFORMATION RETRIEVAL SYSTEM), WITHOUT THE WRITTEN APPROVAL OF ORLANDO CASTRO ARCHITECT AND PERMITS. WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS DEPICTED ON THESE DRAWINGS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES FOUND AND ASSUMES NO LIABILITY FOR THE

CLIENT NAME AND ADDRESS:  
WEST BAY HARBOR 9761 LLC  
9761 WEST BAY HARBOR DRIVE  
BAY HARBOR ISLANDS, FLORIDA 33154

PROJECT:  
**BAY HARBOR**  
**MULTIFAMILY**

ORLANDO CASTRO  
ARCHITECT.  
AR985530

ADDRESS: 9039 WEST  
SUNRISE BLVD  
PLANTATION FL. 33322  
PH: (954) 474-0220  
EMAIL: america.gcs@hotmail.com

JOB NUMBER: 2024-0010  
DATE: 12-05-2024  
DRAWN BY: NPB  
CHECKED BY: O.C.S.

REVISIONS

- 1 CITY COMMENTS 11/26/24
- 2 DRC COMMENTS 12/17/24

ZONING SET

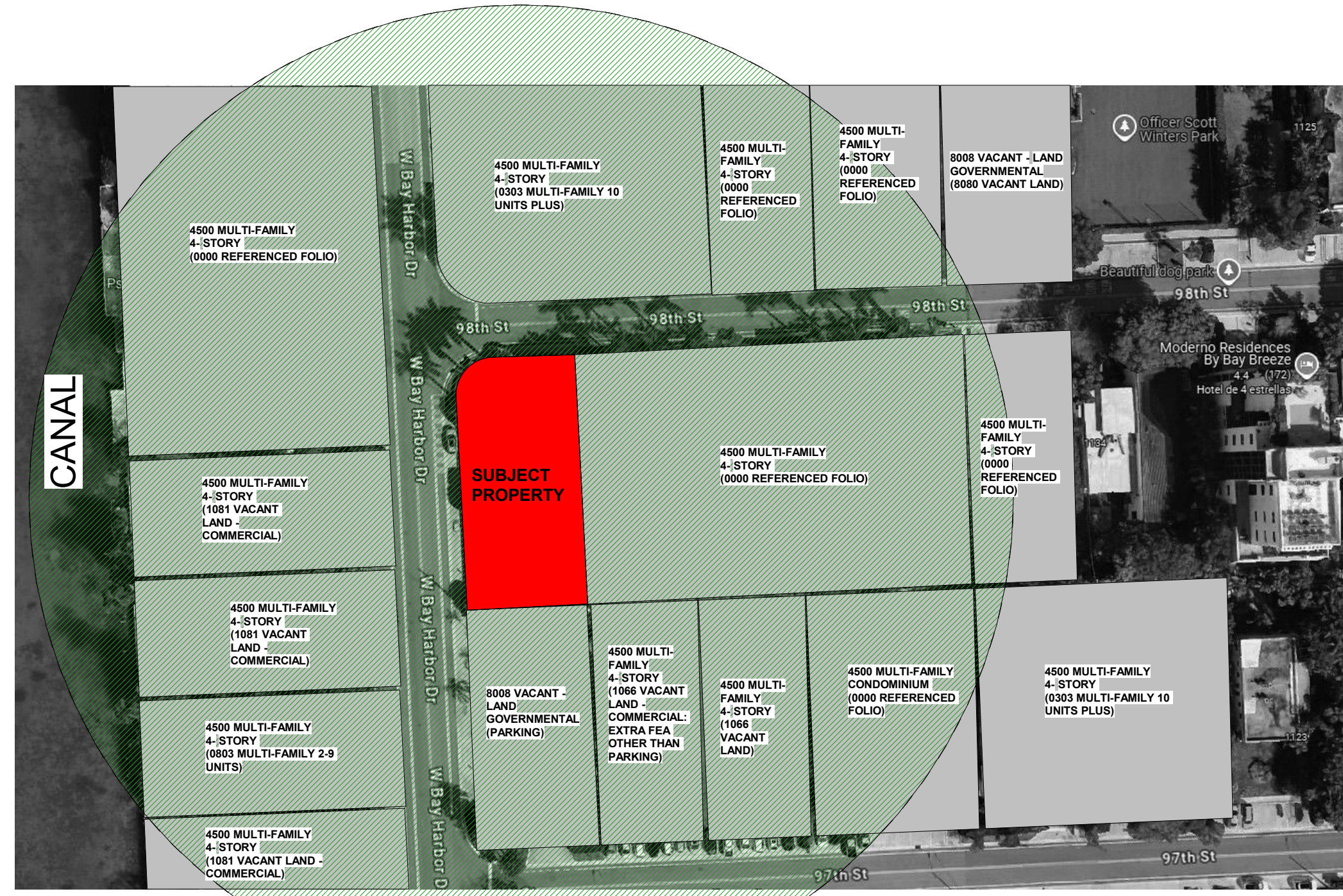
COVER PAGE/  
PROJECT  
INFO.

SHEET

A000

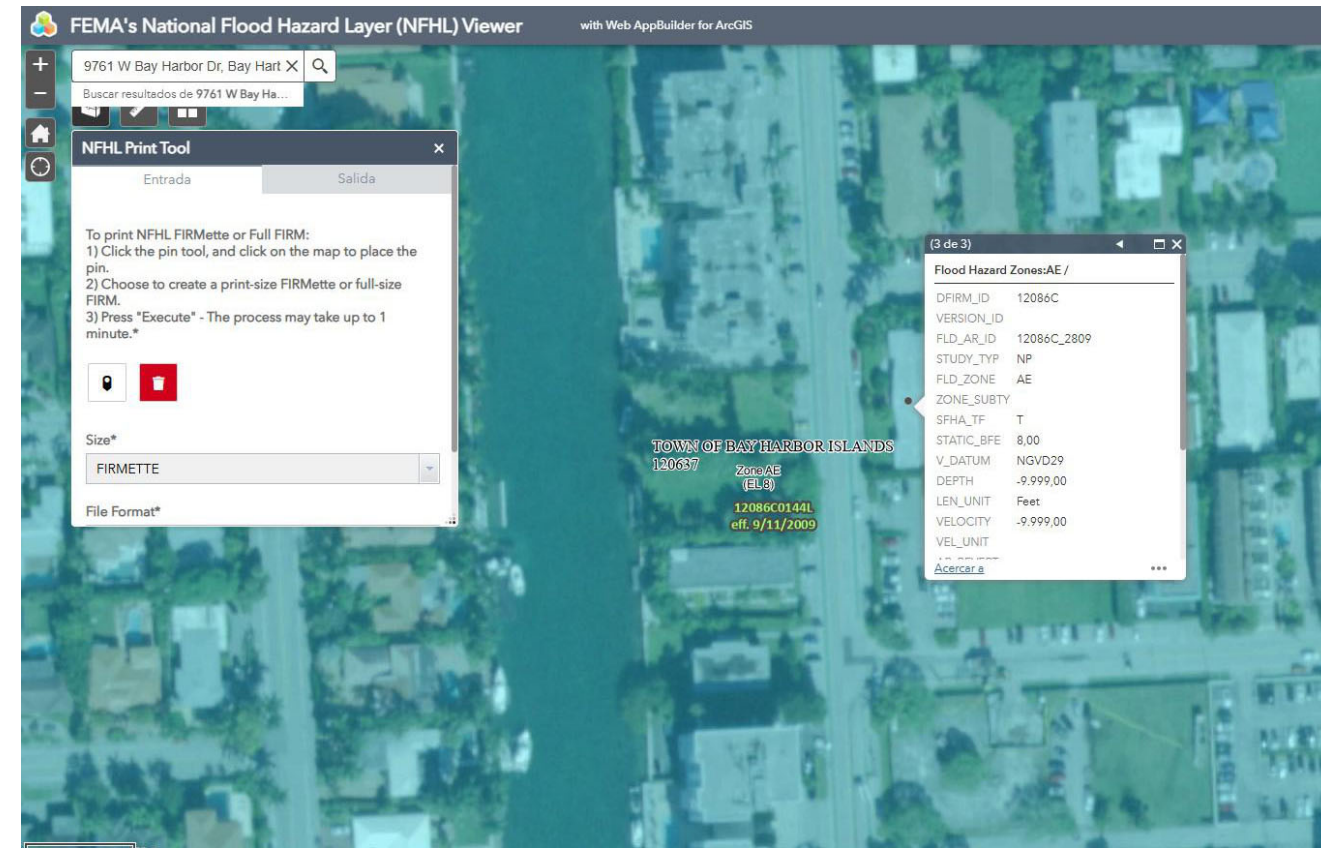
OF

ARCHITECT

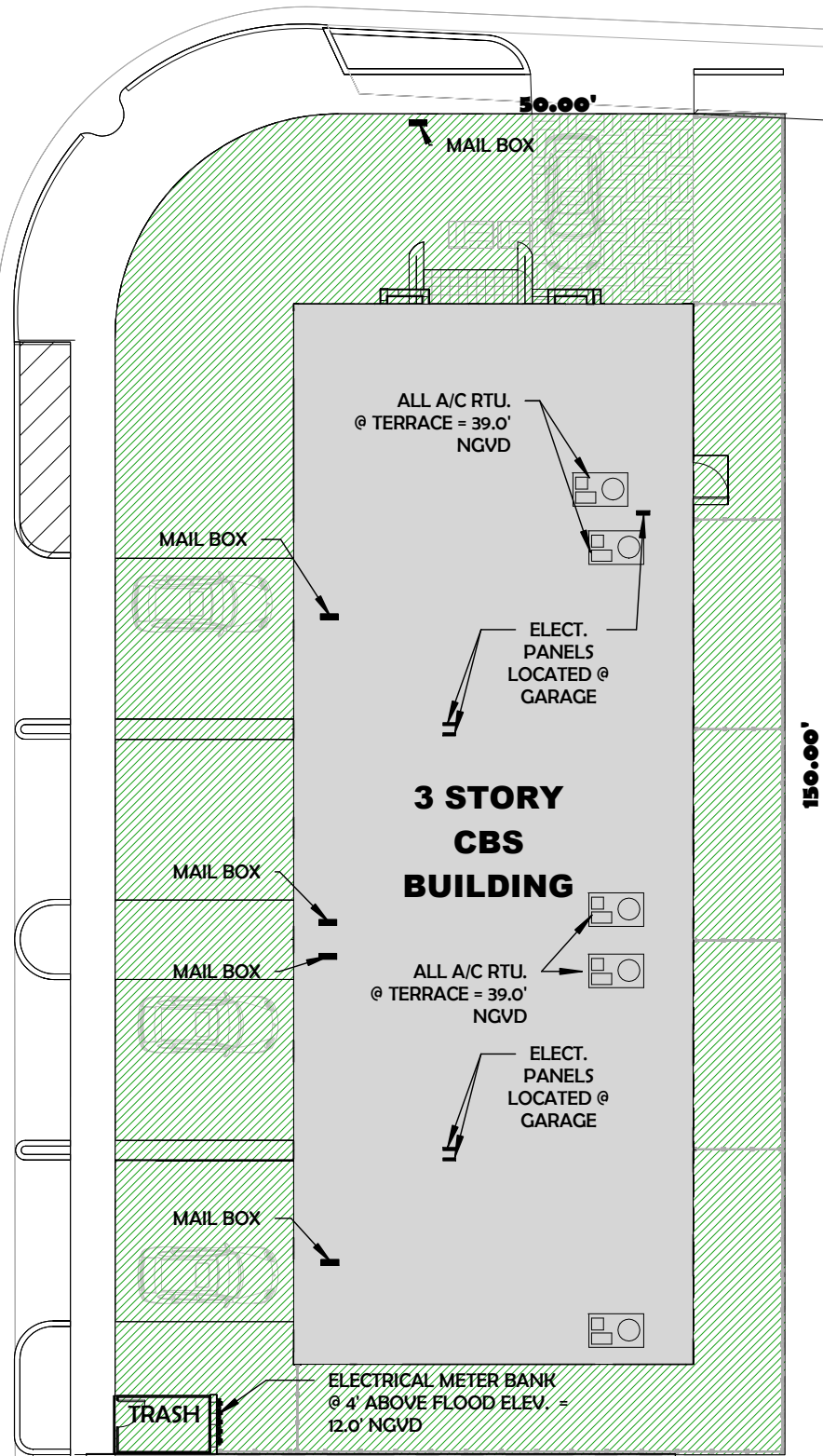


**ZONING MAP**

1 3/4" = 1'-0"



**FLOOD ZONE MAP**



**AREAS BELOW FLOOD ELEVATION NOTE:**

EQUIPMENT LOCATION PLAN	REQ'D	PROVIDED
ELECTRICAL PANELS	9' NGVD	11.65' NGVD
A/C & POOL EQUIP.	9' NGVD	39.0' NGVD
LAUNDRY EQUIP.	9' NGVD	9.0' NGVD
TANKLESS WATER HEATER	9' NGVD	14.0' NGVD

7 1" = 20'-0"

**FLOOD LEGEND**

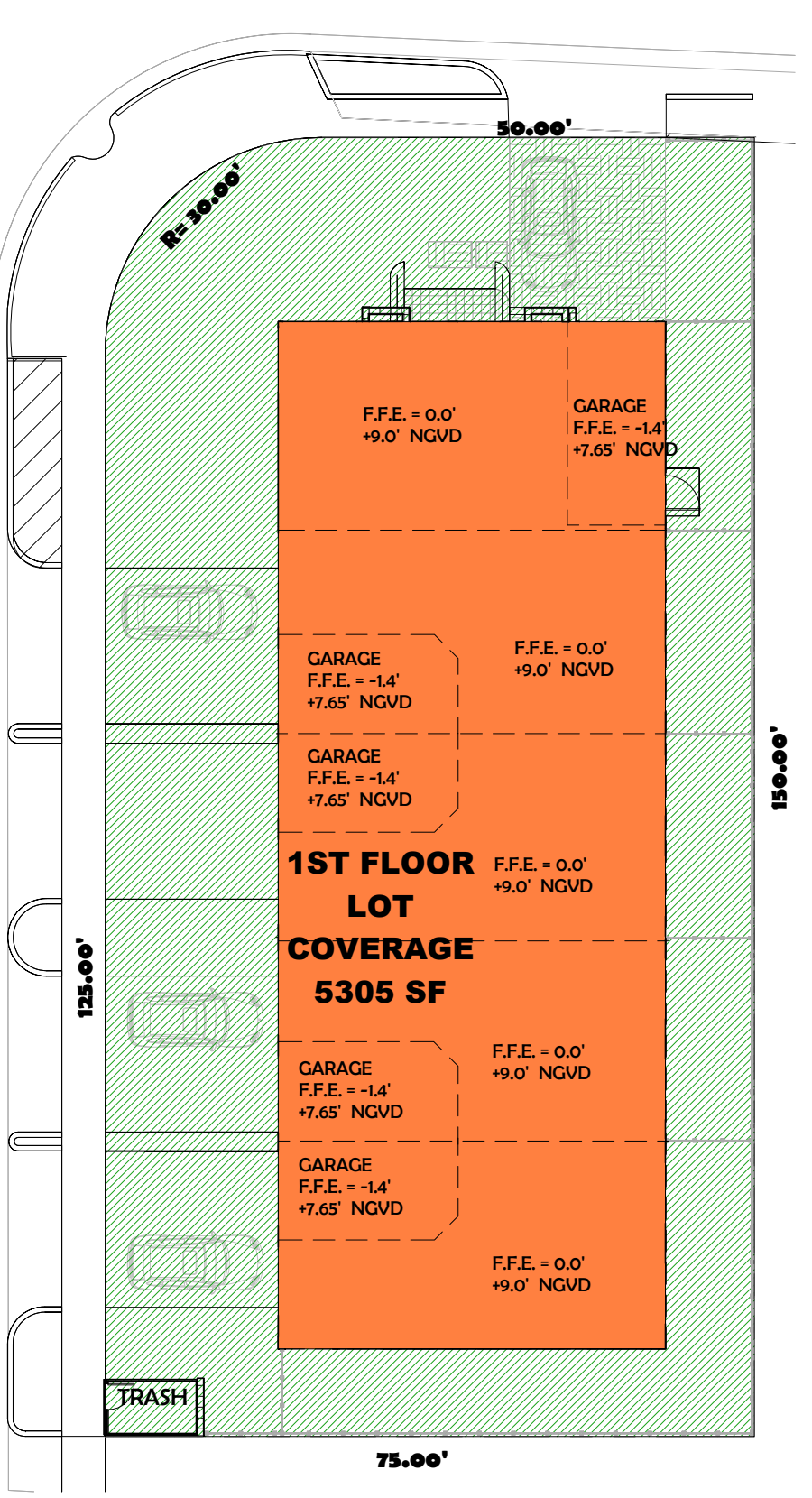
**ELEVATION NOTE:**  
ALL ELEVATIONS SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929), UNLESS OTHERWISE INDICATED ON DRAWINGS.

**CLASSIFICATION OF STRUCTURE:**  
FOR FLOOD RESISTANT DESIGN AND CONSTRUCTION  
CLASS II - AS PER ASCE 24-14, TABLE 1-1

**FLOOD ELEVATION NOTES:**  
ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS, HEATING, VENTILATION, AIR CONDITIONING, PLUMBING APPLIANCES AND PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT (WATER HEATERS, GENERATORS, ELECTRICAL PANELS, ETC.) SHALL BE ELEVATED AT OR ABOVE DESIGN FLOOD ELEVATION". (ASCE 24-14 CH. 7.0).  
ENCLOSED AREAS BELOW THE DFE OR, THE LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE. (ASCE 24-14 4.6.2)  
\*ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION, OR THE LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL". (ASCE 24-14, (ASCE 24-14 CH. 5.0)

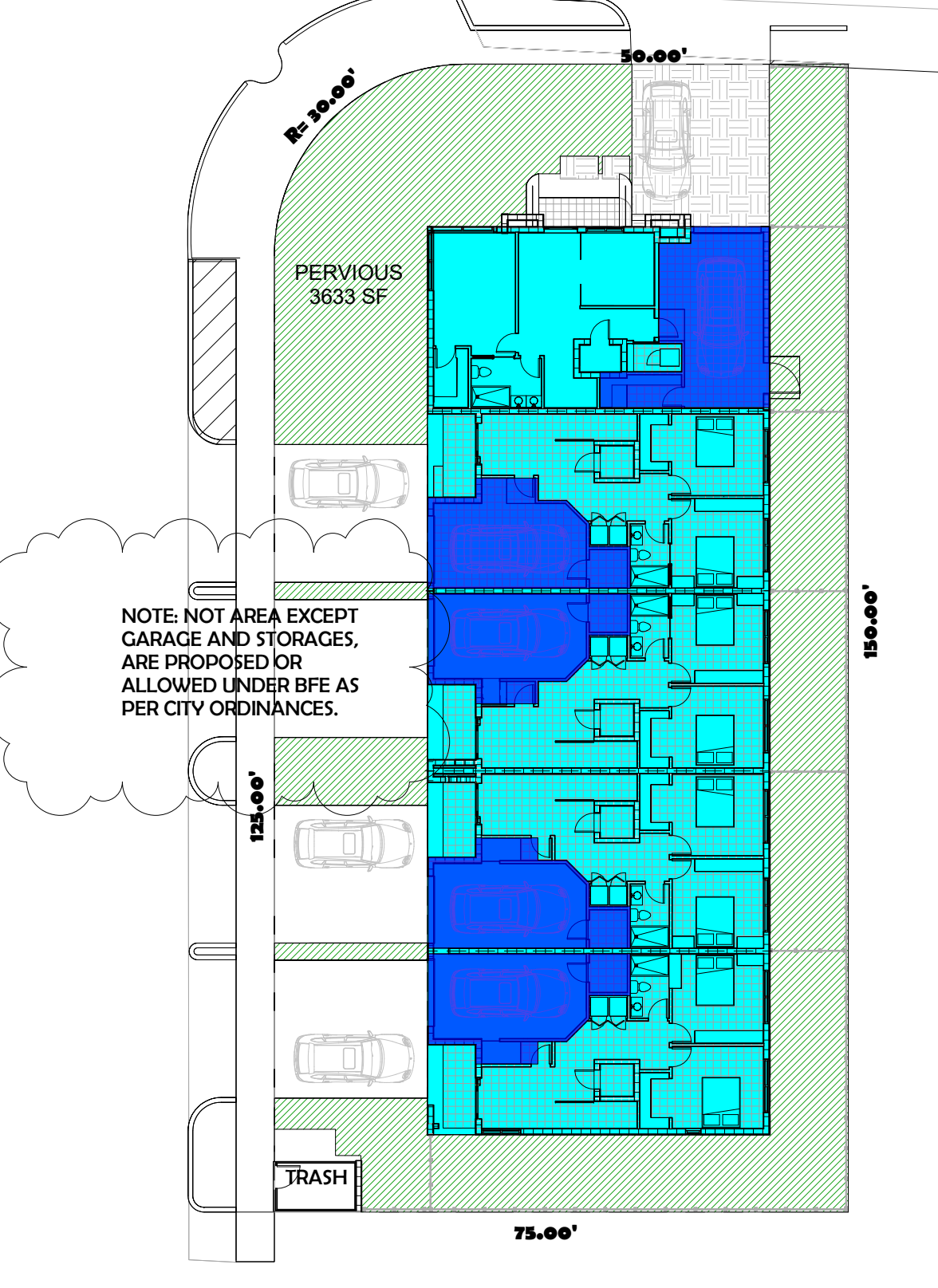
**AREAS BELOW FLOOD ELEVATION NOTE:**  
1 - PROVIDE A MINIMUM OF 2 (TWO) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN (1) SQUARE INCH FOR EVERY SQUARE FOOT OF ENCLOSED AREA SIZE BOTTOM OF ALL OPENING SHALL BE NO MORE HIGHER THAN ONE (1) FOOT ABOVE GRADE.  
2 - THE INTERIOR PORTION OF SUCH ENCLOSED AREA SHALL NOT BE PARTITIONED OR FINISH INTO SEPARATE ROOMS OR AIR CONDITIONED.

	REQUIRED	PROPOSED
CROWN OF ROAD	+ 4.79 NGVD	+ 4.79 NGVD
MAX HEIGHT FROM DFE	30'	30'
FLOOD ZONE	AE	AE
BASE FLOOD ELEV.	-8.00 NGVD	
PROPOSED F.F.E (D.F.E)		9.00 NGVD
GRADE ELEVATION LOW/ HIGH	5.10 / 5.75 NGVD	5.10 / 5.75 NGVD
LOWEST ELEV OF MECH. EQUIP. (LOCATED AT TERRACE)	9.00 NGVD	39.00' NGVD
PANEL NUMBER	0144	0144
LOWEST ELEV. OF EQUIP.	9.00 NGVD	39.00 NGVD
HIGHEST CROWN ELEV.	4.79	4.79
ADJACENT GRADE AVG ELEV.	5.50 - 5.80 NGVD	5.50 - 5.80 NGVD
WATER HEATER INSTALLATION LOWEST ELEV. (LOCATED AT ST FL, 5' ABOVE FF)	9.00 NGVD	14.00 NGVD
ELECT. PANELS INSTALLATION LOWEST ELEV. (LOCATED AT GARAGE 4' ABOVE FF)	9.00 NGVD	11.65 NGVD
LAUNDRY INSTALLATION LOWEST ELEV. (LOCATED AT RT FL)	9.00 NGVD	9.00 NGVD



LOT COVERAGE  
5558 SF (50%) MAX. AT 1ST FLOOR  
5305 SF (47.7%) PROPOSED

2 1" = 20'-0"

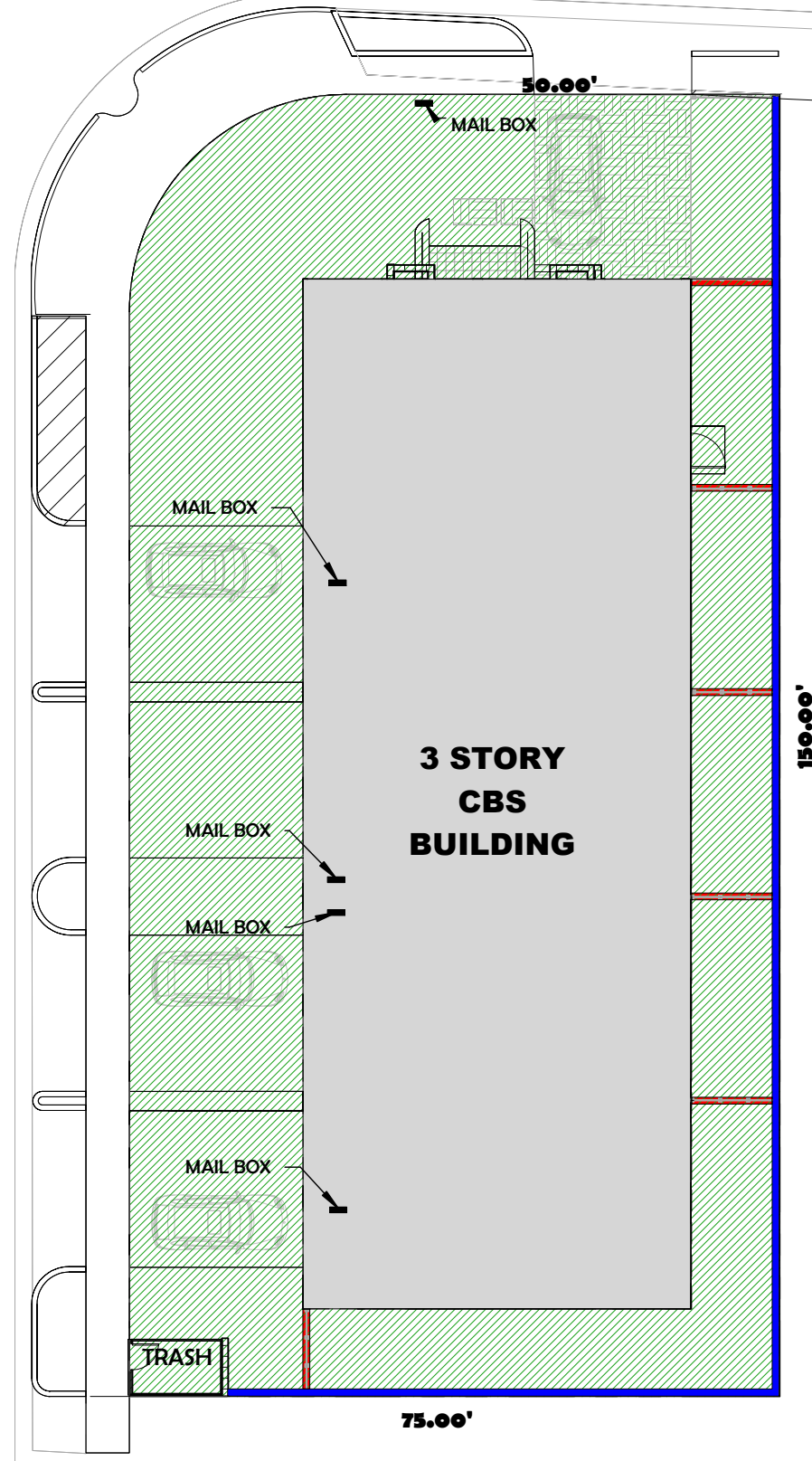


NOTE: NOT AREA EXCEPT GARAGE AND STORAGE, ARE PROPOSED OR ALLOWED UNDER BFE AS PER CITY ORDINANCES.

**UNDERSTORY LOT CALCULATIONS**

	SYMBOL	MAX / MIN	PROPOSED
TOTAL UNDERSTORY AREA:			5306 SF
UNDERSTORY ENCLOSED AREA:			1535 SF
UNDERSTORY PERVIOUS AREA:			3771 SF
PERVIOUS AREA (25% OF THE LOT AREA)		2779 SF/ MIN	3767 SF

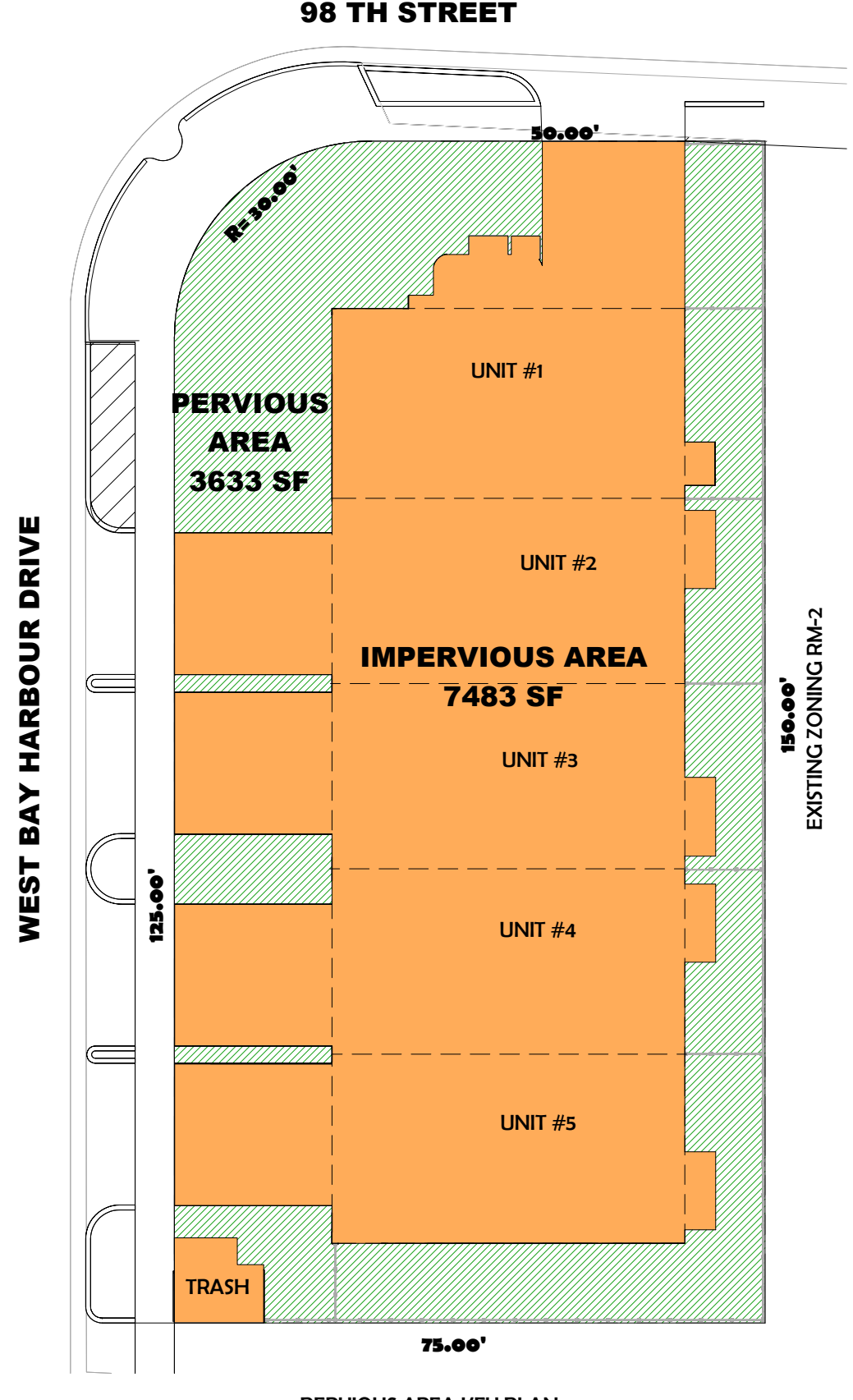
3 1" = 20'-0"



**FENCE LOCATION PLAN**

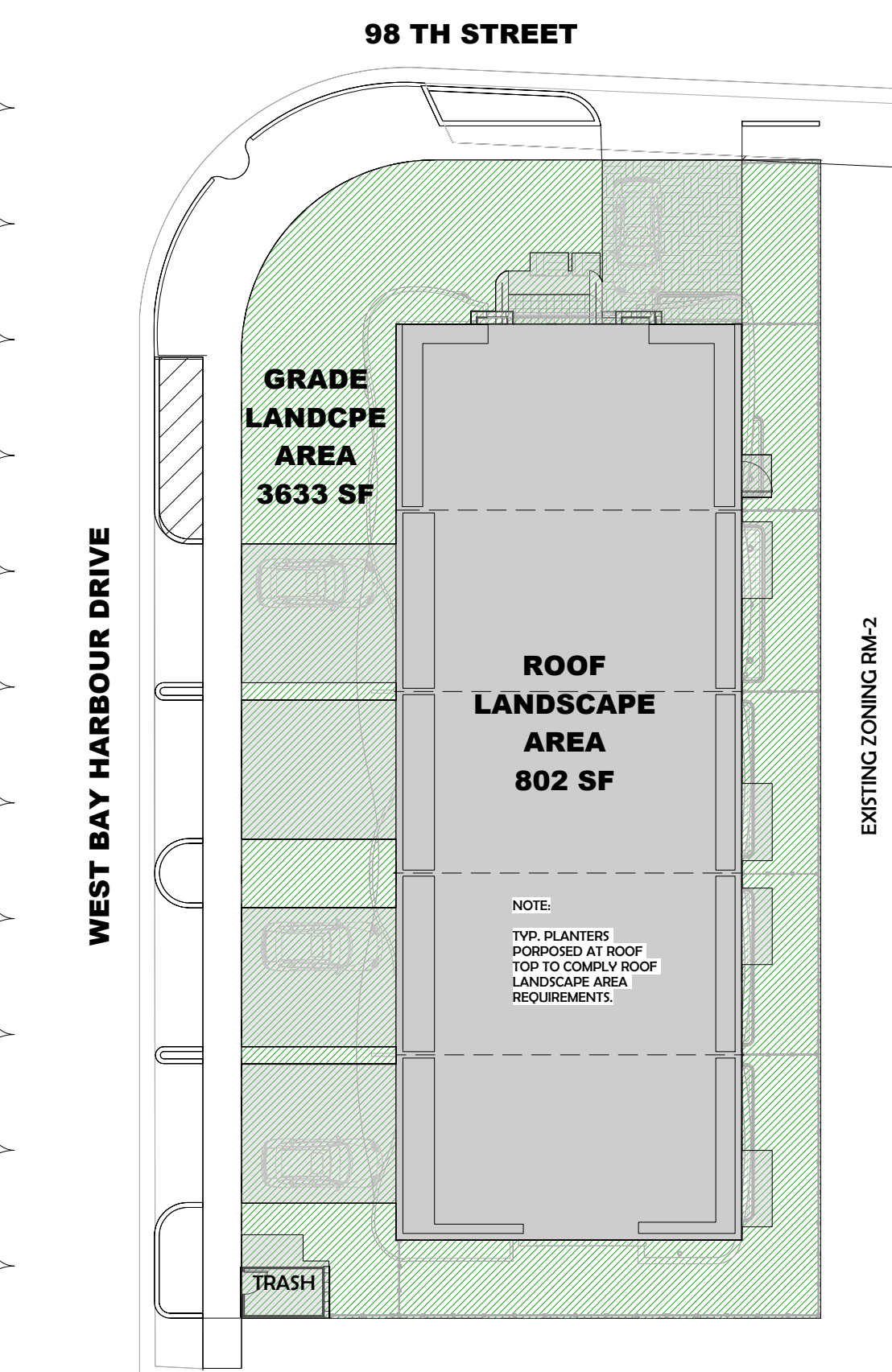
LEGEND	PROVIDED
6' H. WOOD/ STEEL FENCE	= 214 LF
6' SEPARATION PRIVACY FENCE	= 60 LF

6 1" = 20'-0"



PERVIOUS AREA KEY PLAN  
3633 SF = 32.68% > 2223 SF (20% MIN REQ'D)

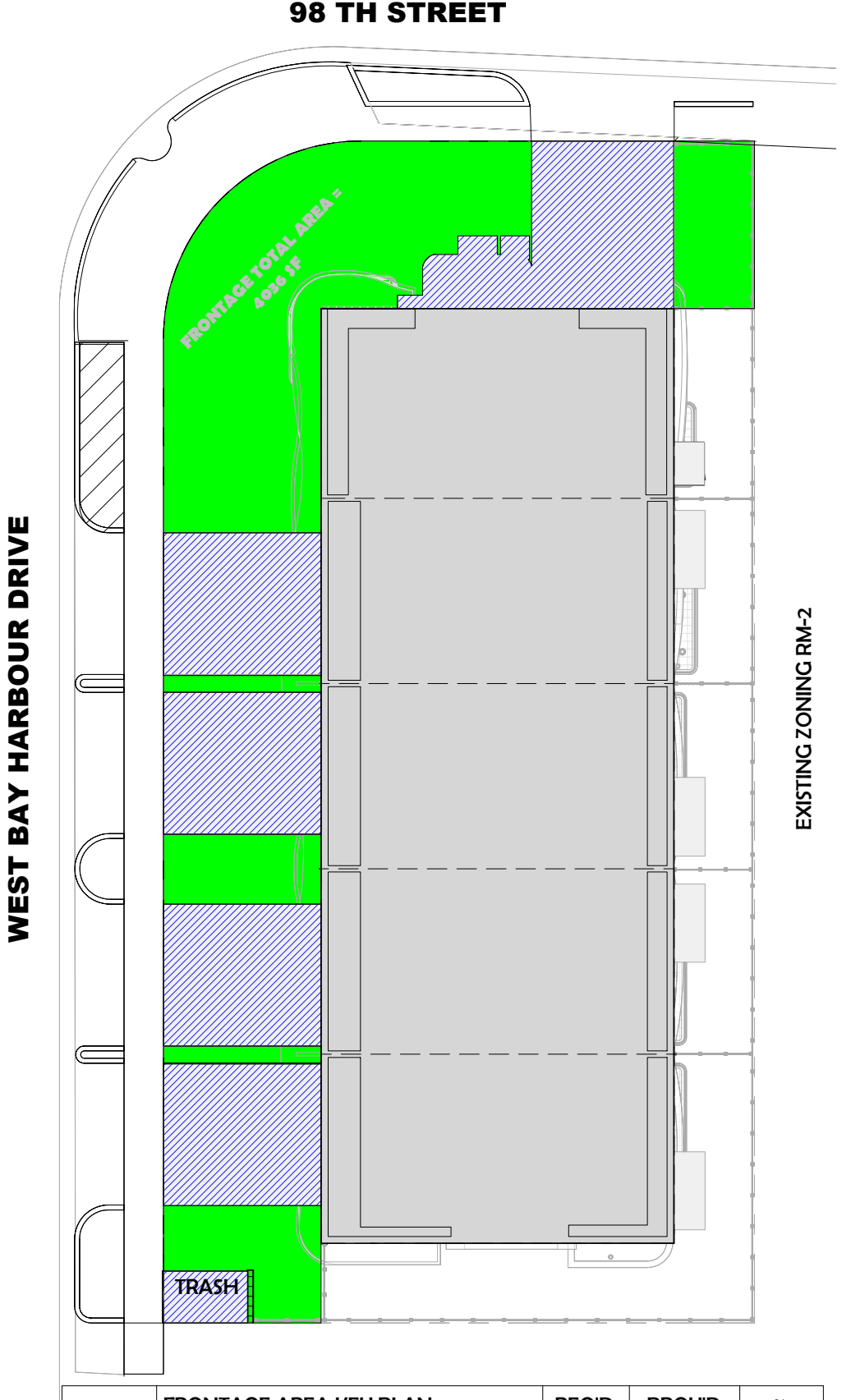
4 1" = 20'-0"



**LANDSCAPED AREAS KEY PLAN**

	REQ'D	PROVIDED
GRADE LEVEL LANDSCAPE AREA	= 3633 SF	
ROOF LANDSCAPE AREA (15% MIN) (PLANTERS PROPOSED)	= 795 SF	= 802 SF

5 1" = 20'-0"



**FRONTAGE AREA KEY PLAN**

	REQ'D	PROVD	%
LANDSCAPE AREA (50% MIN)	= 2018 SF	2020 SF	50.05%
HARD DRIVEWAY AREA (50% MAX)	= 2018 SF	2016 SF	49.95%

8 1" = 20'-0"

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**CLIENT NAME AND ADDRESS:**  
WEST BAY HARBOR 9761 LLC  
9761 WEST BAY HARBOR DRIVE  
BAY HARBOR ISLANDS, FLORIDA 33154

**PROJECT:**  
BAY HARBOR MULTIFAMILY

**ORLANDO CASTRO ARCHITECT.**  
ARCHITECT.  
AR98530

**ADDRESS:** 9039 WEST SUNRISE BLVD  
PLANTATION FL. 33322  
PH: (954) 474-0220  
EMAIL: america.gcs@hotmail.com

**JOB NUMBER:** 2024-0010  
**DATE:** 12-05-2024  
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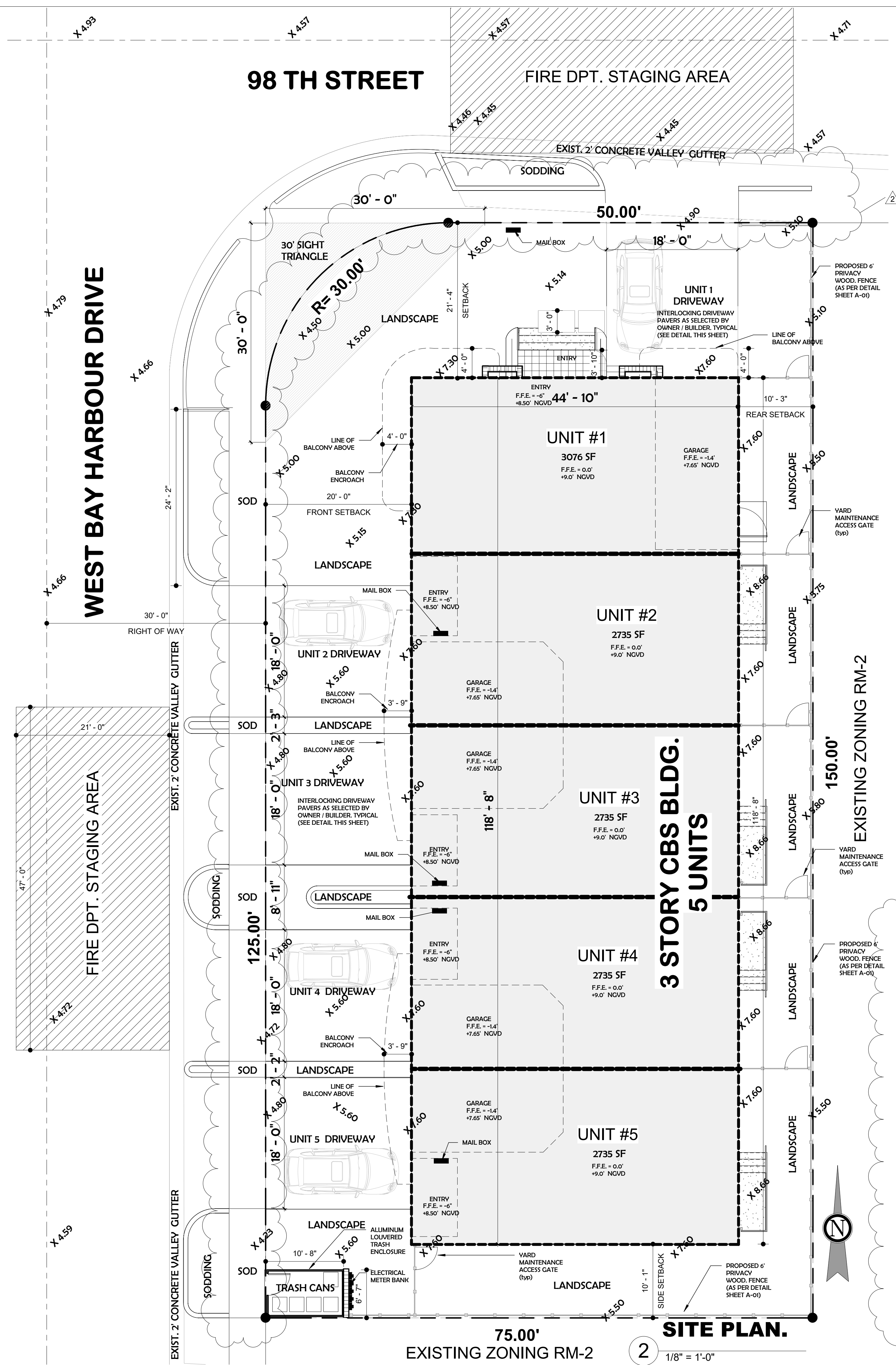
**REVISIONS**

1	CITY COMMENTS 11/26/24
2	DRC COMMENTS 12/17/24

**ZONING SET**  
SITE PLAN  
GENERAL  
DETAILS

**SHEET**  
A-01  
OF

**ARCHITECT**

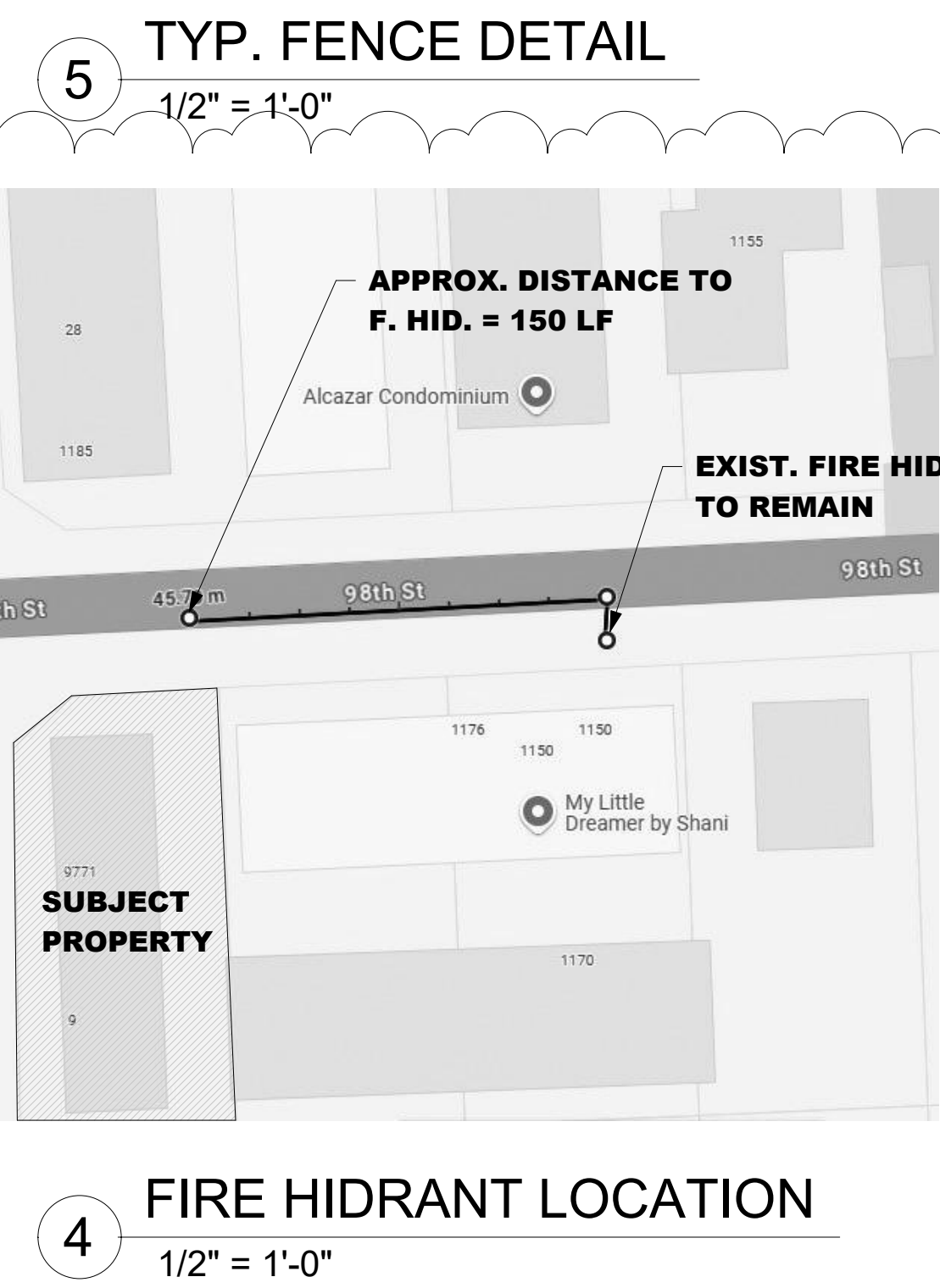
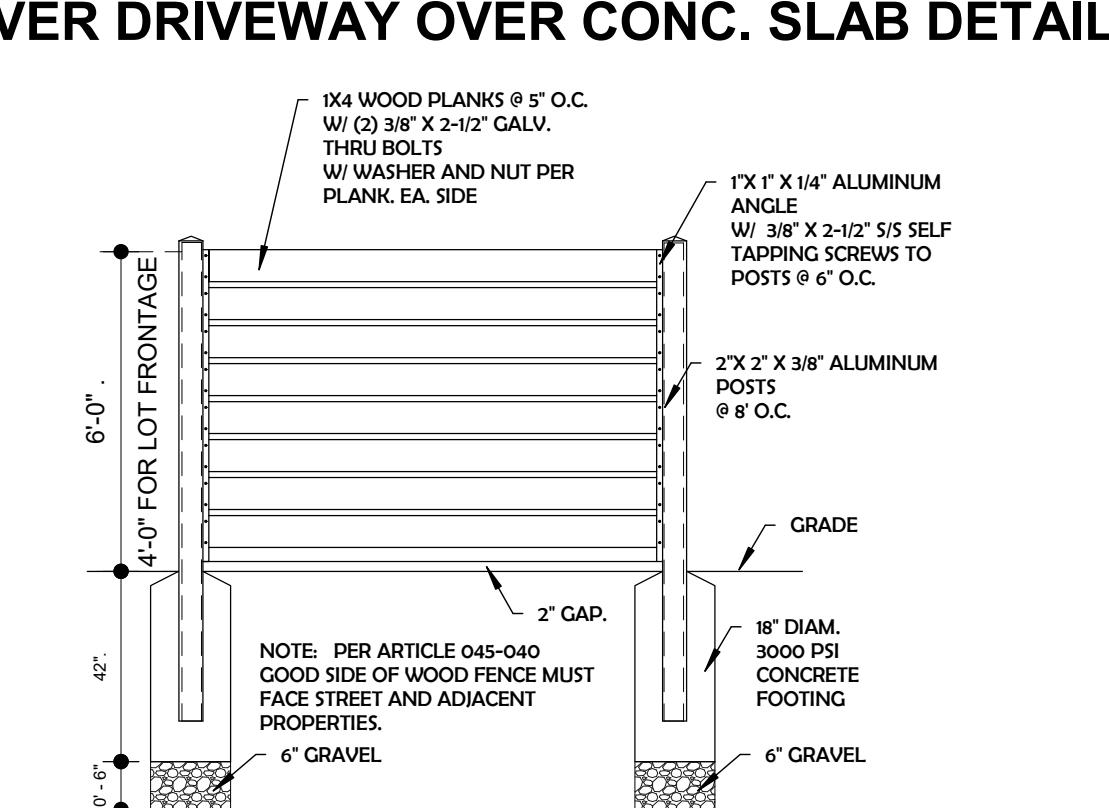
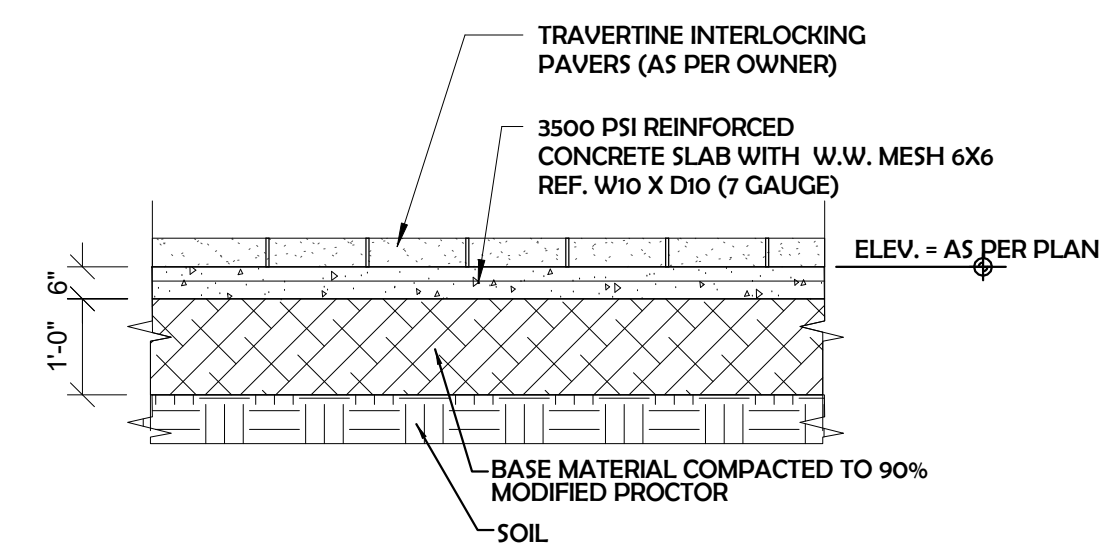


**LEGAL DESCRIPTION**  
**LOT 8, IN BLOCK 22, OF "BAY HARBOR ISLAND" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 46 AT PAGE 5 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.**

**BUILDING CODE DATA**  
 1- BUILDING CODE FBC 2023 RESIDENTIAL 8TH EDITION  
 2- OCCUPANCY = R-2  
 3- TYPE OF CONSTRUCTION III B

**TERMITE PROTECTION NOTE:**  
 TERMITE PROTECTION SHALL BE PROVIDED BY FLORIDA REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. SOIL SHALL BE TERMITE TREATED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL POST A WEATHER RESISTANT JOB BOARD TO RECEIVE DUPLICATE TREATMENT CERTIFICATES & SHALL DISPLAY PRODUCT USED IDENTITY OF APPLICATOR, TIME & DATE OF TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION & NUMBER OF GALLONS USED.

**NOTES:**  
 1. ALL DWELLING UNITS TO BE SOLD TO INDIVIDUALS. ALL EXTERIOR AREAS TO BE UNDER A COMMON H.O.A. ENTITY.  
 2. NO PROJECT SIGNAGE PROPOSED.  
 3. VISIBILITY TRIANGLE SHALL NOT CONTAIN OBSTRUCTIONS TO CROSS-VISIBILITY AT A HEIGHT BETWEEN 2 FEET AND 6 FEET ABOVE PAVEMENT.



ZONING CODES APPLICATION		
FOLIO	13-2227-001-3820	
	PROVIDED	REQUIRED
ZONING DISTRICT - CODE	RM-2 Multiple Fam. Res. District	RM-2
LOT'S LAND USE DESIGNATION	MH - MEDIUM HIGH DENSITY RESIDENTIAL (6-34 DU / AC)	MH - MEDIUM HIGH DENSITY RESIDENTIAL (6-34 DU / AC)
GENERAL LOCATION	9761 WEST BAY HARBOUR DRIVE	
LOT AREA	11,116 S.F. 0.2551 ACRES	11,116 S.F. 0.2551 ACRES
CONSTRUCTION DENSITY MAX.	5 DU PROPOSED	6-34 DU/ACRE = 8 ALLW
PERVIOUS AREA / GREEN SPACE	3633 SF 32.68%	20% MIN. = 2223 SF MIN.
IMPERVIOUS AREA.	7483 SF 67.32%	N/A
HEIGHT MAX. TO TOP OF ROOF	3 STORIES T.O.R 30'	65 FT. MAX ABOVE BFE +1 FBC FREEBOARD
BUILDING FOOTPRINT AREA	5317 SF = 47.26 %	
<b>SETBACKS</b>		
FRONT SETBACK	20' - 0"	20 FT
REAR	10' - 2"	10 FT
SIDE SETBACK (8% of Lot/W Min)	10'-00" Ft	10 FT
SIDE FACING STREET SETBACK (8% of Lot/W Min)	20'-8" Ft	10 FT
PARKING SPACES		
PARKING REQ'D = 2 SPACES / DWELLING (*5 DW) = 10 SPACES 10 PARKING SPACES REQUIRED. 10 SPACES PROVIDED. / LOADING ZONE REQ'D (NONE)		
<b>PROJECT PROPOSAL SUMMARY</b>		
UNITS 3 STORY, RMS/BTHS 4/4	5 UN	UNIT #
U/A CONSTRUCTION AREA	13,147 SF	
GARAGES	1,307 SF	
TOTAL AREA U/A	12,731 SF	
PRIVATE BALCONIES & TERRACES	5,512 SF	
TOTAL CONSTRUCTION AREA	19,672 SF	
FLOOD ZONE	AE	
BASE FLOOD ELEVATION	+8.00'	+8.00'
PROP. F.F. ELEVATION / DFE.	+9.00'	+9.00'
PANEL NUMBER	O144	O144
LOWEST ELEV. OF EQUIP.	39.00 NGVD	9.00 NGVD
HIGHEST CROWN ELEV.	4.79	4.79
GRADE ELEVATION (LOWEST / HIGHEST)	5.10 / 5.75	5.10 / 5.75
AREA SCHEDULE PER DWELLING UNIT UNIT 1 RMS/BTHS 4/4		
1ST FLOOR UNDER AIR / LIVING AREA	760 SF	
2ND FLOOR UNDER AIR / LIVING AREA	963 SF	
3RD FLOOR UNDER AIR / LIVING AREA	1002 SF	
TERRACE UNDER AIR / LIVING AREA	128 SF	
GARAGE	350 SF	
MAIN TERRACE	870 SF	
MAIN TERRACE LANDSCAPE REQ'D (15%)	166 SF	129 SF REQ'D
TOTAL BALCONIES	358 SF	
TOTAL UNDER AIR AREA	2853 SF	
TOTAL D.U. + GARAGE + TERRACES	4431 SF	
TYP. UNIT 2-5 RMS/BTHS 4/4		
1ST FLOOR UNDER AIR / LIVING AREA	715 SF	
2ND FLOOR UNDER AIR / LIVING AREA	783 SF	
3RD FLOOR UNDER AIR / LIVING AREA	891 SF	
TERRACE UNDER AIR / LIVING AREA	140 SF	
GARAGE	265 SF	
MAIN TERRACE	796 SF	
MAIN TERRACE LANDSCAPE REQ'D (15%)	(150 SF)	120 SF REQ'D
TOTAL BALCONIES	247 SF	
TOTAL UNDER AIR AREA	2529 SF	
TOTAL D.U. + GARAGE + TERRACES	3837 SF	

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 9761 WEST BAY HARBOUR DRIVE  
 BAY HARBOR ISLANDS, FLORIDA  
 33154

**PROJECT:**  
**BAY HARBOR**  
**MULTIFAMILY**

**ORLANDO CASTRO**  
 ARCHITECT.  
 AR98530

**ADDRESS: 9039 WEST**  
**SUNRISE BLVD**  
**PLANTATION FL. 33322**  
**PH: (954) 474-0220**  
**EMAIL: america.gcs@hotmail.com**

**JOB NUMBER:** 2024-0010  
**DATE:** 12-05-2024  
**DRAWN BY:** NPB  
**CHECKED BY:** O.C.S.

**REVISIONS**

1 CITY COMMENTS 11/26/24  
 2 DRC COMMENTS 12/17/24

**ZONING SET**

**SITE PLAN**

**SHEET**

**A-02**

**OF**

**ARCHITECT**

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REVISIONS	
1	CITY COMMENTS 11/26/24
2	DRC COMMENTS 12/17/24

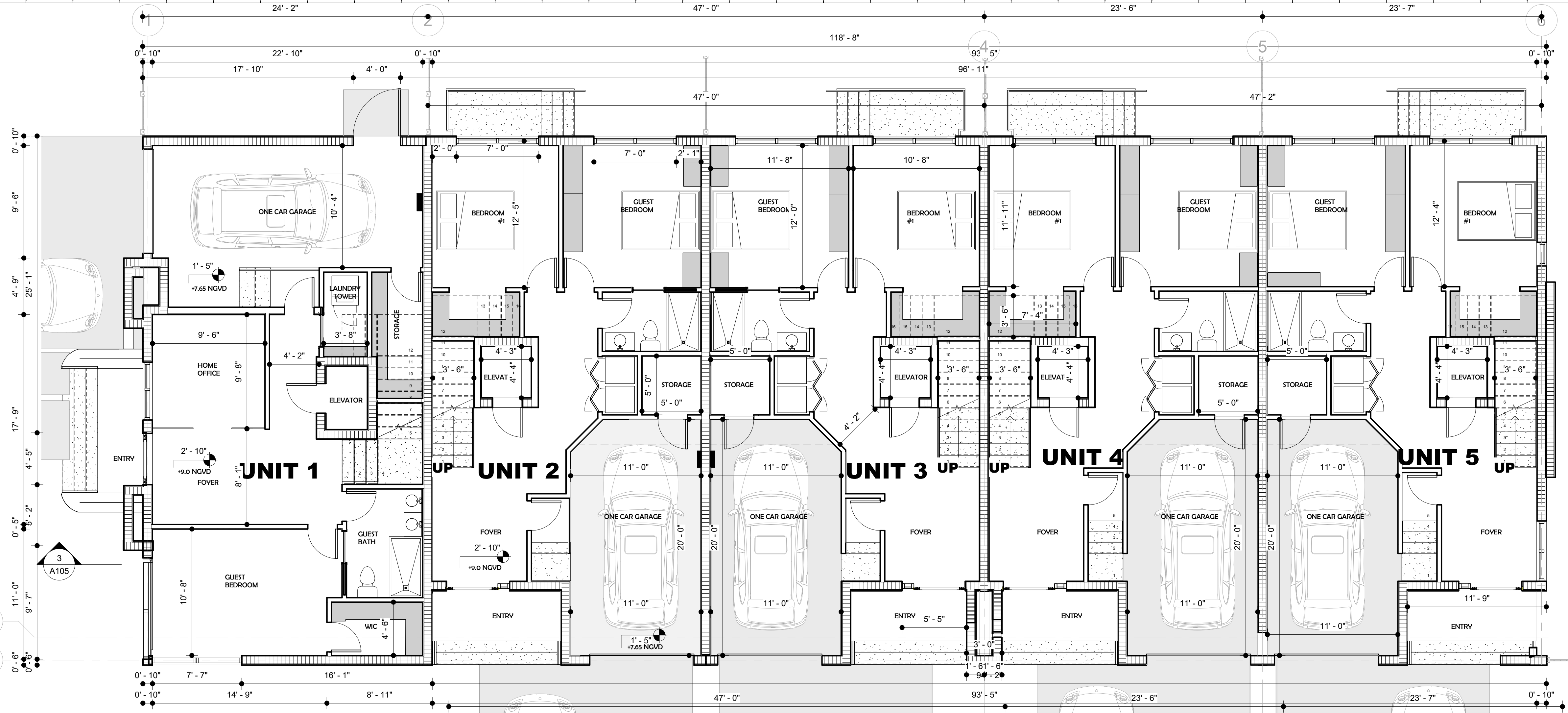
**ZONING SET**  
**PROPOSED**  
**1ST & 2ND**  
**FLOOR**  
**PLAN**

**SHEET**

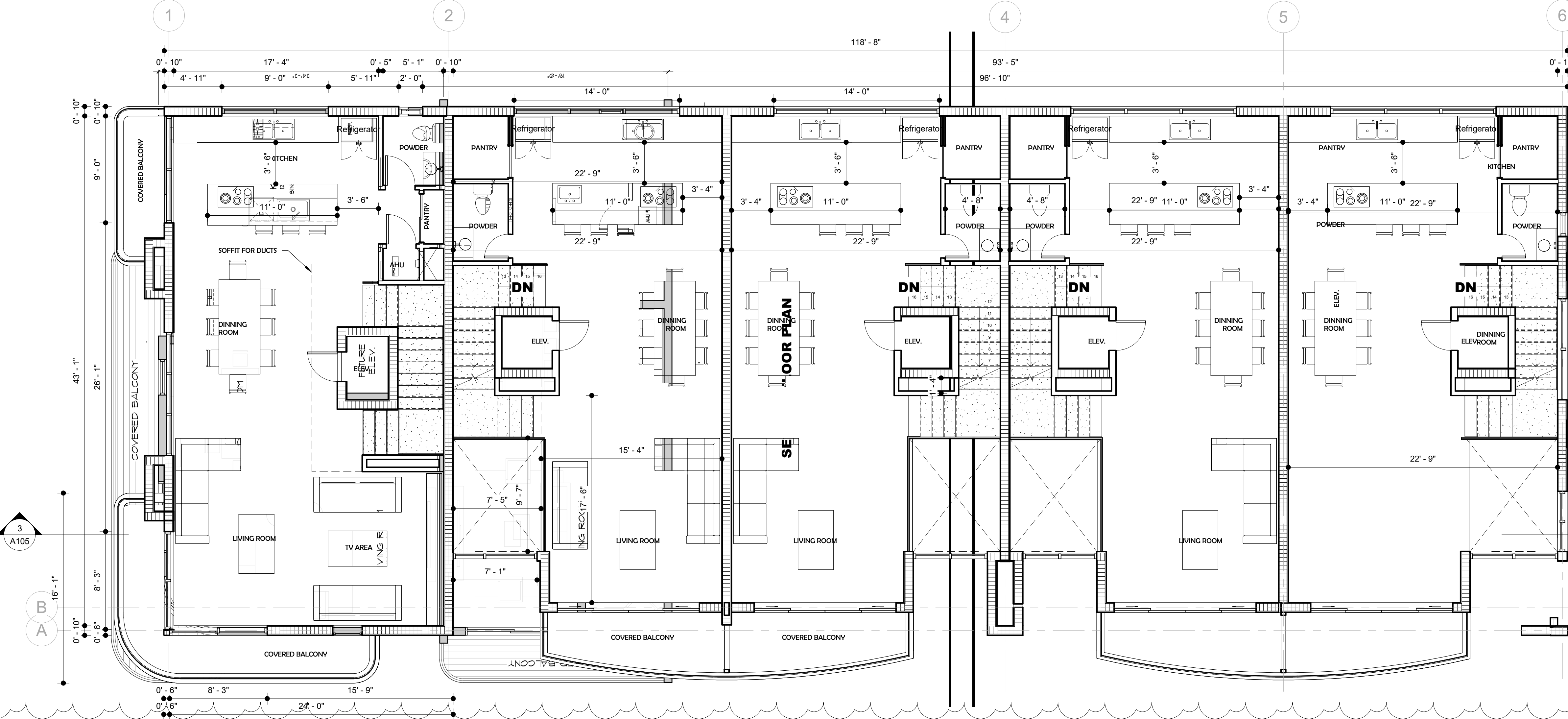
A101

OF

ARCHITECT



**1ST FLOOR PLAN**



**2ND FLOOR PLAN**

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**PROJECT:**  
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**ORLANDO CASTRO**  
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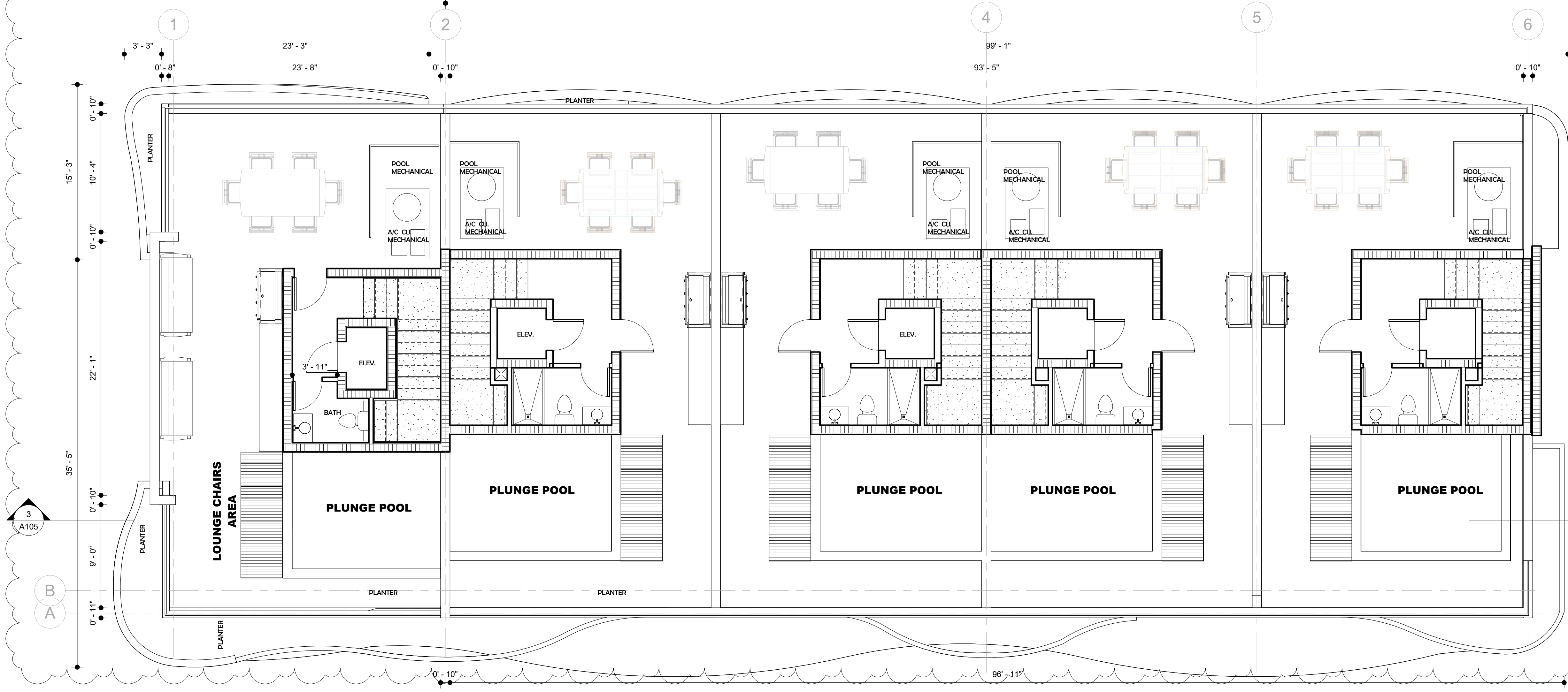
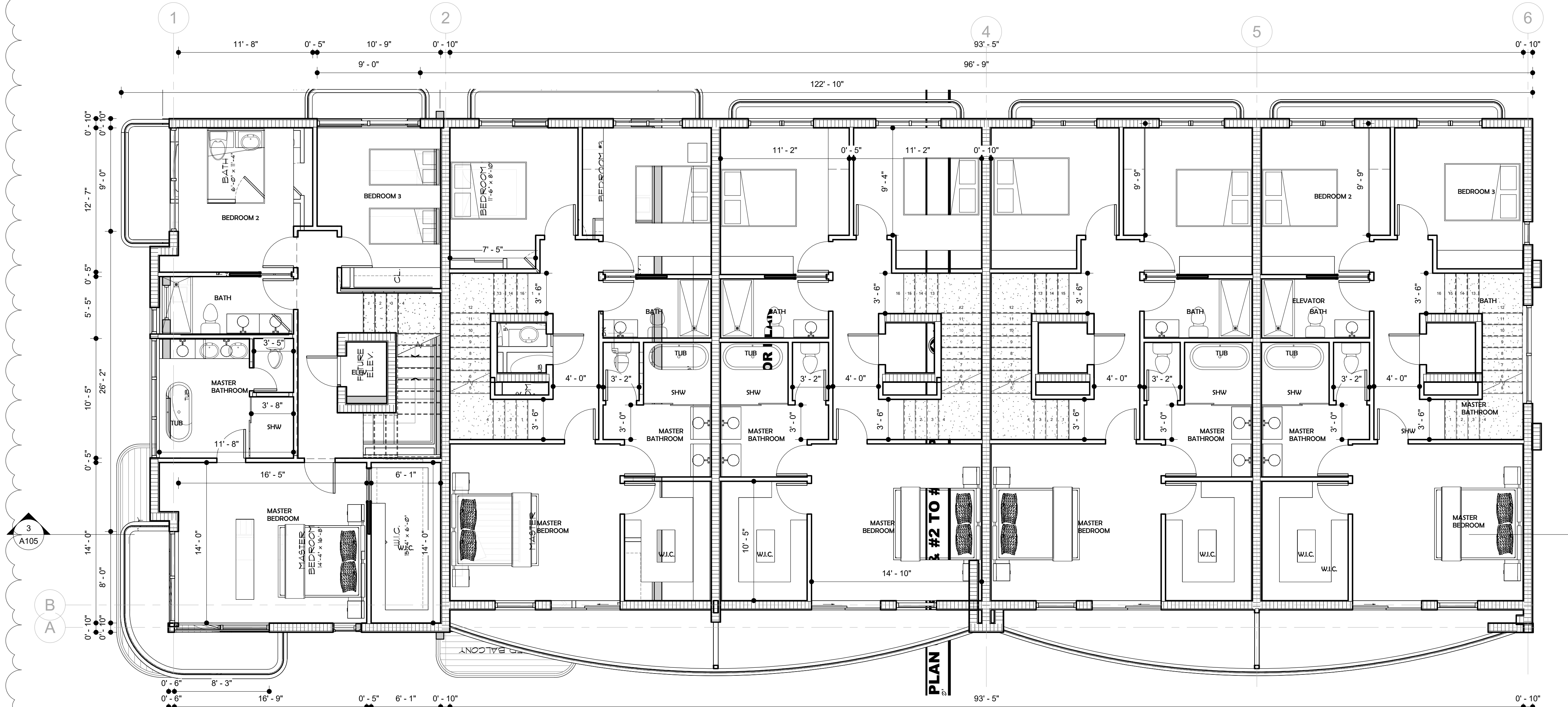
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<b>CHECKED BY:</b>	O.C.S.

REVISIONS	
1	CITY COMMENTS 11/26/24
2	DRC COMMENTS 12/17/24

**ZONING SET**  
 PROPOSED  
 3RD &  
 TERRACE  
 FLOOR  
 PLAN

SHEET	
A102	OF
ARCHITECT	



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**REVISIONS**

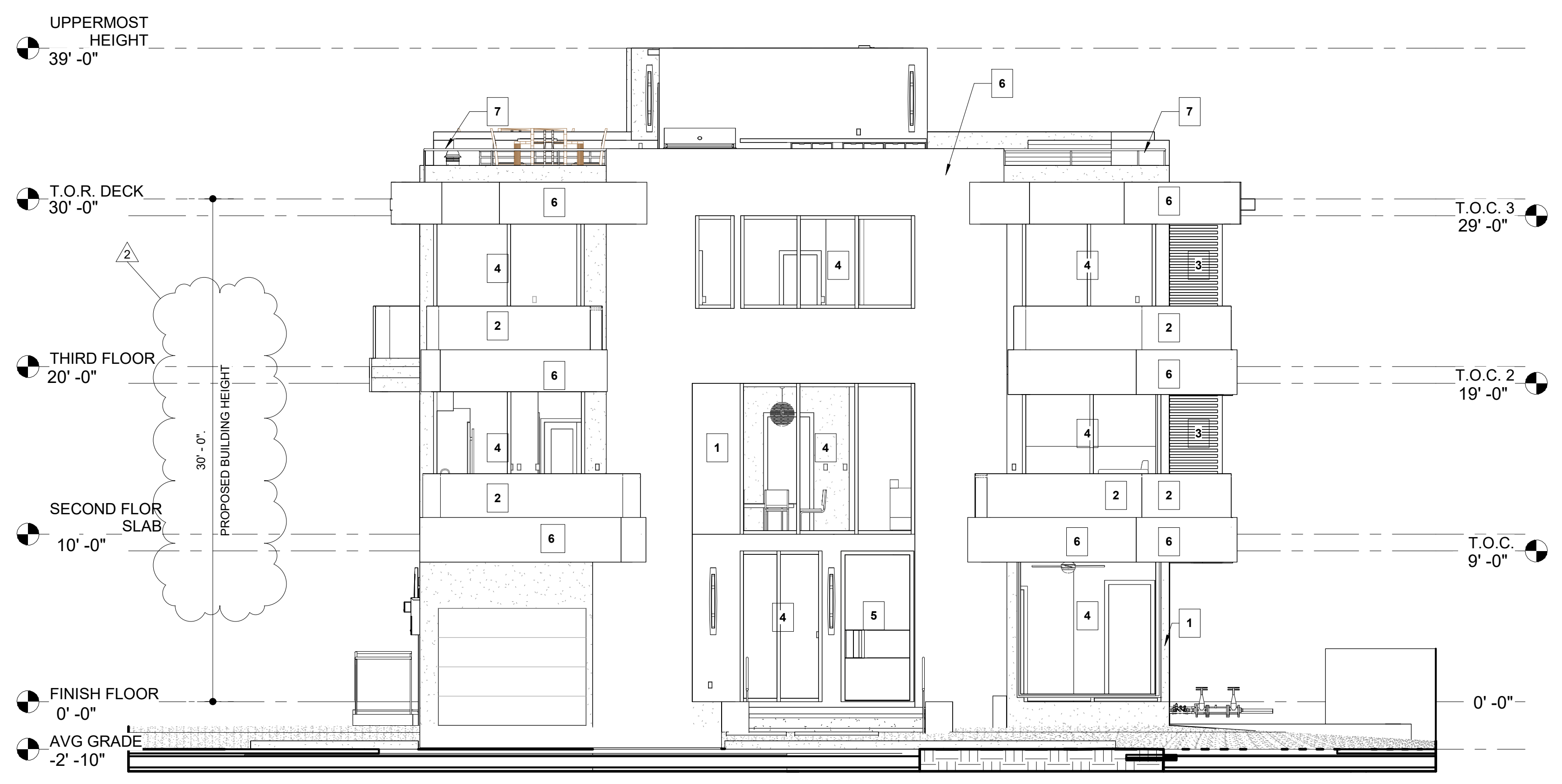
1 CITY COMMENTS 11/26/24  
 2 DRC COMMENTS 12/17/24

**ZONING SET**  
 EAST & NORTH ELEVATIONS

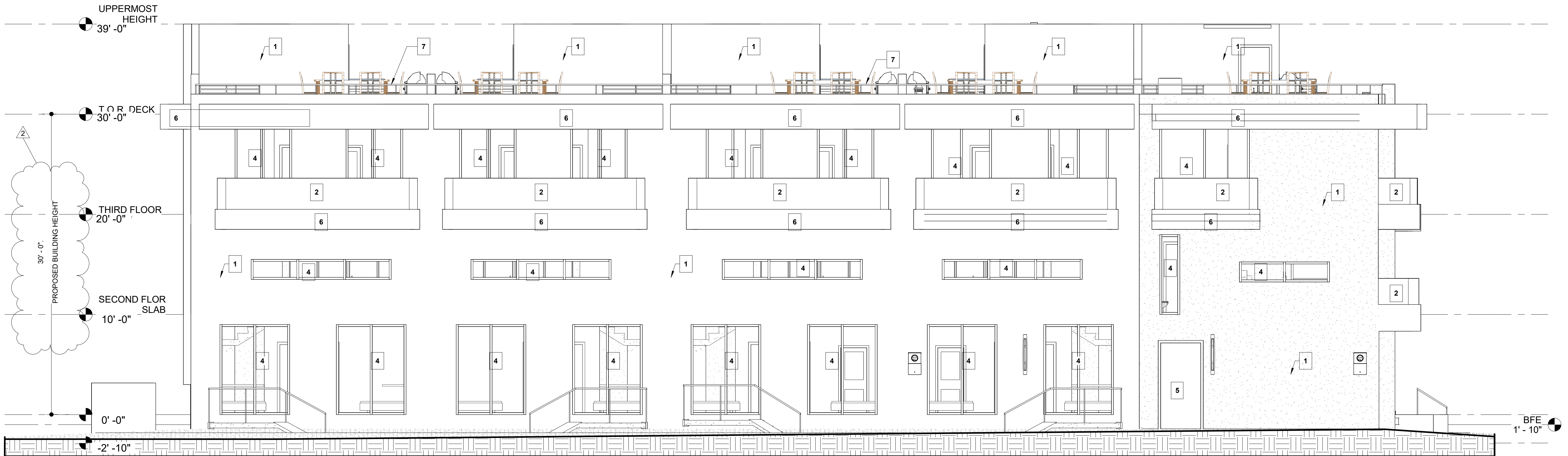
**SHEET**  
 A103  
 OF

ARCHITECT

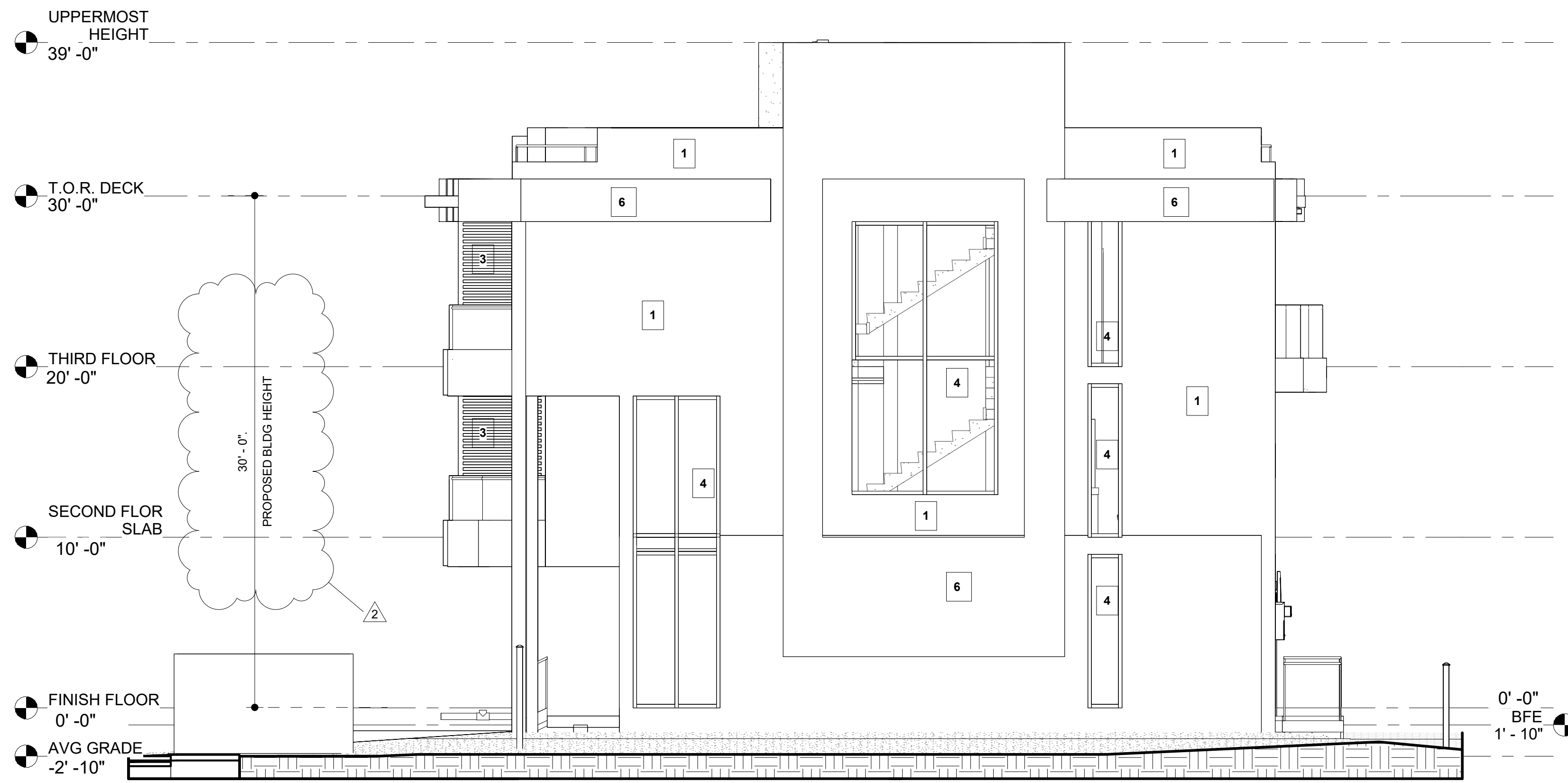
EXTERIOR FACADES FINISH SCHEDULE			
No.	ITEM	SPECS.	COLOR / MATERIAL
1	GENERAL EXTERIOR WALLS	CBS WALLS WITH SMOOTH STUCCO FINISH	BENJAMIN MOORE OC-65 (CHANTILLI LACE)
2	RAILINGS	TEMPERED OR LAMINATED GLASS RAILINGS	BRONZE COLOR LAMNATED OR TEMPERED GLASS W/ BRONZE COLOR ALUMINUM TOP RAIL
3	BALCONY TRELLIS	POWDER COATED ALUMINUM TUBING TRELLIS	WOOD PATTERN POWDER COATED NATURAL OAK COLOR AS PER MANUF.
4	GLAZING	COLORED GLAZING / TINTED FLOAT (LIGHT REFLECTIVE)	BRONZE TINTED (REFLECTIVE) W/ BRONZE COLOR FRAME
5	FRONT DOOR	WOOD PIVOT DOOR W/ SIDELITES W/ BIOMETRIC SECURITY SYSTEM	NATURAL OAK COLOR AND BLACK OR BRONZE HARDWARE
6	FACADE ACCENTS / TILING	TRAVERTINE MARBLE TILING CLADDING	TRAVERTINE MARBLE TILES
7	TERRACE RAILING	ALUMINUM RAILING W/ CABLES	BRONZE COLOR POWDER COATED ALUMINUM RAILING W/ S/S CABLES
8	SITE & PRIVACY FENCE	WOOD SLATS W/ METAL FRAME AS PER MANUF. SPECS	WOOD SLATS AND BLACK METAL POSTS
9	GARAGE DOOR	OVERHEAD WOOD GARAGE DOOR	NATURAL OAK COLOR AND BLACK OR BRONZE HARDWARE
10	EXTERIOR AREAS CEILING	PVC SLATS CEILING	PVC - OAK WOOD COLOR AS PER MANUF.



3 LEFT ELEVATION

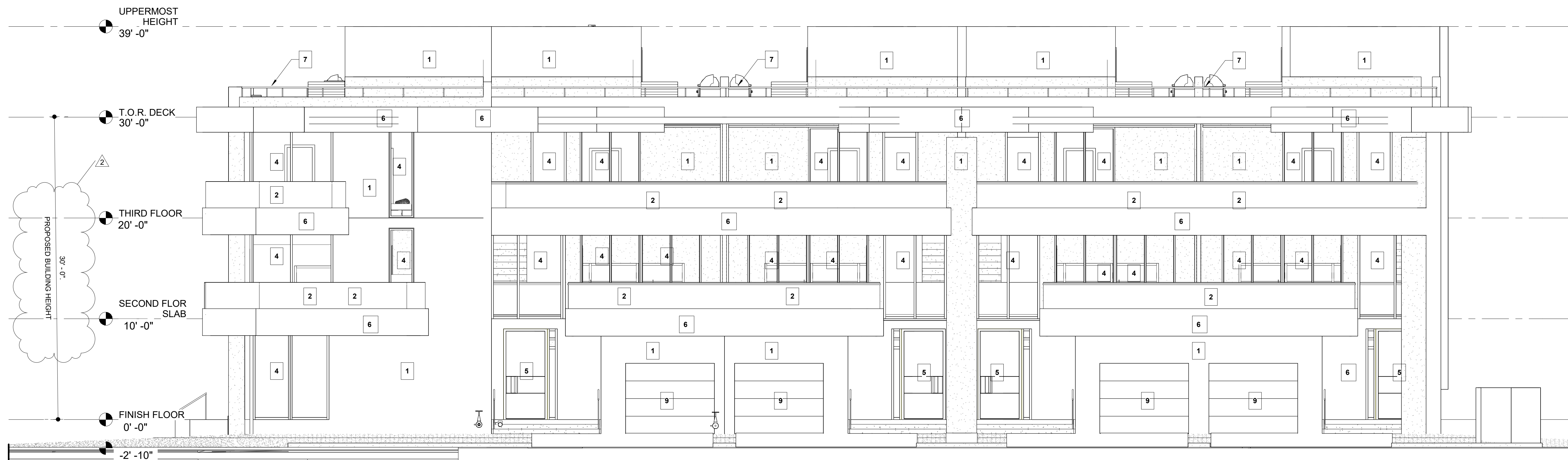


2 REAR ELEVATION



2 RIGHT ELEVATION

EXTERIOR FACADES FINISH SCHEDULE				
No.	ITEM	SPECS.	COLOR / MATERIAL	
1	GENERAL EXTERIOR WALLS	CBS WALLS WITH SMOOTH STUCCO FINISH	BENJAMIN MOORE OC-65 (CHANTILLI LACE)	
2	RAILINGS	TEMPERED OR LAMINATED GLASS RAILINGS	BRONZE COLOR LAMINATED OR TEMPERED GLASS W/ BRONZE COLOR ALUMINUM TOP RAIL	
3	BALCONY ACCENT TRELLIS	POWDER COATED ALUMINUM TUBING TRELLIS	WOOD PATTERN POWDER COATED NATURAL OAK COLOR AS PER MANUF.	
4	GLAZING	COLORLED GLAZING / TINTED FLOAT (LIGHT REFLECTIVE)	BRONZE TINTED (REFLECTIVE) W/ BRONZE COLOR FRAME	
5	FRONT DOOR	WOOD PIVOT DOOR W/ SIDELITES W/ BIOMETRIC SECURITY SYSTEM	NATURAL OAK COLOR AND BLACK OR BRONZE HARDWARE	
6	FACADE ACCENTS / TILING	TRAVERTINE MARBLE TILING CLADDING	TRAVERTINE MARBLE TILES	
7	TERRACE RAILING	ALUMINUM RAILING W/ CABLES	BRONZE COLOR POWDER COATED ALUMINUM RAILING W/ S/S CABLES	
8	SITE & PRIVACY FENCE	WOOD SLATS W/ METAL FRAME AS PER MANUF. SPECS	WOOD SLATS AND BLACK METAL POSTS	
9	GARAGE DOOR	OVERHEAD WOOD GARAGE DOOR	NATURAL OAK COLOR AND BLACK OR BRONZE HARDWARE	
10	EXTERIOR AREAS CEILING	PVC SLATS CEILING	PVC - OAK WOOD COLOR AS PER MANUF.	



3 FRONT ELEVATION

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PROJECT:  
BAY HARBOR  
MULTIFAMILY

ORLANDO CASTRO  
ARCHITECT.  
AR98530

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DATE:	12-05-2024
DRAWN BY:	NPB
CHECKED BY:	O.C.S.

REVISIONS

- 1 CITY COMMENTS 11/26/24
- 2 DRC COMMENTS 12/17/24

ZONING SET

SOUTH & WEST ELEVATIONS

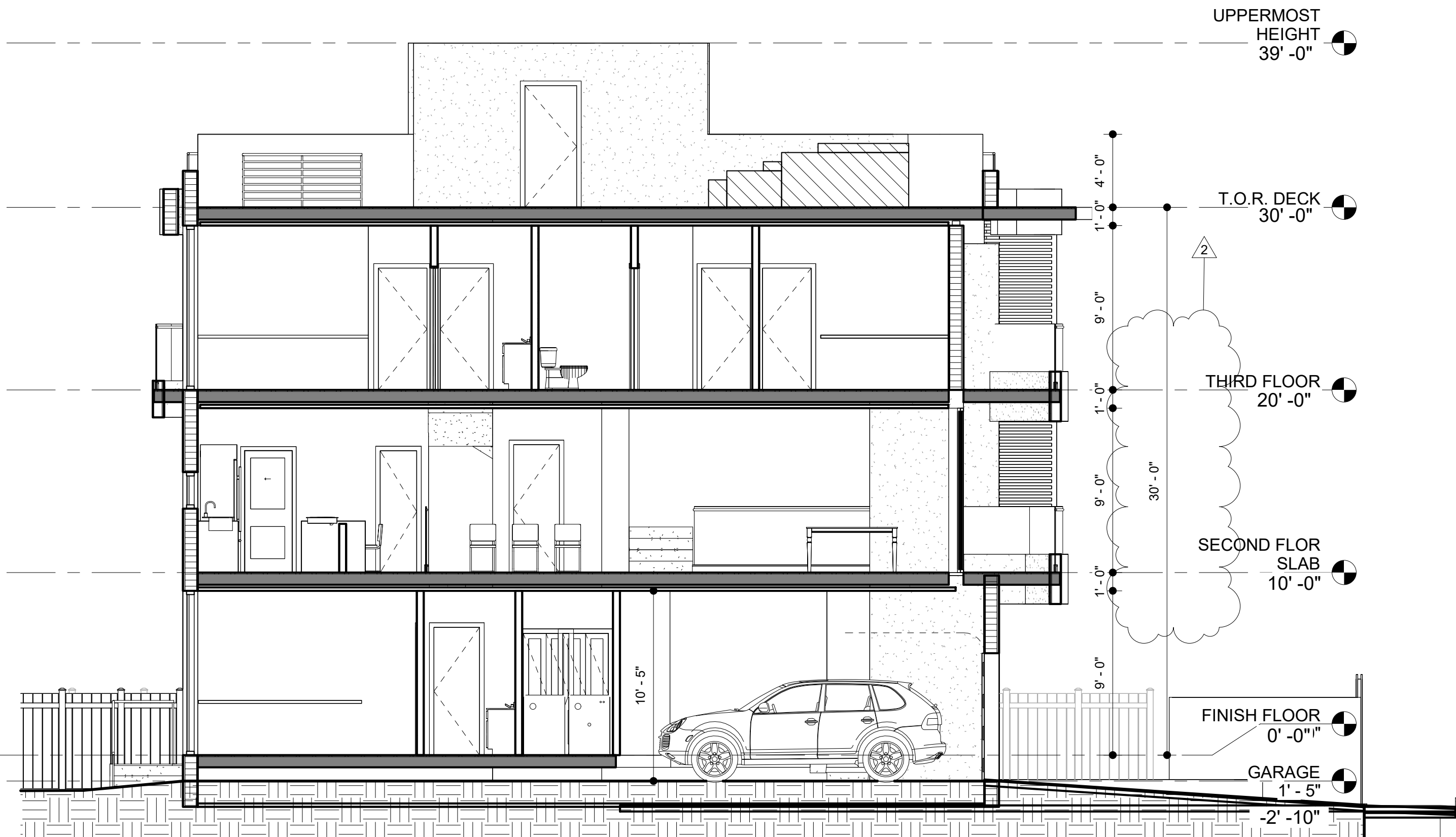
SHEET

A104

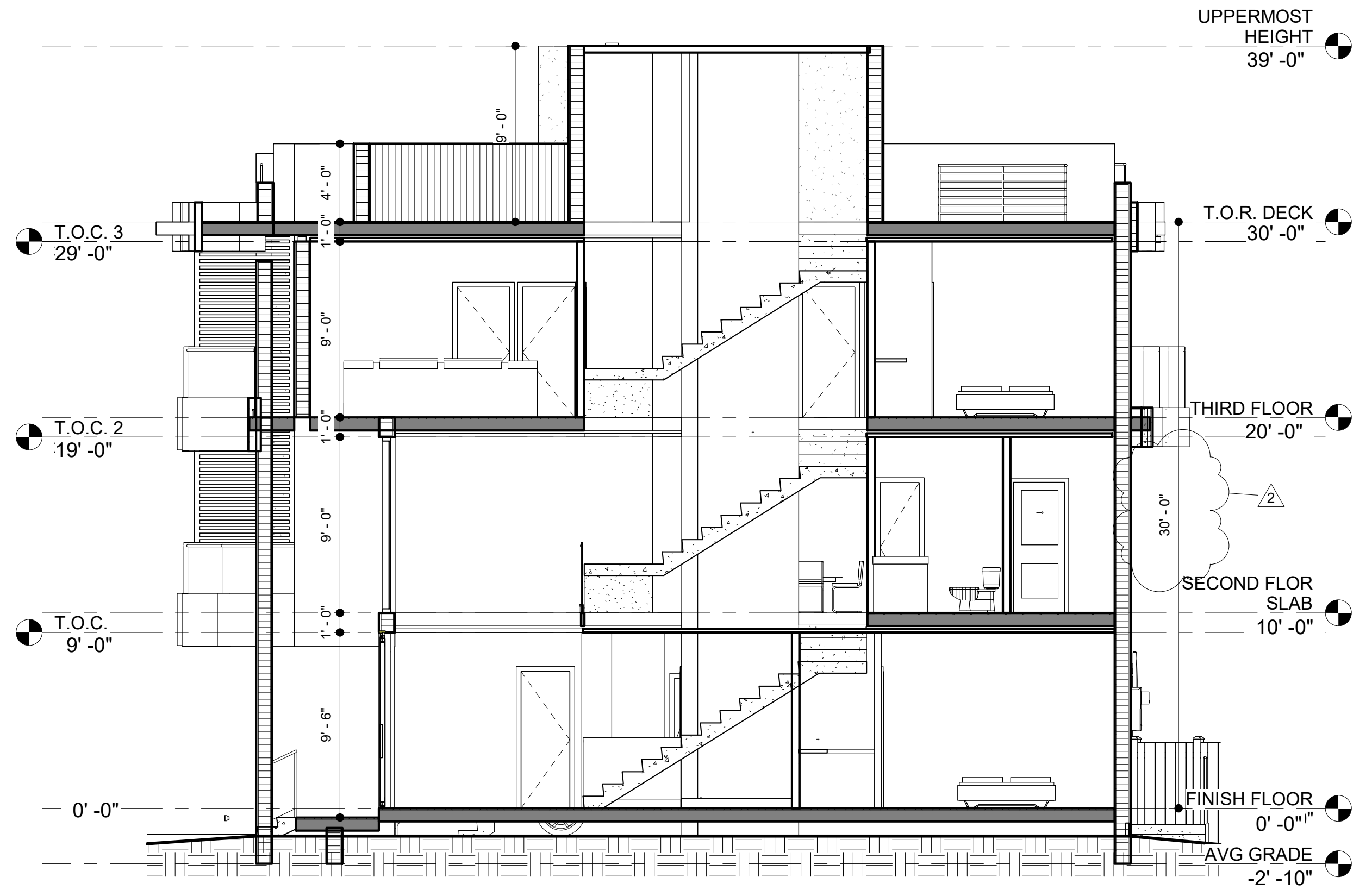
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ARCHITECT

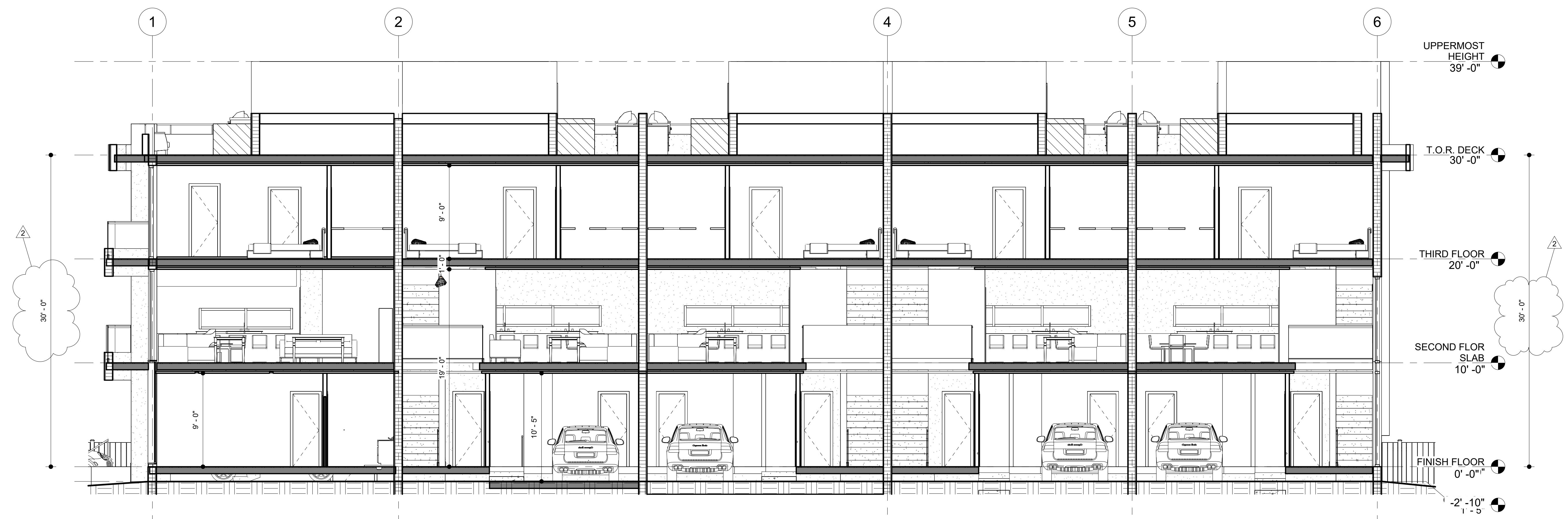
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**SECTION A**  
1 3/16" = 1'-0"



**SECTION B**  
2 3/16" = 1'-0"



**SECTION C**  
3 3/16" = 1'-0"

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SUNRISE BLVD  
PLANTATION FL. 33322  
PH: (954) 474-0220  
EMAIL: america.gcs@hotmail.com

JOB NUMBER:	2024-0010
DATE:	12-05-2024
DRAWN BY:	NPB
CHECKED BY:	O.C.S.

**REVISIONS**

1	CITY COMMENTS 11/26/24
2	DRC COMMENTS 12/17/24

**ZONING SET**  
**BUILDING SECTIONS**

**SHEET**  
A105  
OF

ARCHITECT



NO PART OF THIS PLAN OR DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING OR ANY INFORMATION RETRIEVAL SYSTEM), WITHOUT THE WRITTEN APPROVAL OF ORLANDO CASTRO ARCHITECT AND PERMITS. WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS DEPICTED ON THESE DRAWINGS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES FOUND AND ASSUMES NO LIABILITY FOR THE

**CLIENT NAME AND ADDRESS:**  
 WEST BAY HARBOR 9761 LLC  
 9761 WEST BAY HARBOR DRIVE  
 BAY HARBOR ISLANDS, FLORIDA 33154

**PROJECT:**  
**BAY HARBOR**  
**MULTIFAMILY**

**ORLANDO CASTRO**  
 ARCHITECT.  
 AR98530

**ADDRESS:** 9039 WEST  
 SUNRISE BLVD  
 PLANTATION FL. 33322

**PH:** (954) 474-0220  
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<b>JOB NUMBER:</b>	2024-0010
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<b>DRAWN BY:</b>	NPB
<b>CHECKED BY:</b>	O.C.S.

REVISIONS	
1	CITY COMMENTS 11/26/24
2	DRC COMMENTS 12/17/24

**ZONING SET**  
**PROPOSED VIEWS**

**SHEET**  
 A106  
 OF  
 ARCHITECT

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**PROJECT:**  
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**REVISIONS**

- 1 CITY COMMENTS 11/26/24
- 2 DRC COMMENTS 12/17/24

**ZONING SET**

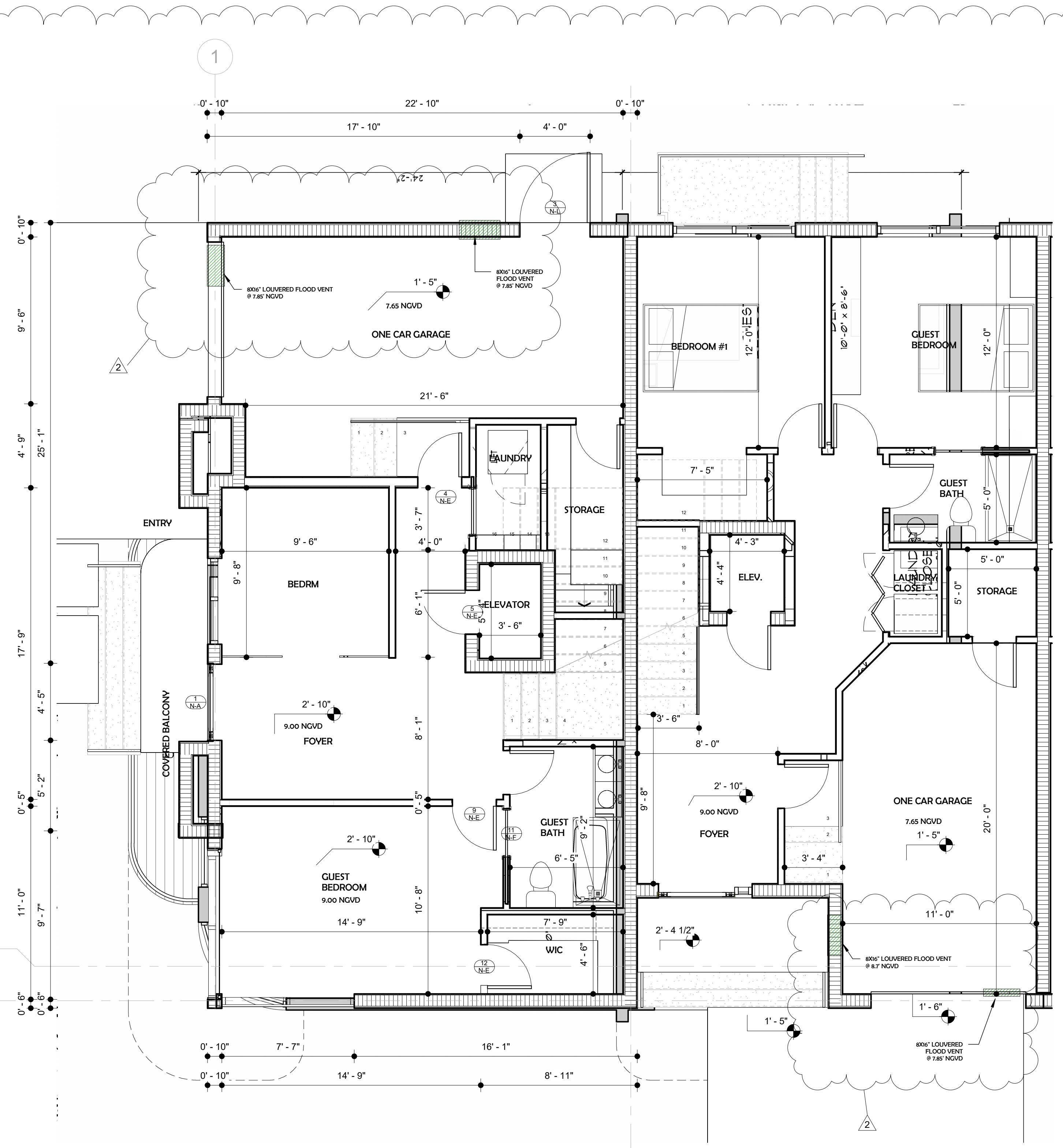
**FLOOR PLAN PER UNIT**

**SHEET**

A107

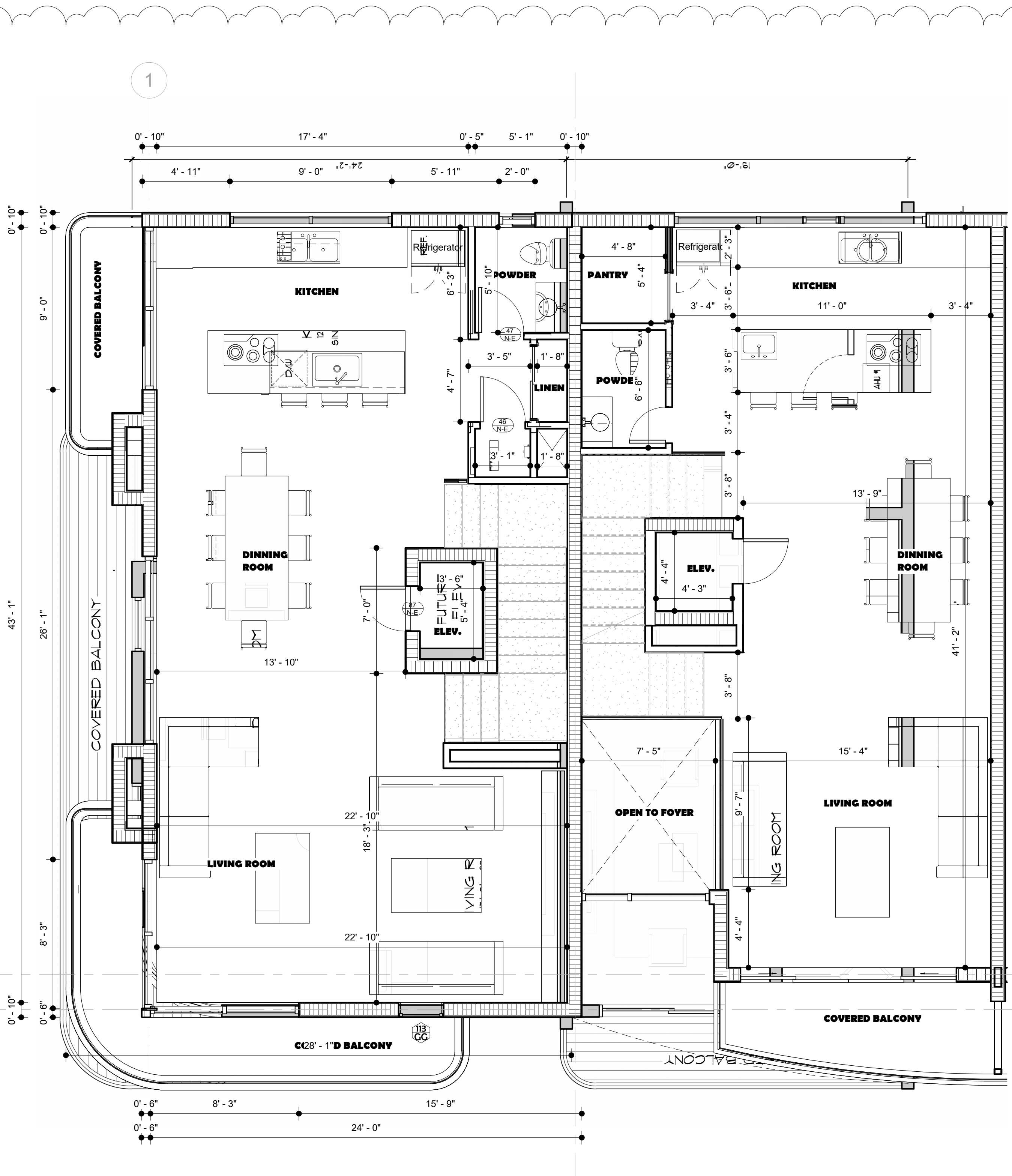
OF

ARCHITECT



**1st FLOOR PLAN TYP. UNIT**

1/4" = 1'-0"



**2nd FLOOR PLAN TYP. UNIT**

1/4" = 1'-0"

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 WEST BAY HARBOR 9761 LLC  
 9761 WEST BAY HARBOR DRIVE  
 BAY HARBOR ISLANDS, FLORIDA 33154

**PROJECT:**  
 BAY HARBOR  
 MULTIFAMILY

**ORLANDO CASTRO**  
 ARCHITECT.  
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**REVISIONS**

- 1 CITY COMMENTS 11/26/24
- 2 DRC COMMENTS 12/17/24

**ZONING SET**

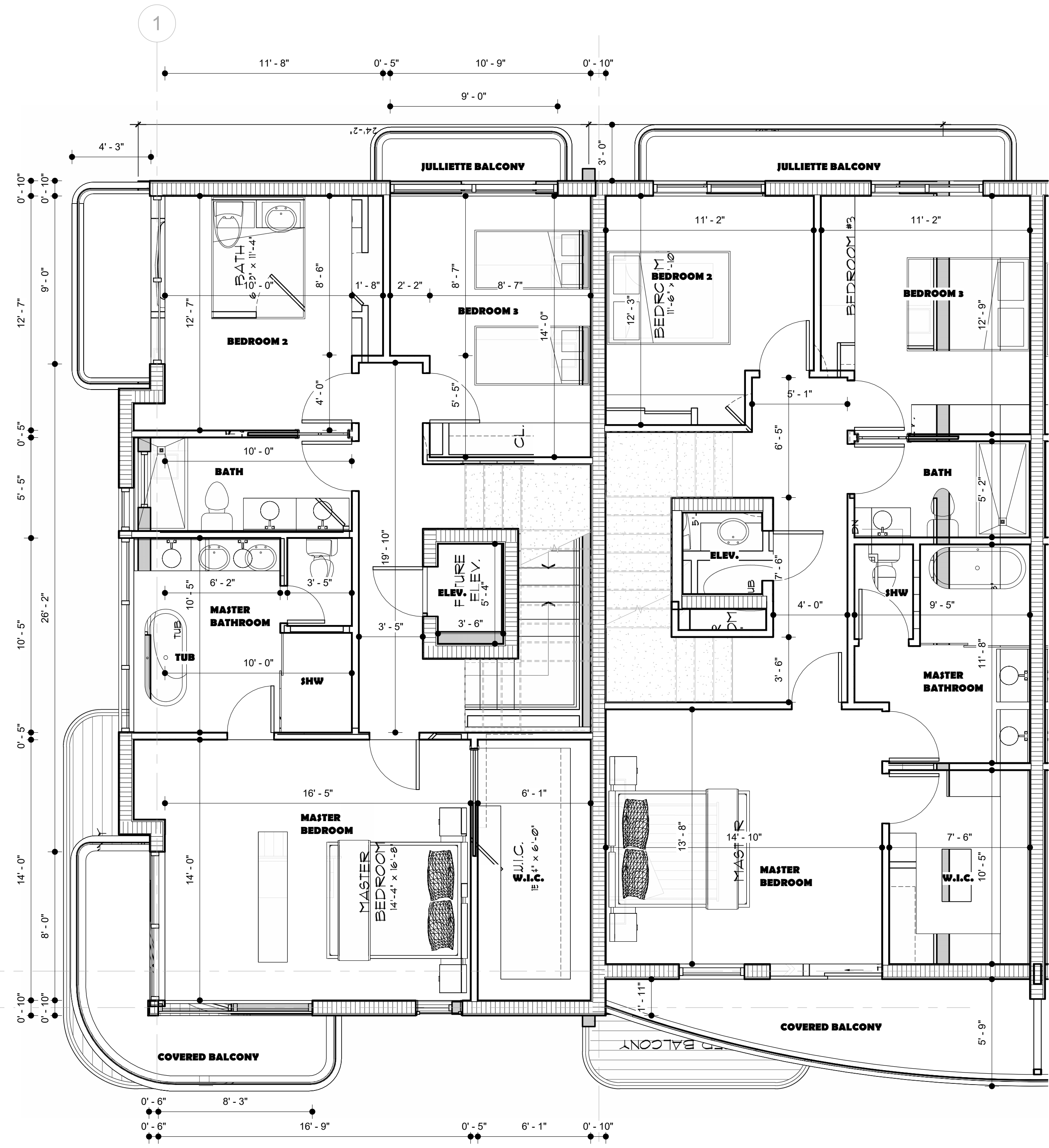
**FLOOR PLAN PER UNIT**

**SHEET**

A108

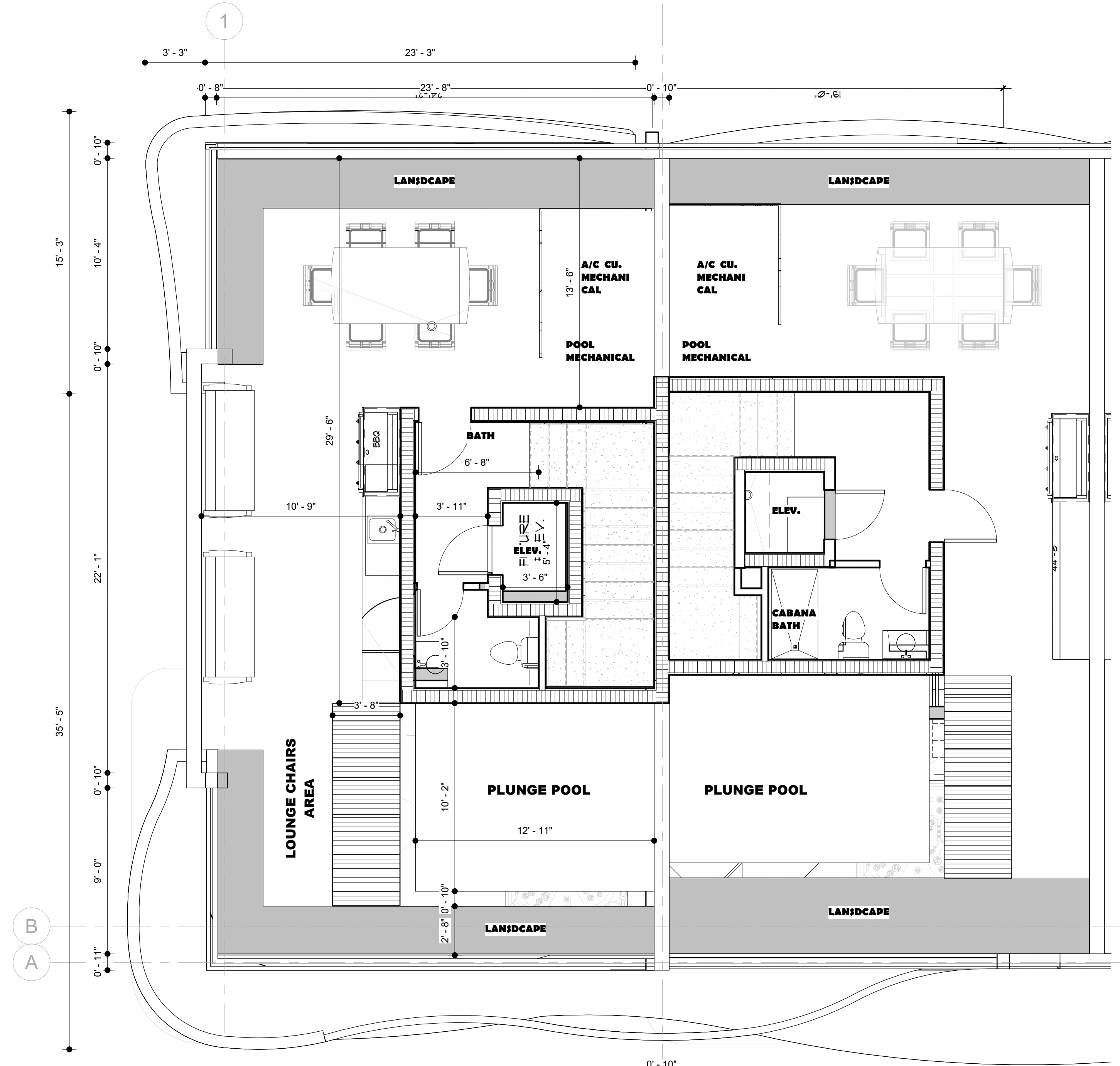
OF

ARCHITECT



**3RD FLOOR PLAN TYP. UNIT**

1 1/4" = 1'-0"



**TERRACE FLOOR PLAN TYP. UNIT**

2 1/4" = 1'-0"

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**EXISTING**

**PROPOSED**

**CLIENT NAME AND ADDRESS:**  
 WEST BAY HARBOR 9761 LLC  
 9761 WEST BAY HARBOR DRIVE  
 BAY HARBOR ISLANDS, FLORIDA  
 33154

**PROJECT:**  
**BAY HARBOR**  
**MULTIFAMILY**

**ORLANDO CASTRO**  
 ARCHITECT.  
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<b>JOB NUMBER:</b>	2024-0010
<b>DATE:</b>	12-05-2024
<b>DRAWN BY:</b>	NPB
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REVISIONS	
1	CITY COMMENTS 11/26/24
2	DRC COMMENTS 12/17/24

**PERSPECTIVES**

**SHEET**

A109

OF

ARCHITECT

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**CLIENT NAME AND ADDRESS:**  
 WEST BAY HARBOR 9761 LLC  
 9761 WEST BAY HARBOR DRIVE  
 BAY HARBOR ISLANDS, FLORIDA 33154

**PROJECT:**  
**BAY HARBOR MULTIFAMILY**

**ORLANDO CASTRO ARCHITECT**  
 AR98530

**ADDRESS:** 9039 WEST SUNRISE BLVD PLANTATION FL. 33322  
**PH:** (954) 474-0220  
**EMAIL:** america\_gcs@hotmail.com

**JOB NUMBER:** 2024-0010  
**DATE:** 12-05-2024  
**DRAWN BY:** NPB  
**CHECKED BY:** O.C.S.

**REVISIONS**

- 1. CITY COMMENTS 11/26/24
- 2. DRC COMMENTS 12/17/24
- 3. DRC COMMENTS 12/31/24

**ZONING SET**

**SITE DRAINAGE PLAN**

**SHEET**

C-01

OF

**CIVIL ENGINEER**

**ARCHITECT**

**AREA-1 DRAINAGE CALCULATIONS**

TOTAL AREA TREATED 8,919 S.F. = 0.204 ACRE

$A_{conc} = 0.132 \text{ AC} \cdot C_{sf} = 0.95 = 0.125$        $C = \frac{0.136}{0.204} = 0.67$   
 $A_{awn} = 0.072 \text{ AC} \cdot C_{sf} = 0.15 = 0.011$        $\frac{0.011}{0.073}$

$I = 3.29$  (IDF Curves, Zone 10, 1hr duration, Return period 10 years)  
 $V = C \cdot I \cdot A = 0.67 \cdot 3.29 \cdot 0.204 = 0.45 \text{ AC-IN} = 5.40 \text{ AC-IN}$

$L = \frac{V}{(K(H_z W + 2H_z D_s - D_s^2) - 2H_z D_s)} + 1.39 \times 10^{-4} (W D_s)$

WERE:  
 $V = 0.45 \text{ AC FT.}$   
 $L = \text{LENGTH} = ?$   
 $W = 3' - 0"$   
 $K = 3.15 \times 10^{-4} \text{ CFS/FT}^2 - \text{FT OF HEAD}$   
 $H_z = 4.30 \text{ FT.}$   
 $D_s = 3.0 \text{ FT.}$   
 $D_s = 10.70 \text{ FT.}$

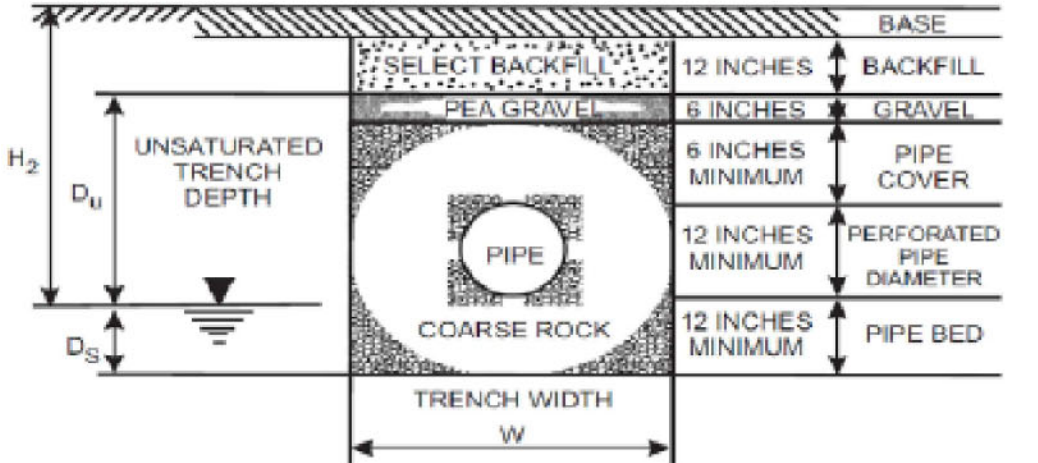
$L = \frac{0.45 \text{ AC-IN}}{0.039593} = 11.37 \text{ FT}$

LENGTH OF TRENCH REQUIRED = 11.37 FT PROVIDED 20.0 FT  
 Volume Provided =  $V \cdot L \cdot (K(H_z W + 2H_z D_s - D_s^2) - 2H_z D_s) + 1.39 \times 10^{-4} (W D_s)$   
 $20 \cdot [0.000315(4.30 \times 3 + 2 \times 4.30 \times 3 - 3^2) - 2 \times 4.30 \times 3 + 10.70] + 1.39 \times 10^{-4} (3 \times 3) = 0.79 \text{ AC-IN} > 0.45 \text{ AC-IN required}$

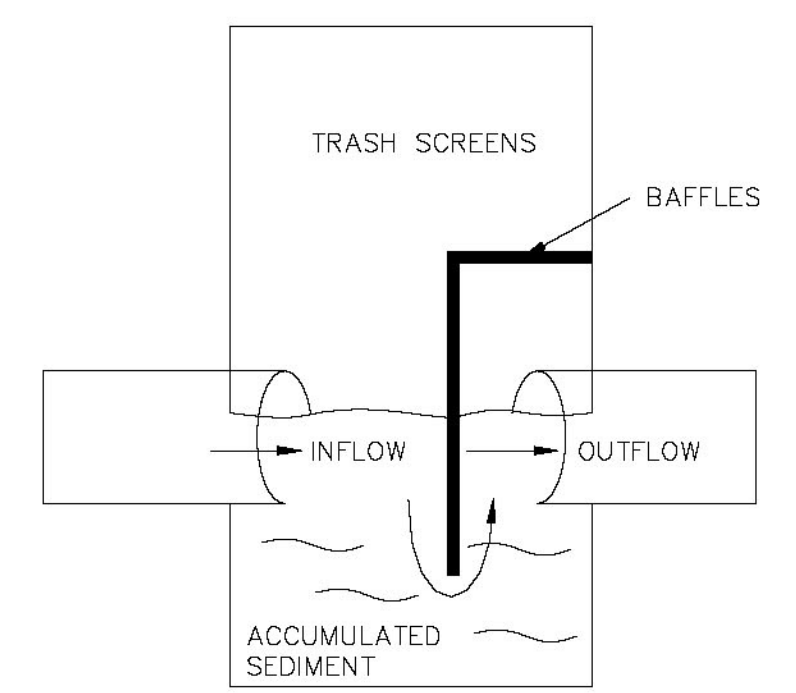
**AREA-2 DRAINAGE CALCULATIONS**

AREA (2) 2,229 Ft<sup>2</sup> = 0.051 ACRE TOTAL  
 IMPERVIOUS AREA 479 Ft<sup>2</sup> = 0.011 ACRE  
 $A_{conc} = 0.011 \text{ AC} \cdot C_{sf} = 0.95 = 0.010$   
 TOTAL PERVIOUS AREA 1,750 Ft<sup>2</sup> = 0.040 ACRE  
 $A_{awn} = 0.040 \text{ AC} \cdot C_{sf} = 0.15 = 0.006$   
 $C = 0.010 + 0.006 / 0.051 = 0.31$   
 (8hr duration, Return period 100 years)  
 $I = 1.25 \text{ Inch/Hr AS PER M.D.P.W. WC 1.1}$   
 $Q = C \cdot I \cdot A = 0.31 \cdot 1.25 \cdot 0.051 \cdot 4,560 / 12 = 71.7 \text{ FT}^3/\text{HR}$   
 46.5 FT<sup>3</sup> OF WATER RETENTION SWALE REQUIRED.  
 192.0 FT<sup>2</sup> WATER RETENTION SWALE PROVIDED.  
 Water Retention provided: Length=192 FT, Width = 4 FT, Height = 6 INCH  
 Volume=192 FT x Width 4 FT x 0.5 FT/2 = 192 Cubic Feet > 46.5 Cubic Feet required

**NOTE:**  
 RETAIN RAIN WATER WITHIN SURROUNDING PROPERTY LINES

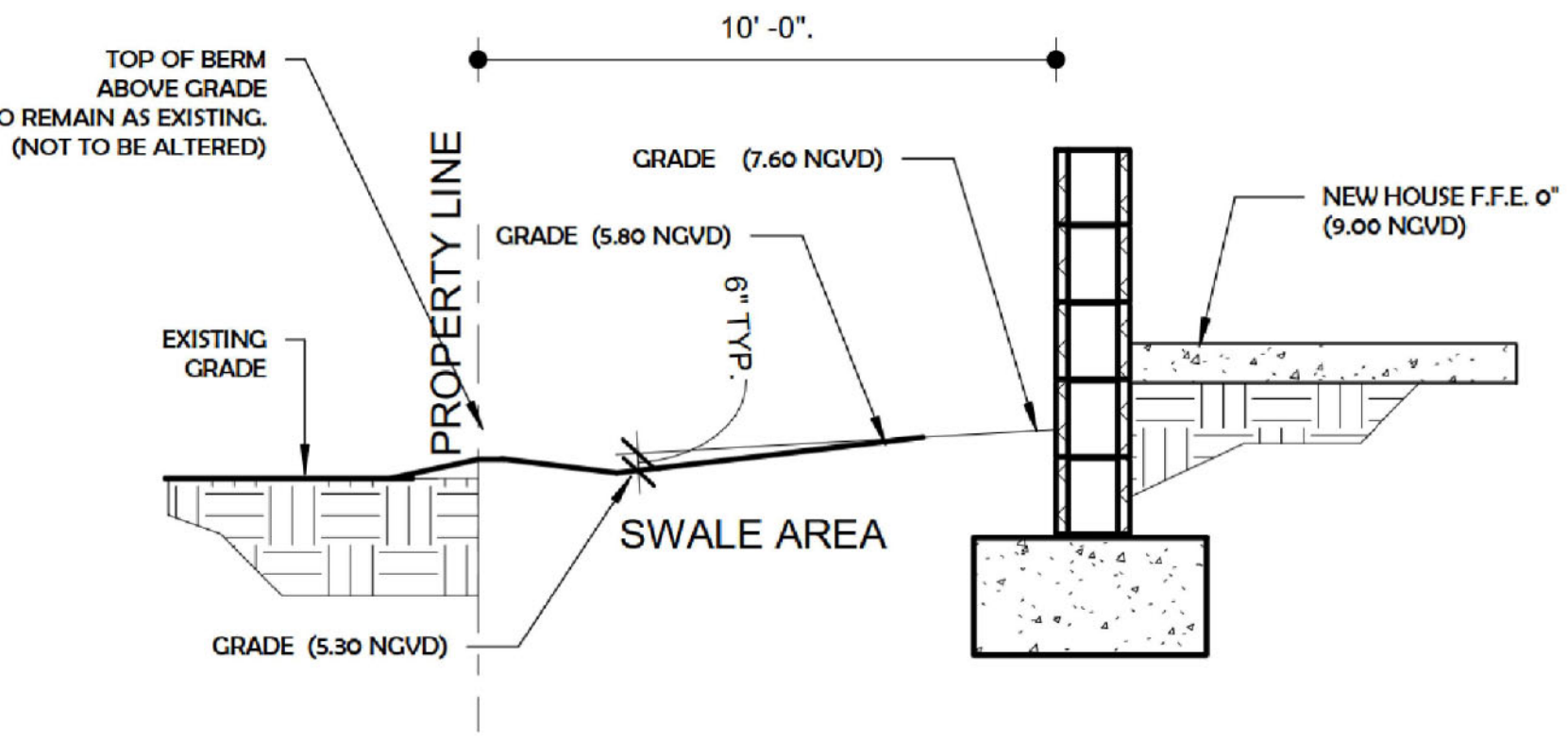


**EXPLANATION**  
 $H_2$  Height of ground surface above the design water table  
 $D_u$  Volume of runoff that can be stored  
 $D_s$  Depth of trench below the water table



**DETAIL OF THE DESCRIBED STRUCTURE AND BAFFLE**

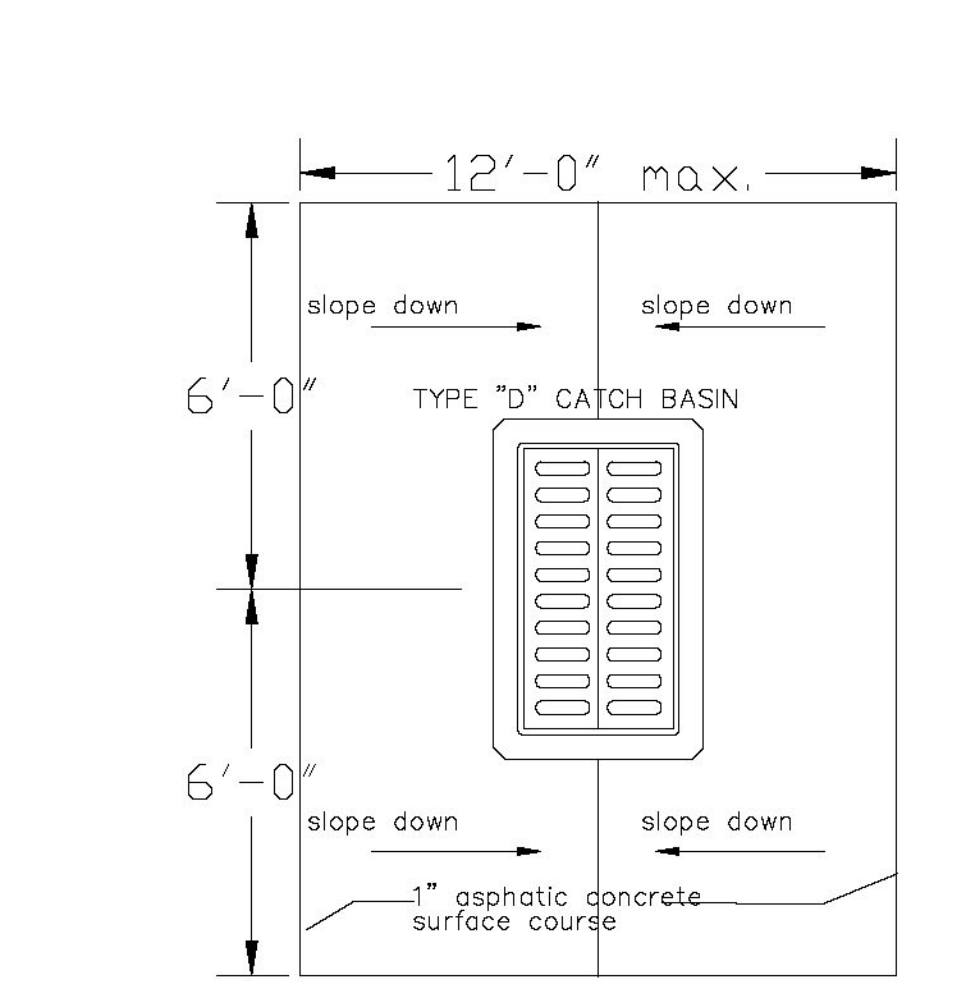
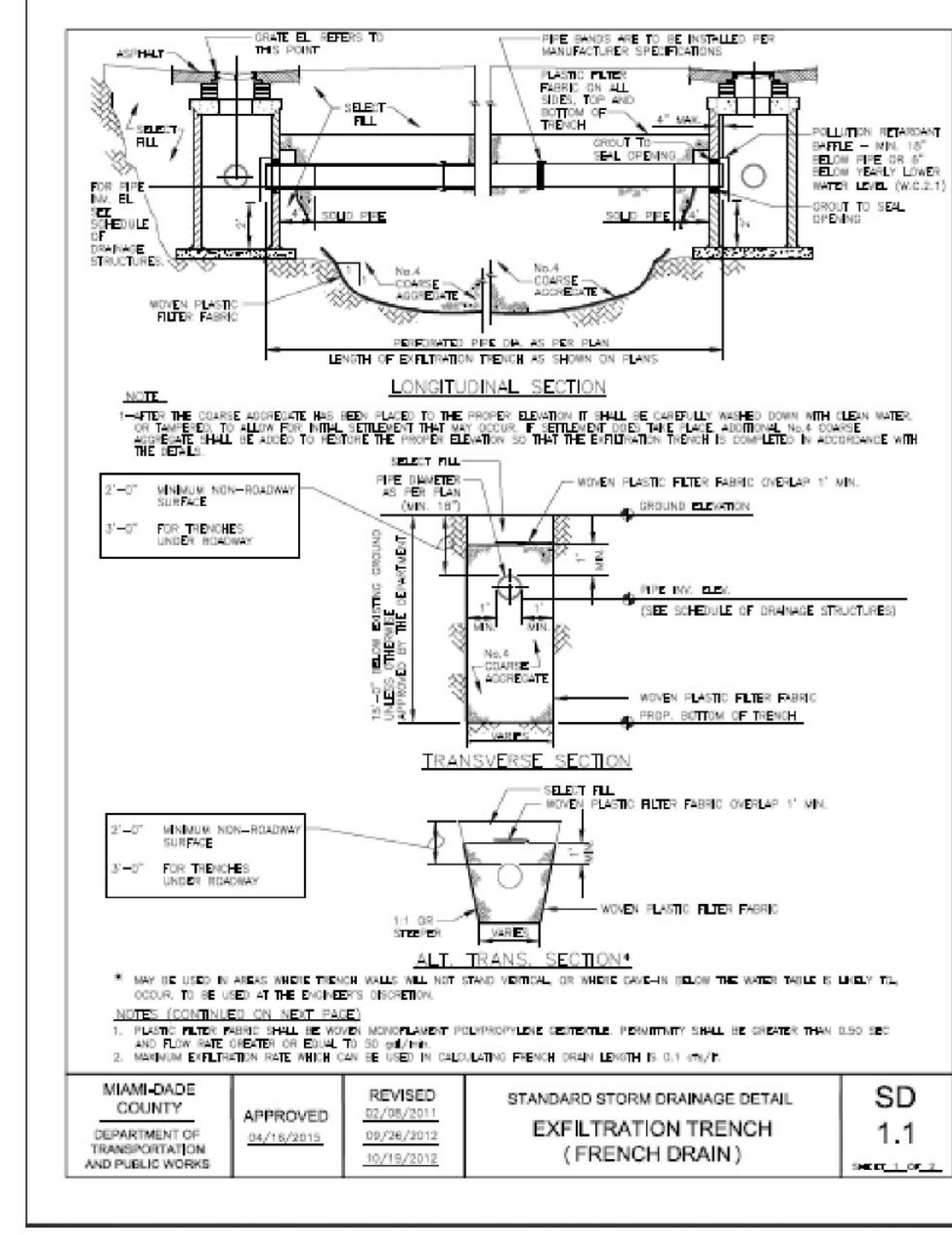
N.T.S.



**CIVIL ENGINEER**

**LUIS C. MAURY**  
 CONSULTING ENGINEER  
 FLORIDA REG. 75645  
 868 TIVOLI CIR. # 201 DEERFIELD BEACH, FL 33441

NOTE: ALL GRADING ELEVATIONS ARE PROVIDED AS PER NGVD DATUM

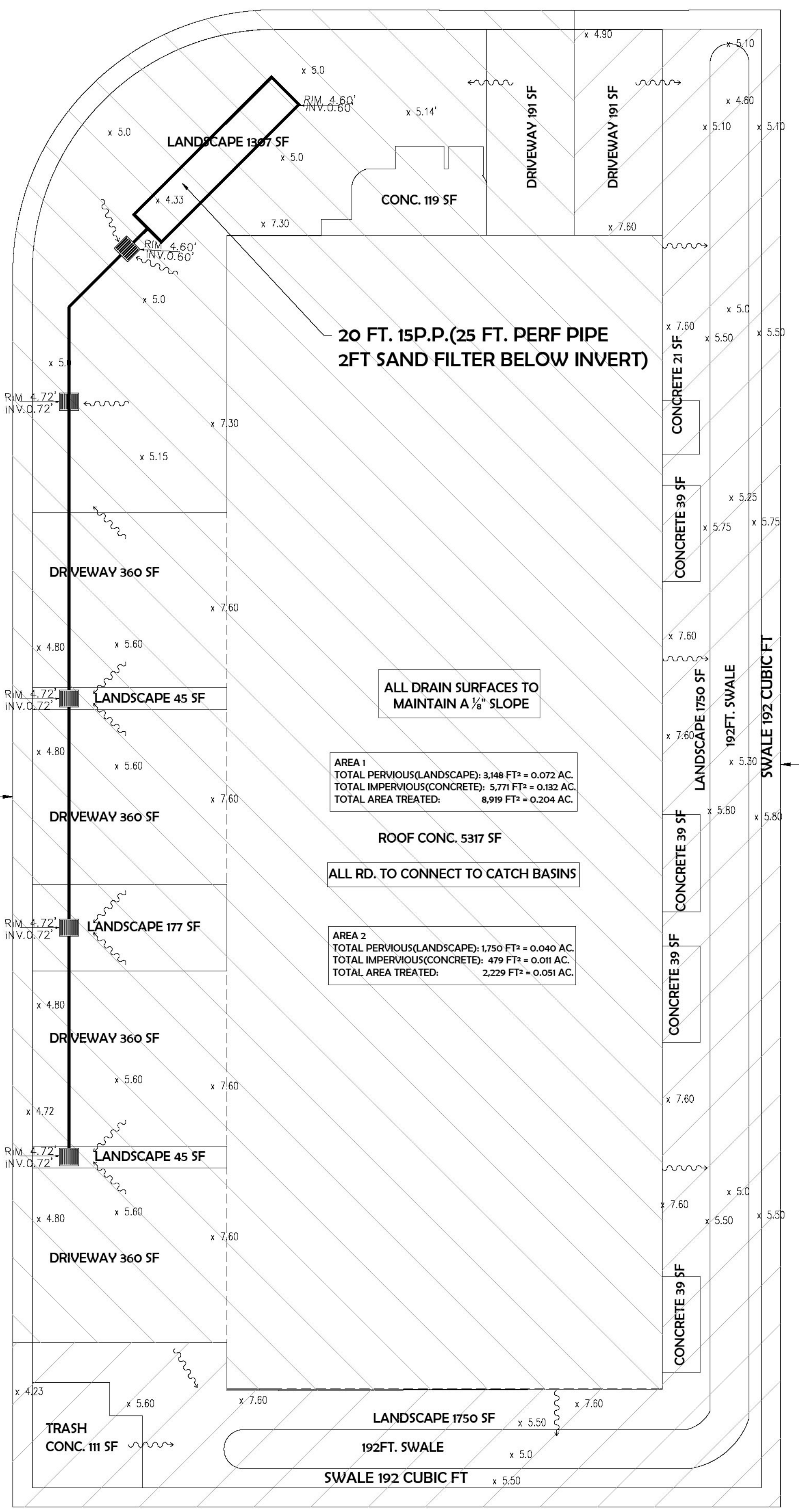


**CATCH BASIN DETAIL**

N.T.S.

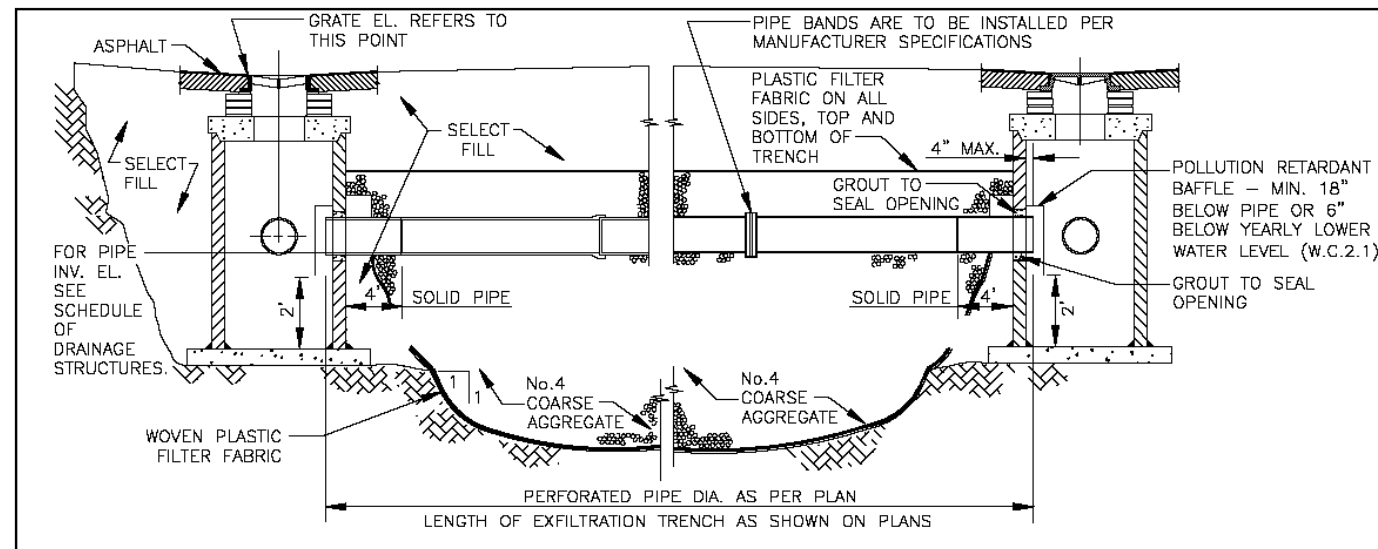
**NOTE:**

1. PLASTIC FILTER FABRIC (AT EA. SIDE) SHALL BE USE IN SANDY AREAS AS NOTED ON PLANS AND/OR AS DIRECTED BY THE ENGINEER.
2. THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 15'-0" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITION WARRANT OTHERWISE.
3. AFTER THE BALLAST ROCK HAS BEEN PLACE TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL ADDED TO RESTORE THE BALLAST ROCK TO BE PROPER ELEVATION SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS

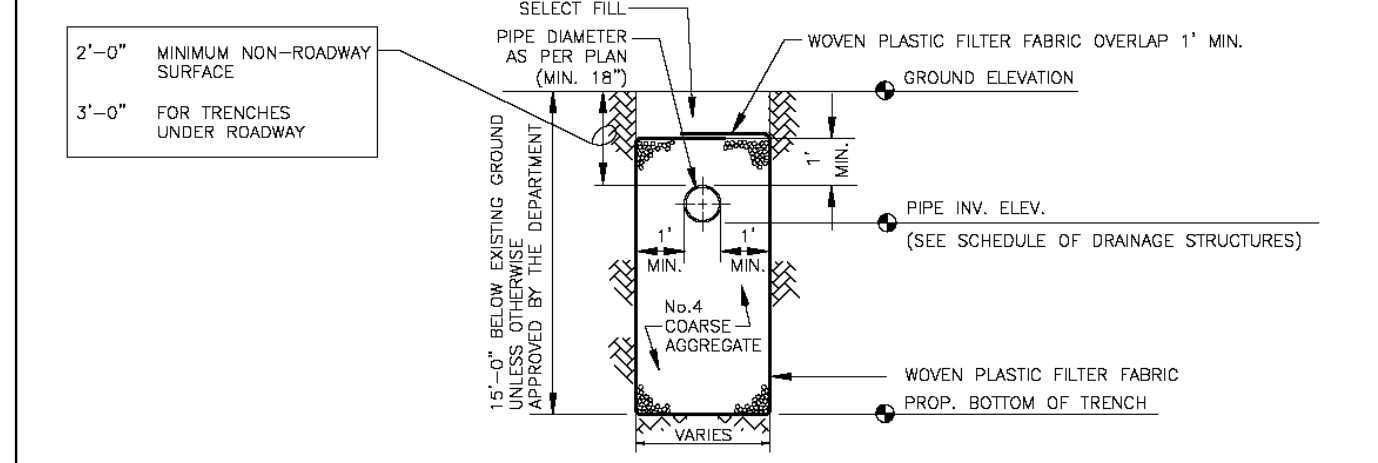


**DRAINAGE PLAN**

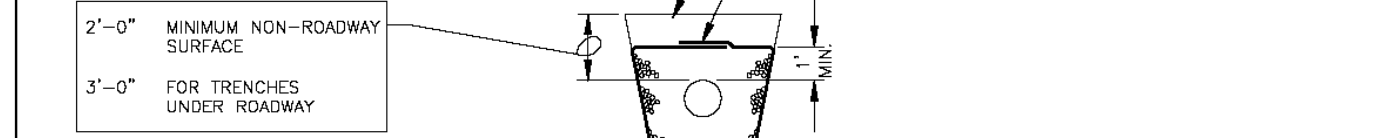
1 1/8" = 1'-0"



**NOTE**  
1-AFTER THE COARSE AGGREGATE HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER, OR TAMPERED, TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF SETTLEMENT DOES TAKE PLACE, ADDITIONAL No. 4 COARSE AGGREGATE SHALL BE ADDED TO RESTORE TO THE PROPER ELEVATION SO THAT THE EXFILTRATION TRENCH IS COMPLETED IN ACCORDANCE WITH THE DETAILS.



**NOTE**  
1-PIPERES MAY EXTEND INTO CATCH BASIN A MAXIMUM OF 4".  
2-USE 4,000 psi CONCRETE, (MINIMUM), MAXIMUM W/C=0.53, GRADE 60 STEEL FOR REBAR AND GRADE 65 FOR W/F.  
3-A SMOOTH LINE OF MORTAR 1/2" THICK INSIDE AND OUTSIDE.  
4-WEEP HOLES ARE TO BE USED WHEN THE YEARLY LOWEST WATER ELEVATION IS ABOVE THE TOP OF THE BOTTOM SLAB OF THE STRUCTURE.  
5-THIS STRUCTURE IS ONLY TO BE USED WHERE UTILITY CONFLICTS DO NOT ALLOW FOR INSTALLATION OF STANDARD STRUCTURES. THE INSTALLATION OF THIS STRUCTURE MUST BE APPROVED BY THE DEPARTMENT.



**NOTES (CONTINUED ON NEXT PAGE)**  
1. PLASTIC FILTER FABRIC SHALL BE WOVEN MONOFILAMENT POLYPROPYLENE GEOTEXTILE. PERMITTIVITY SHALL BE GREATER THAN 0.50 SEC AND FLOW RATE GREATER OR EQUAL TO 80 giv/cm.  
2. MAXIMUM EXFILTRATION RATE WHICH CAN BE USED IN CALCULATING FRENCH DRAIN LENGTH IS 0.1 cph/ft.

MIAMI-DADE COUNTY DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS	APPROVED 04/18/2019	REVISED 02/09/2015 09/25/2012 10/19/2012	STANDARD STORM DRAINAGE DETAIL EXFILTRATION TRENCH (FRENCH DRAIN)	SD 1.1 SHEET 1 OF 2
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**NOTES (CONTINUED)**

- THE MINIMUM PIPE DIAMETER FOR DRAINAGE SYSTEM WITHIN THE ROADWAY RIGHT-OF-WAY SHALL BE 18 INCHES. 15 INCH PIPE MAY BE USED IN PRIVATE ROADWAYS.
- NO TREES TO BE PLANTED WITHIN 5 FEET OF THE EDGE OF THE TRENCH.
- TYPE "T" S.D. 2.8 STRUCTURE IS RECOMMENDED FOR SMALL DRAINAGE AREAS LESS THAN 0.2 ACRE PER CATCH BASIN.
- TYPE "A" S.D. 2.8 STRUCTURE IS RECOMMENDED FOR AREAS LARGER THAN 0.2 ACRE.
- ALL INVERTS OF PERFORATED PIPES TO BE AT MEAN HIGH OCTOBER WATER TABLE W.C. 2.2.
- PIPES CAN BE ALLOWED BELOW MEAN HIGH OCTOBER WATER TABLE DUE TO UTILITY CONFLICTS OR IN ORDER TO PROVIDE THE REQUIRED MINIMUM COVER.
- NEOPRENE GASKET REQUIRED FOR BAFFLES ON ALL CONTACT EDGES MOUNTED ON WALL.
- DIL AND GRAZE BATTLE IS REQUIRED FOR ALL DRAINAGE STRUCTURES PRECEDING AN OUTFALL OR EXFILTRATION TRENCHES. IN PROJECTS LOCATED IN WETLAND PROTECTION AREAS, ROAD INTERSECTIONS WITH TRAFFIC LIGHTS, AND LARGE PARKING LOTS WHICH INCLUDE 15 PARKING SPACES OR MORE.
- DIL AND GRAZE BATTLE MAY BE WAIVED IN SUBURBAN RESIDENTIAL AREAS.

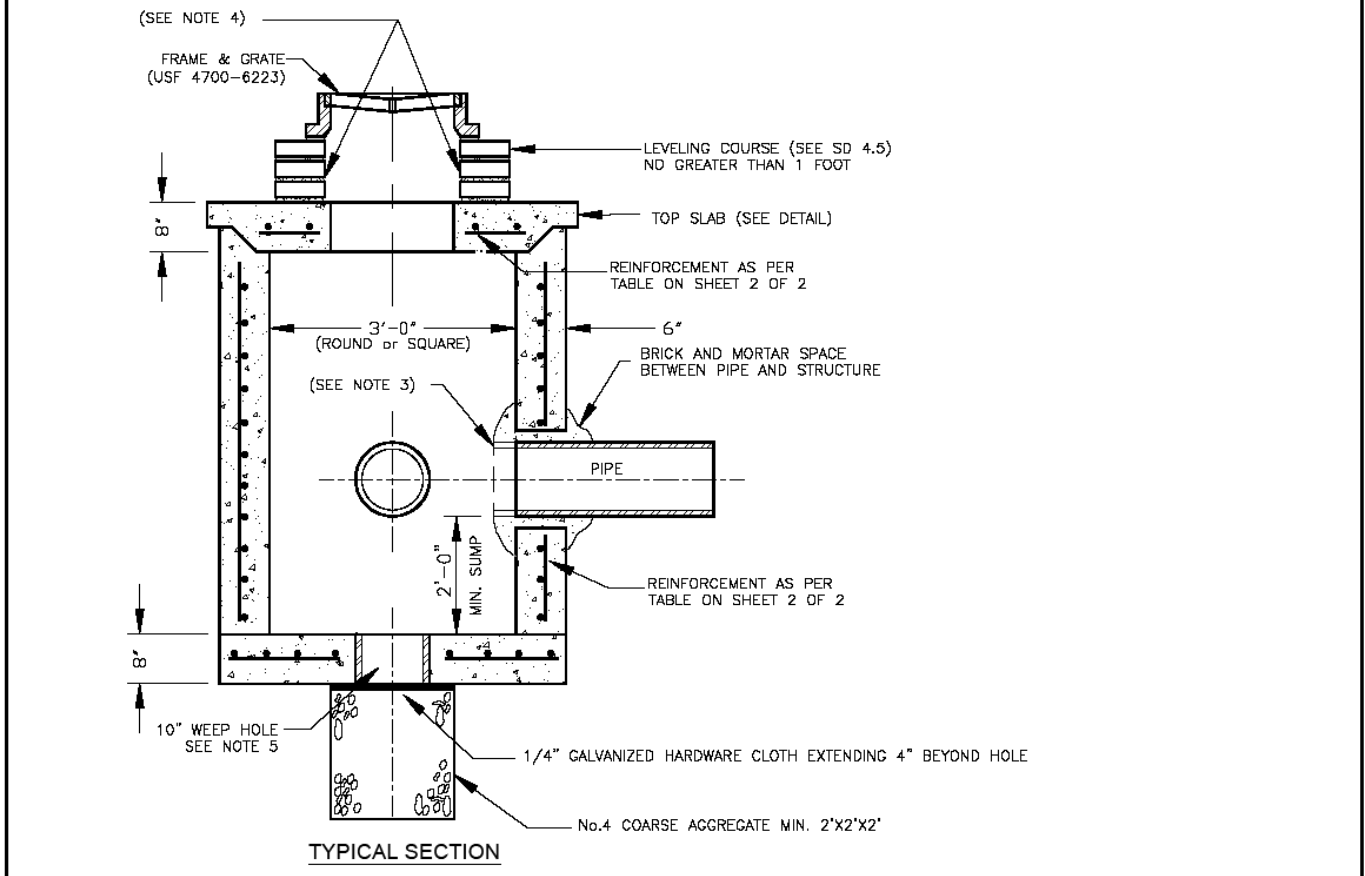
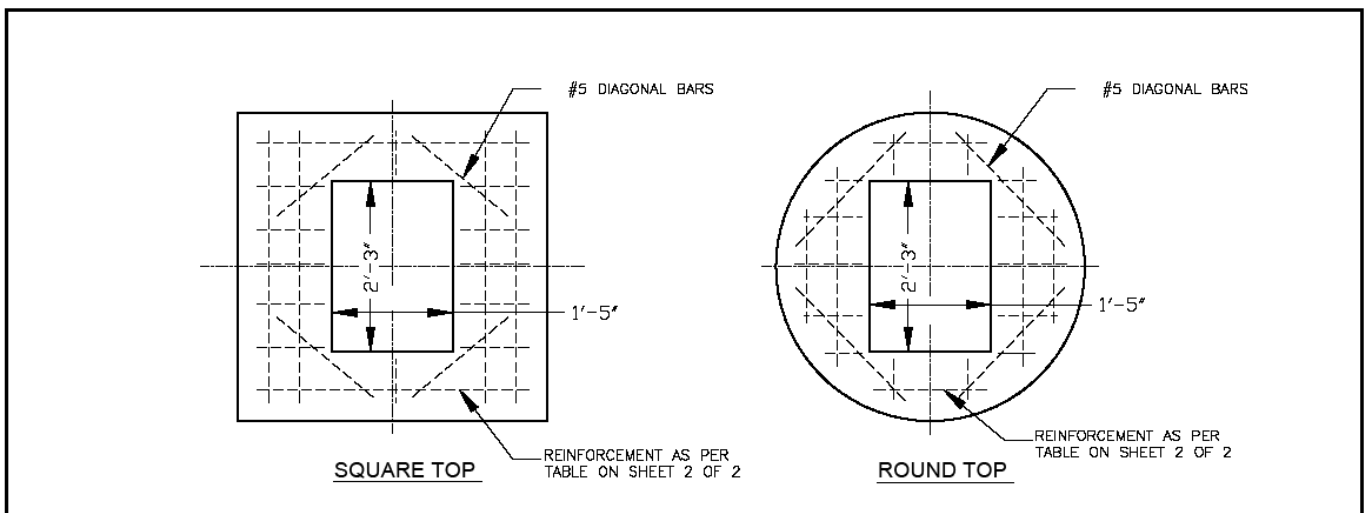
**GENERAL NOTES FOR PIPE CULVERTS**

CONTRACTOR HAS THE OPTION OF INSTALLING ANY PIPE MEETING THE REQUIREMENTS OF SECTION 443-2 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS LONG AS THE MANUFACTURER IS LISTED, AT THE TIME OF PIPE INSTALLATION, IN FDOT'S LIST OF PRODUCERS WITH ACCEPTED QUALITY CONTROL PROGRAMS. PIPES WITH LESS THAN A 100-YEAR CERTIFICATION CANNOT BE USED ON SECTION LINE, HALF SECTION LINE, COLLECTOR ROADWAYS, AND ARTERIALS. 50-YEAR PIPE CERTIFICATION REQUIRED FOR ALL OTHER MINOR/LOCAL ROADWAYS.

PIPE DIAMETER (inches)	OUTER SHELL		LINER	
	No. of 3/8" Dia. Holes (PER LIN. FT. OF PIPE)	No. of 3/8" Dia. Holes (PER LIN. FT. OF PIPE)	No. of 3/8" Dia. Holes (PER LIN. FT. OF PIPE)	No. of 3/8" Dia. Holes (PER LIN. FT. OF PIPE)
15	100	50	50	50
18	120	60	60	60
24	160	80	80	80
30	200	100	100	100
36	240	120	120	120
42	275	140	140	140
48	315	150	150	150
54	355	180	180	180
60	395	200	200	200
72	470	235	235	235
84	550	275	275	275

**NOTE:**  
PERFORATIONS SHALL BE UNIFORMLY SPACED AROUND THE FULL PERIPHERY OF THE PIPE TO WITHIN 4" OF EACH END OF EACH LENGTH OF PIPE. THE NUMBER OF PERFORATIONS PER LINEAR FOOT OF PIPE AND THE DIAMETER OF THE PERFORATIONS SHALL BE AS SHOWN ON THE ABOVE TABLE.

MIAMI-DADE COUNTY DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS	APPROVED 04/18/2019	REVISED 08-08-88 10-22-13 05-02-81	STANDARD STORM DRAINAGE DETAIL EXFILTRATION TRENCH (PIPE CULVERT NOTES)	SD 1.1 SHEET 2 OF 2
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**NOTES:**  
1.-CAST TOP SLAB TO FIT WALL USED.  
2.-USE 4,000 psi CONCRETE, (MINIMUM), MAXIMUM W/C=0.53, GRADE 60 STEEL FOR REBAR AND GRADE 65 FOR W/F.  
3.-PIPES MAY EXTEND INTO CATCH BASIN A MAXIMUM OF 4".  
4.-APPLY A SMOOTH LINE OF MORTAR 1/2" THICK INSIDE AND OUTSIDE.  
5.-WEEP HOLES ARE TO BE USED WHEN THE YEARLY LOWEST WATER ELEVATION IS ABOVE THE TOP OF THE BOTTOM SLAB OF THE STRUCTURE.

MIAMI-DADE COUNTY DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS	APPROVED 5/9/2018	REVISED 5/9/2018 5/18/2013 3/28/2012 2/9/2011 3/7/1981	STANDARD STORM DRAINAGE DETAIL PRECAST CATCH BASIN (D-3)	SD 2.2 SHEET 1 OF 2
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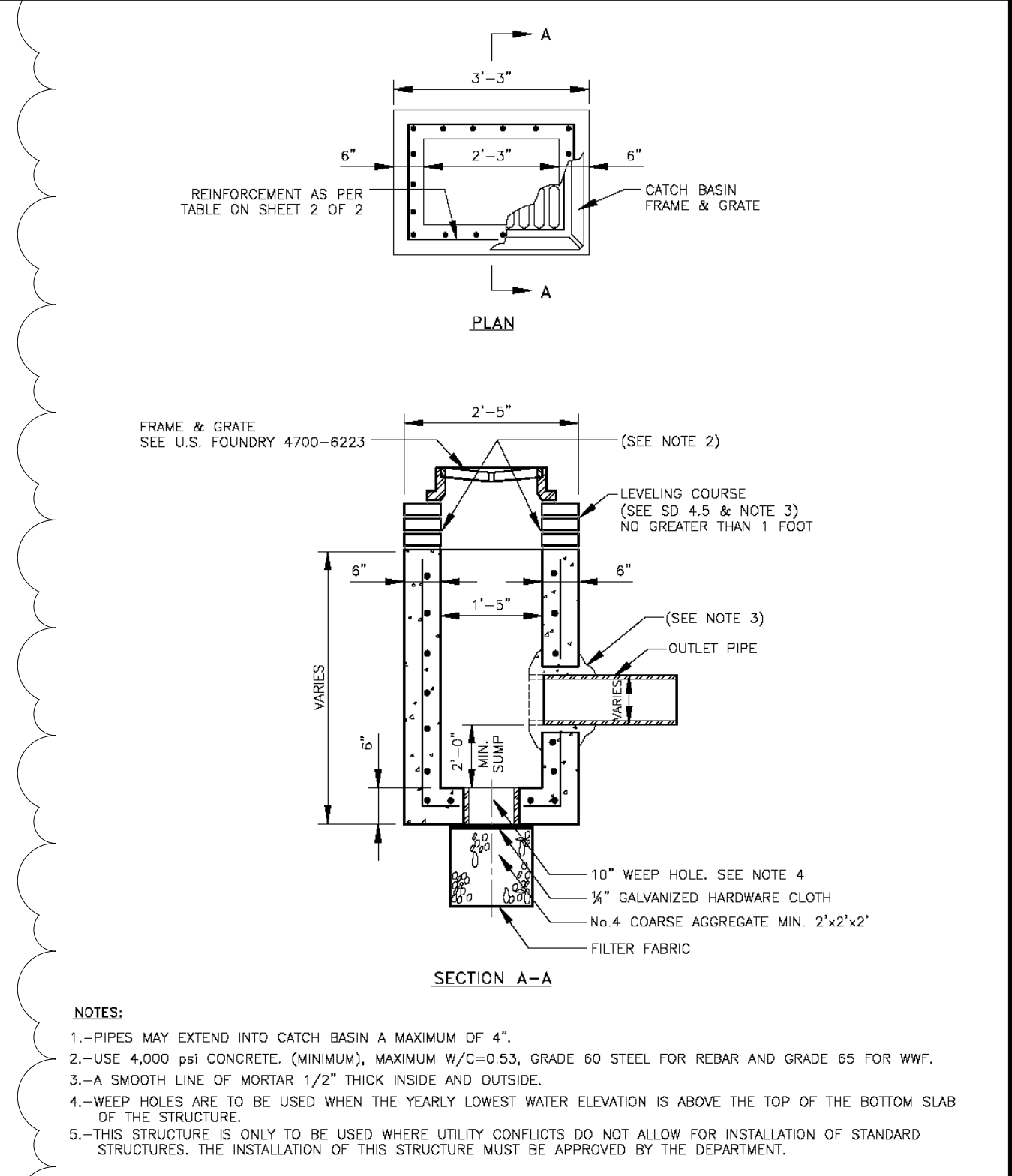
Standard Detail	Width (ft)	Length (ft)	Height (ft)	Wall Thickness (in)	Wall Steel	Top Slab Thickness (in)	Top Slab Steel	Bottom Slab Thickness (in)	Bottom Slab Steel
2.2	3	3	0.0-5.0	6	#4@10"H #4@10"V	8	#4@5" E.W.	8	#4@10" E.W.
2.2	3	3	5.1-10.0	6	#4@10"H #4@10"V	8	#4@5" E.W.	8	#4@10" E.W.
2.2	3	3	10.1-15.0	6	#5@7.5"H #4@10"V	8	#4@5" E.W.	8	#4@10" E.W.

Standard Detail	Dia. (ft)	Height (ft)	Wall Thickness (in)	Wall Steel	Top Slab Thickness (in)	Top Slab Steel	Bottom Slab Thickness (in)	Bottom Slab Steel
2.2	3	0.0-5.0	6	8 X 8 W20 #4@10"E.W.	8	#4@5" E.W.	8	#4@10" E.W.
2.2	3	5.1-15.0	6	8 X 8 W20 #4@10"E.W.	8	#4@5" E.W.	8	#4@10" E.W.

MIAMI-DADE COUNTY DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS	APPROVED 5/9/2018	REVISED 5/9/2018	STANDARD STORM DRAINAGE DETAIL PRECAST CATH BASIN (TYPE D-3)	SD 2.2 SHEET 2 OF 2
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**EXFILTRATION TRENCH SPECIFIC NOTES**

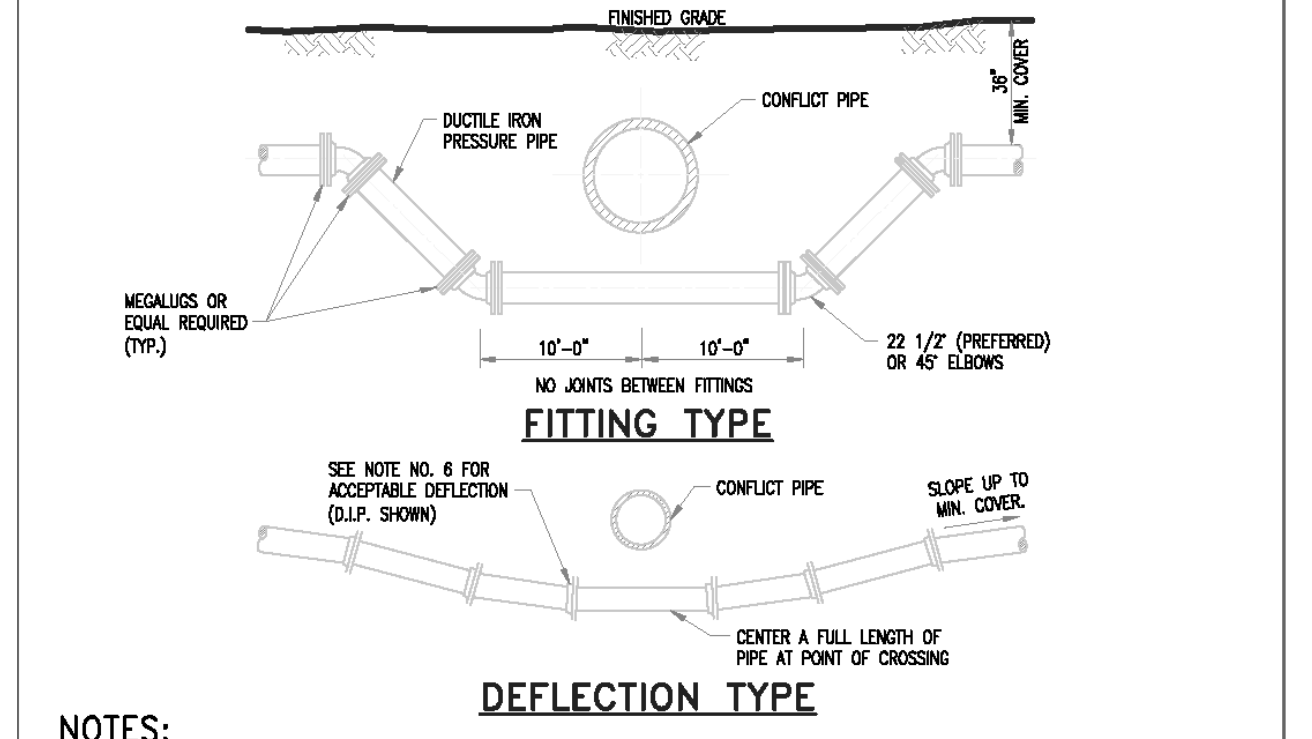
- AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF INITIAL SETTLEMENT TAKES PLACE, ADDITIONAL BALLAST ROCK SHALL BE ADDED TO RESTORE TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH IS COMPLETED IN ACCORDANCE WITH THE DETAILS.
- TRENCH ENDS AND SIDES SHALL BE EXCAVATED AS NEAR VERTICAL AS CONDITIONS ALLOW.
- CONTRACTOR IS REQUIRED TO SUBMIT SHOP DRAWINGS FOR ALL DRAINAGE STRUCTURES FOR ENGINEER'S APPROVAL.
- STRUCTURES & ADAPTERS SPECIFICATIONS ARE AVAILABLE FROM MANUFACTURER AND SHALL BE INCLUDED AS PART OF THE SHOP DRAWING SUBMITTAL PACKAGE.



MIAMI-DADE COUNTY DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS	APPROVED 5/9/2018	REVISED 5/9/2018	STANDARD STORM DRAINAGE DETAIL SWALE INLET (TYPE D-1)	SD 3.1 SHEET 1 OF 2
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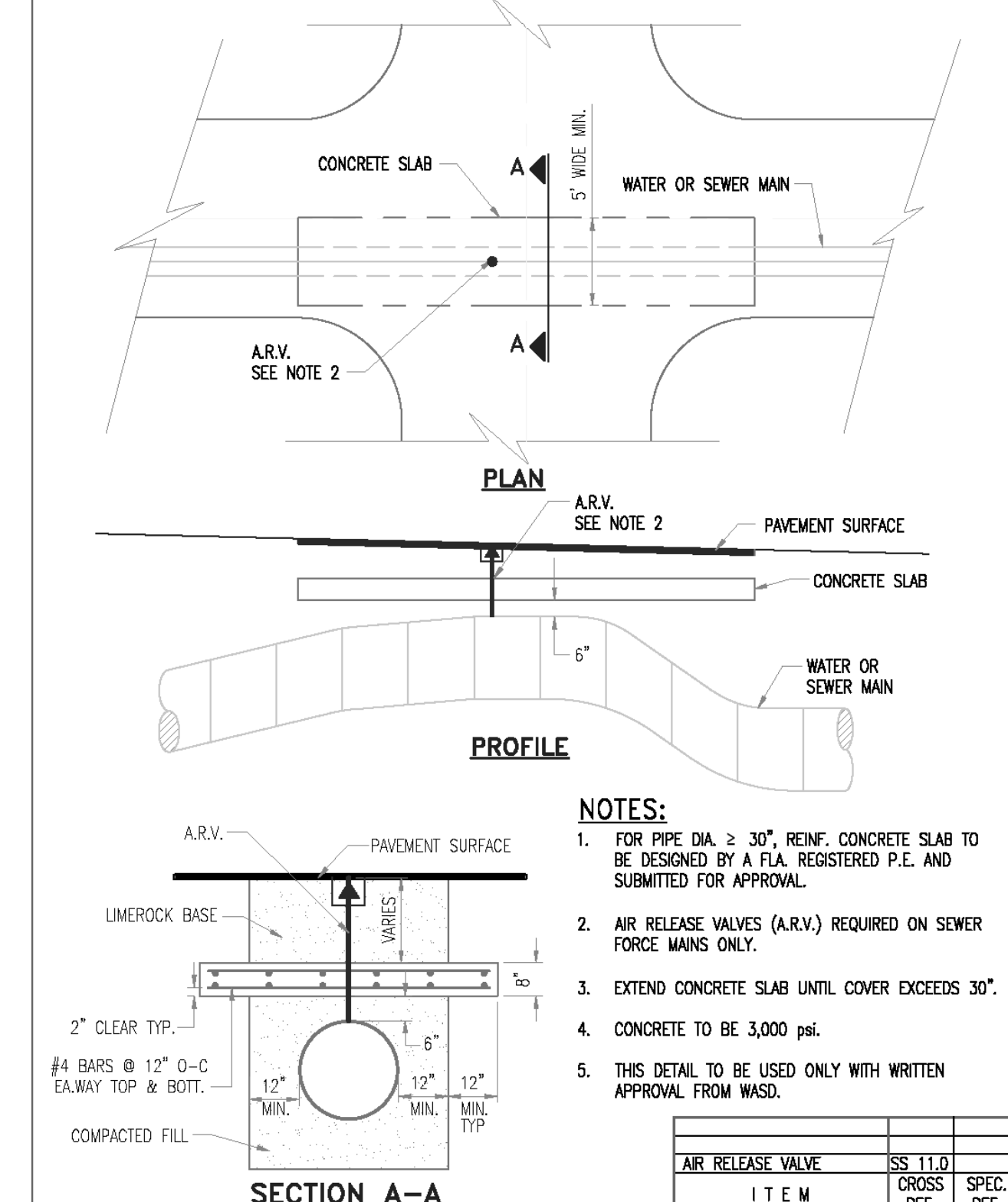
Standard Detail	Width (ft)	Length (ft)	Height (ft)	Wall Thickness (in)	Wall Steel	Top Slab Thickness (in)	Top Slab Steel	Bottom Slab Thickness (in)	Bottom Slab Steel	Bottom Slab Overhang
3.1	1.42	2.25	0-5.0	6"	#4@10"H #4@10"V	N/A	N/A	6"	#4@12"E.W.	6"
3.1	1.42	2.25	5.1-10.0	6"	#4@10"H #4@10"V	N/A	N/A	6"	#4@12"E.W.	N/A
3.1	1.42	2.25	10.1-15.0	6"	#4@10"H #4@10"V	N/A	N/A	8"	#4@12"E.W.	N/A

MIAMI-DADE COUNTY DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS	APPROVED 5/9/2018	REVISED 5/9/2018	STANDARD STORM DRAINAGE DETAIL SWALE INLET (TYPE D-1)	SD 3.1 SHEET 2 OF 2
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**NOTES:**  
1. STORM SEWER, GRAVITY WASTEWATER AND RECLAIMED WATER MAIN CROSSING UNDER POTABLE WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWELVE (12) INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE TORM/WASTEWATER/RECLAIMED WATER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN TEN (10) FEET BETWEEN ANY TWO JOINTS. BOTH PIPES SHALL BE D.I.P., AND THE MINIMUM VERTICAL SEPARATION SHALL BE 6 INCHES. WHERE THERE IS NO ALTERNATIVE TO STORM/WASTEWATER/RECLAIMED WATER PIPES CROSSING OVER A POTABLE WATER MAIN, THE CRITERIA FOR MINIMUM 12" VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENT, AS STATED ABOVE, SHALL BE REQUIRED, AND BOTH PIPES SHALL BE D.I.P. RESPECTIVE OF SEPARATION. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.  
2. WHENEVER POSSIBLE MAINTAIN MIN. TEN (10) FEET HORIZONTAL DISTANCE (WALL TO WALL) BETWEEN POTABLE WATER MAIN AND STORM SEWER, WASTEWATER MAIN, OR FORCE MAIN (A MIN. 6" SEPARATION MAY BE APPROVED ON A CASE BY CASE BASIS). MAINTAIN MIN. THREE (3) FEET HORIZONTAL DISTANCE (WALL TO WALL) BETWEEN RECLAIMED WATER MAIN AND POTABLE WATER MAIN, STORM SEWER, WASTEWATER GRAVITY MAIN OR FORCE MAIN.  
3. FORCE MAIN CROSSING POTABLE WATER MAIN OR RECLAIMED WATER MAIN SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWELVE (12) INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND OUTSIDE OF THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN WITH THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN CROSSING OVER THE FORCE MAIN.  
4. FITTINGS SHALL BE RESTRAINED.  
5. THE DEFLECTION TYPE CROSSING IS PREFERRED.  
6. DO NOT EXCEED SOME OF MANUFACTURERS RECOMMENDED MAXIMUM JOINT DEFLECTION FOR DUCTILE IRON PIPE. PVC PIPE CURVATURE MAY ONLY BE ACCOMPLISHED BY INSTALLING APPROPRIATE BENDS.  
7. POTABLE WATER SERVICE LINES SHALL CROSS OVER WASTEWATER MAINS WITH MIN. 12" VERTICAL SEPARATION. WHERE THIS MIN. SEPARATION CANNOT BE MAINTAINED, THE WATER SERVICE SHALL BE ENCASED IN A MIN. 10" LONG CASING CENTERED OVER THE CROSSING WITH MIN. 6" VERTICAL SEPARATION.  
8. WASTEWATER MAINS, WATER MAINS, STORM PIPES AND OTHER UTILITY PIPES SHALL CROSS PERPENDICULAR WHENEVER POSSIBLE.

MIAMI-DADE COUNTY DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS	ISSUE DATE 07/20/2016	APPROVED BY D.V.	STANDARD DETAIL POTABLE WATER MAIN/FORCE MAIN PRESSURE PIPE CONFLICT DETAIL	GS 1.1 SHEET 1 OF 1
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MIAMI-DADE COUNTY DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS	ISSUE DATE 06/01/2008 07/20/2016	APPROVED BY V. E. F. D.V.	STANDARD DETAIL REINFORCED CONC. SLAB FOR GROUND COVER LESS THAN 2.5'	GS 1.2 SHEET 1 OF 1
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CIVIL ENGINEER  
LUIS C. MAURY  
CONSULTING ENGINEER  
FLORIDA REG. 73645  
868 TIVOLI CIR. # 201 DEERFIELD BEACH FL 33441

NO PART OF THIS PLAN OR DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING OR ANY INFORMATION RETRIEVAL SYSTEM) WITHOUT THE WRITTEN APPROVAL OF ORLANDO CASTRO ARCHITECT AND PERMITS WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS DEPICTED ON THESE DRAWINGS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SEALED DIMENSIONS. THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES FOUND AND ASSUMES NO LIABILITY FOR THE

CLIENT NAME AND ADDRESS:  
WEST BAY HARBOR 9761 LLC  
9761 WEST BAY HARBOR DRIVE  
BAY HARBOR ISLANDS, FLORIDA  
33154

PROJECT:  
BAY HARBOR  
MULTIFAMILY

ORLANDO CASTRO  
ARCHITECT.  
AR98530

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SUNRISE BLVD  
PLANTATION FL. 33322  
PH: (954) 474-0220  
EMAIL: america.gcs@notmail.com

JOB NUMBER:	2024-0010
DATE:	12-05-2024
DRAWN BY:	NPB
CHECKED BY:	O.C.S.

**REVISIONS**

- CITY COMMENTS 11/26/24
- DRC COMMENTS 12/17/24

**ZONING SET**  
STANDARD  
DETAILS 1

SHEET  
C-02  
OF

ARCHITECT

LOCATION OF PUBLIC WATER SYSTEM MAINS ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING & CROSSINGS (FULL LENGTH OF PIPE CENTERED)
Storm Sewer Force Mains, Reclaimed Water (2)	Water Main 3 ft. minimum	Water Main 12 inches to the minimum	Alternate: 3 ft. minimum
Vacuum Sanitary Sewer	Water Main 10 ft. preferred 3 ft. minimum	Water Main 12 inches preferred 6 inches minimum	Alternate: 3 ft. minimum
Gravity or Pressure Sanitary Sewer Force Mains, Reclaimed Water (4)	Water Main 10 ft. preferred 6 ft. minimum (3)	Water Main 12 inches to the minimum	Alternate: 6 ft. minimum
On-Site Sewage Treatment & Disposal System	10 ft. minimum		

NOTES:  
 (1) WATER MAIN SHOULD BE ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.  
 (2) STORM SEWER AND VACUUM SANITARY SEWER MAINS SHALL BE MAINTAINED AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.  
 (3) 3 FT. HORIZONTAL SEPARATION BETWEEN THE BOTTOM OF THE WATER MAINS AND AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.  
 (4) RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-410, F.A.C.

ISSUE DATE	APPROVED BY	STANDARD DETAIL	GS
10/1/2017	D.V.	POTABLE WATER MAIN, WASTEWATER & STORM SEWER CONFLICT	1.5

ITEM CROSS REF. SPEC. REF. SHEET 1 OF 2

SECTION 145 - CONCRETE SIDEWALK

NOTES:  
 1. STORM SEWER, GRAVITY WASTEWATER AND RECLAIMED WATER MAIN CROSSING UNDER POTABLE WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWELVE (12) INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE STORM/WASTEWATER/RECLAIMED WATER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN TEN (10) FEET BETWEEN ANY TWO JOINTS, BOTH PIPES SHALL BE D.I.P., AND THE MINIMUM VERTICAL SEPARATION SHALL BE 8 INCHES. WHERE THERE IS NO ALTERNATIVE TO STORM/WASTEWATER/RECLAIMED WATER PIPES CROSSING OVER A POTABLE WATER MAIN, THE CRITERIA FOR MINIMUM 12" VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENT, AS STATED ABOVE, SHALL BE REQUIRED, AND BOTH PIPES SHALL BE D.I.P. D.I.P. IS NOT REQUIRED FOR STORM SEWERS.  
 2. WHENEVER POSSIBLE MAINTAIN MIN. TEN (10) FEET HORIZONTAL DISTANCE (WALL TO WALL) BETWEEN POTABLE WATER MAIN AND STORM SEWER, WASTEWATER MAIN, OR FORCE MAIN (A MIN. 6" SEPARATION MAY BE APPROVED ON A CASE BY CASE BASIS). MAINTAIN MIN. THREE (3) FEET HORIZONTAL DISTANCE (WALL TO WALL) BETWEEN RECLAIMED WATER MAIN AND POTABLE WATER MAIN, STORM SEWER, WASTEWATER GRAVITY MAIN OR FORCE MAIN.  
 3. FORCE MAIN CROSSING POTABLE WATER MAIN OR RECLAIMED WATER MAIN SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWELVE (12) INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND OUTSIDE OF THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN WITH THE POTABLE WATER MAIN OR RECLAIMED WATER MAIN CROSSING OVER THE FORCE MAIN.  
 4. WASTEWATER LATERALS SHALL CROSS UNDER POTABLE WATER MAINS WITH A MIN. 12" VERTICAL SEPARATION. WHENEVER POSSIBLE, WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, A 20' SECTION OF DUCTILE IRON PIPE POTABLE WATER MAIN CENTERED ON THE CROSSING IS REQUIRED AND THE MINIMUM VERTICAL SEPARATION SHALL BE 8". WHERE THERE IS NO ALTERNATIVE TO A WASTEWATER LATERAL PIPE CROSSING OVER A POTABLE WATER MAIN, A MINIMUM 12" VERTICAL SEPARATION IS REQUIRED, THE LATERAL SHALL BE P.V.C. C-900 SDR18 OR BETTER, THE POTABLE WATER MAIN SHALL BE D.I.P. AND THE PIPE JOINTS SHALL BE EQUIDISTANT FROM THE POINT OF CROSSING.  
 5. POTABLE WATER SERVICE LINES SHALL CROSS OVER WASTEWATER MAINS WITH A MIN. 12" VERTICAL SEPARATION. WHERE THIS MIN. SEPARATION CAN NOT BE MAINTAINED, THE WATER SERVICE SHALL BE ENCASED IN A MIN. 10" LONG PVC CASING CENTERED OVER THE CROSSING WITH MIN. 6" SEPARATION.  
 6. WASTEWATER MAINS, WATER MAINS, STORM PIPES AND OTHER UTILITY PIPES SHALL CROSS PERPENDICULAR WHENEVER POSSIBLE.

ISSUE DATE	APPROVED BY	STANDARD DETAIL	GS
10/1/2017	D.V.	WATER AND SEWER MAINS CROSSING	1.5

ITEM CROSS REF. SPEC. REF. SHEET 2 OF 2

SECTION 145 - CONCRETE SIDEWALK

- 145.09 JOINTS:
- Type "A" (Open Joint): Type "A" joints shall be formed by staking or otherwise securing a metal bulkhead in place and placing concrete on both sides. The bulkhead shall be 1/2 inch thick and equal in depth to the sidewalk. After the concrete has set sufficiently to preserve the shape of the joint, the bulkhead shall be removed. Then after the sidewalk has been finished over the joint, the slot shall be edged with a finishing tool having a 1/4 inch radius. After the concrete has hardened and become dry, the open joint shall be thoroughly cleaned of all debris and loose material for the full section of the sidewalk.
  - Type "B" (Contraction Joint): Type "B" joints shall be formed with a 1/8" thick metal bulkhead which shall be placed to a depth of 1/2 inches. After the concrete has set sufficiently to preserve the shape of the joint, the bulkhead shall be removed. Then after the sidewalk has been finished over the joint, it shall be edged with a finishing tool having a 1/4 inch radius. The Type "B" joint may also be formed by sawing the concrete. A slot approximately 3/16 inch wide and not less than 1 1/2 inches deep shall be cut with a concrete saw after the concrete has set, and within the following periods of time:
    - Joints at not more than 5-foot intervals within 12 hours after finishing. Remaining joints within 48 hours after finishing.
  - Type "C" (Expansion Joint): Type "C" joints shall be constructed by securing 1/2 inch preformed expansion joint material, equal in depth to the concrete, and placing the concrete directly against it. The joint material shall be secured during concrete placement so that it is held vertical and in a straight line. The preformed expansion joint material shall meet the requirements of AASHTO Specification M 153 (ASTM D 1752).

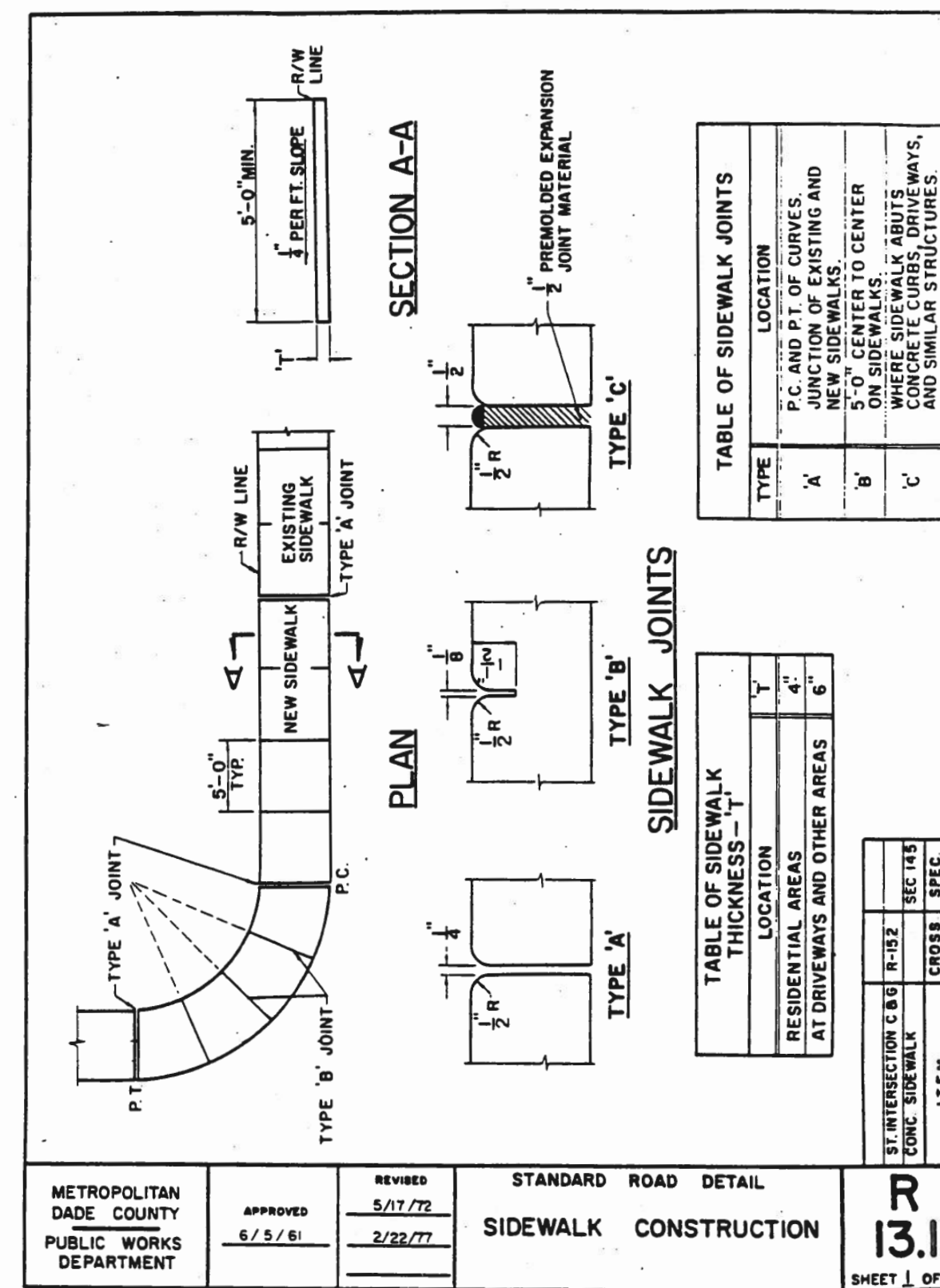
- 145.10 CURING THE CONCRETE: Curing the concrete shall be as specified in Section 522 of the Florida Department of Transportation Specifications with the following modifications:
- The impervious coating may be either clear or white pigmented membrane curing compound.
  - The impervious coating may be used after the preliminary curing period with other materials or it may be used initially and for the entire 72-hour curing period.

SECTION 145 - CONCRETE SIDEWALK

- 145.10 CURING THE CONCRETE (Cont'd)
- The impervious coating shall be applied by the hand-operated spray equipment with nozzles capable of thoroughly atomizing the curing compound so as not to mar the surface and, when necessary, equipped with an appropriate wind guard to assure uniform application.
- The compound shall be applied in a single coat, continuous operation at a uniform coverage of at least one gallon per each 200 square feet.
- Surfaces covered by membrane curing compound shall remain undisturbed for a period of 72 hours after beginning of initial curing.
- 145.11 PROTECTION OF NEWLY FINISHED SURFACES: The Contractor shall have available at the site, an adequate quantity of suitable covering material to protect the surface of concrete which has not hardened, from damage by rain.
- Forms shall not be removed from freshly placed concrete until it has set for at least 12 hours.
- 145.12 PRIVATE PROPERTY REPAIRS: All structures, living trees, shrubs or grassed areas on private property, removed for the convenience of the Contractor or damaged in any way while work is in progress, shall be repaired or replaced to its original condition in a manner acceptable to the Engineer.
- All concrete entrance walks and driveways, as required, shall be extended or cut back to an existing joint or to a saved joint provided by the Contractor. Slopes for the altered walks and driveways shall not be greater than one vertical to eight horizontal. In place of sloping walks, steps shall be constructed when requested by property owners. Risers shall not exceed seven (7) inches and treads shall not be less than twelve (12) inches wide. Forms shall be set and concrete shall be replaced to match existing concrete work both in surface texture and color as closely as possible.
- Each property owner is responsible for any walls, fences, hedges, trees, mail boxes or other improvements which encroach upon the right of way, and shall remove or relocate the same at his expense.
- The Contractor shall cooperate with the owner in an effort to facilitate removal prior to construction.

SECTION 145 - CONCRETE SIDEWALK

- 145.13 CLEAN UP: Pavements, driveways, swales and other areas affected by this work shall be swept or otherwise cleaned and restored to its original condition as approved by the Engineer.
- 145.14 INSPECTION: All work pursuant to this Section will be subject to inspection during its progress as specified in Section C-1 of the Design and Construction Manual.



SECTION 145 - CONCRETE SIDEWALK

- 145.04 SUBGRADE (Cont'd)
- After forms are set, and just prior to the pouring of the sidewalk slab, the subgrade shall be wetted and checked for elevation, and where found to be above or below the proper grade it shall be regraded and recompacted. A movable templet approved by the Engineer shall be provided for checking the finished subgrade.
- 145.05 DEPTH OF SIDEWALK: Sidewalk in residential areas shall be a minimum of four (4) inches in depth except where the sidewalk is part of a driveway or a tee-turn-around in which case the depth shall be increased to a minimum of six (6) inches.
- In all other areas, such as commercial or industrial where the sidewalk is subject to vehicle loading; the sidewalk shall have a minimum thickness of six (6) inches which shall extend at least (5) feet each side of the area designated for vehicle crossing.
- 145.06 FORMS: Forms for this work may be made of either wood or metal. They shall be straight, free from warp or bends, and of sufficient strength (when staked) to resist the pressure of the concrete without springing. Forms shall have a depth equal to the depth of the concrete being deposited against them.
- The forms shall be set plumb, properly aligned, and with their bottom in full and continuous contact with the subgrade. Forms shall be thoroughly cleaned and lightly oiled before concrete is placed against them.
- 145.07 PLACING CONCRETE: The concrete shall be deposited evenly and slightly in excess of the required finished depth, and shall be tamped and spaded until mortar covers the entire surface. It shall then be struck-off by means of a wood or metal screed used perpendicular to the forms, to obtain the required grade and to remove surplus water and laitance.
- No concrete shall be placed until the subgrade is properly prepared and the forms are set and inspected.
- 145.08 FINISHING CONCRETE: The concrete shall be given a wooden float finish. The surface variation shall not be more than 1/8 inch under a ten foot straight edge, parallel to the centerline, nor more than 1/8 inch under a five foot straight edge transverse to the centerline. All edges and expansion joints of the sidewalk shall be carefully finished with an edging tool having a radius of 1/2 inch. Finally, the sidewalk shall be broomed perpendicular to the forms to produce an even textured surface.

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CLIENT NAME AND ADDRESS:  
 WEST BAY HARBOR 9761 LLC  
 9761 WEST BAY HARBOR DRIVE  
 BAY HARBOR ISLANDS, FLORIDA  
 33154

PROJECT:  
 BAY HARBOR  
 MULTIFAMILY

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 PH: (954) 474-0220  
 EMAIL: america-gcs@hotmail.com

JOB NUMBER:	2024-0010
DATE:	12-05-2024
DRAWN BY:	NPB
CHECKED BY:	O.C.S.

REVISIONS	
1	CITY COMMENTS 11/26/24
2	ZONING SET
	2024-0010 COMMENTS 12/17/24

STANDARD  
 DETAILS 2

SHEET

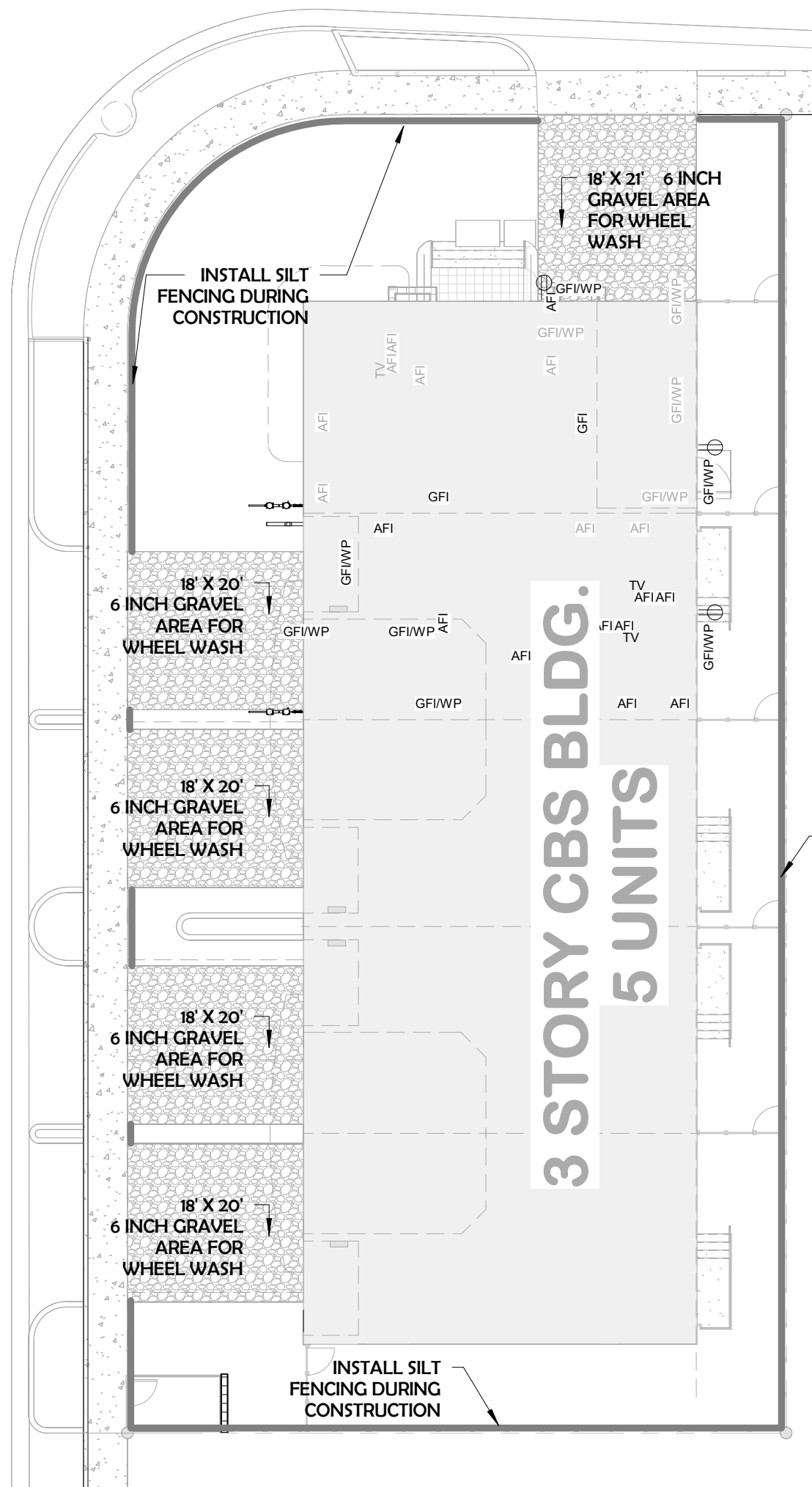
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OF

ARCHITECT

CIVIL ENGINEER

LUIS C. MAURY  
 CONSULTING ENGINEER  
 FLORIDA REG. 73645  
 868 TIVOLI CIR, # 201 DEERFIELD BEACH, FL 33441



**EROSION CTRL PLAN**

2 1/16" = 1'-0"

**EROSION CONTROL NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING A STORM WATER POLLUTION PREVENTION PLAN AND BEST MANAGEMENT PRACTICES (BMPs) INSTALLED, MAINTAINED, AND INSPECTED AS PER THE FDEP STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL.
2. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
3. TAKE MEASURES TO ENSURE TO CLEANUP OF SEDIMENT THAT HAS BEEN TRACKED BY CONSTRUCTION VEHICLES WITHIN THE PROJECT LIMITS. INSTALL EROSION CONTROL DEVICES TO ENSURE SEDIMENT DOES NOT ENTER THE EXISTING OR PROPOSED DRAINAGE SYSTEMS AND ADJACENT PROPERTIES.
4. ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS ARE TO BE SODDED. THE REPLACEMENT SOD SHALL BE OF THE SAME TYPE AS THE EXISTING SOD. ALL AREAS OUTSIDE OF THE CLEARING AND GRUBBING LIMITS THAT ARE DISTURBED BY THE CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR SHALL INCLUDE FURNISHING EQUIPMENT AND LABOR NECESSARY TO DESILT AND CLEAN OUT ALL EXIST DRAINAGE PIPES, AND INLETS FOR CLOSEOUT OF THE PROJECT.

**BEST MANAGEMENT PRACTICES SECTION A GENERAL EROSION CONTROL**

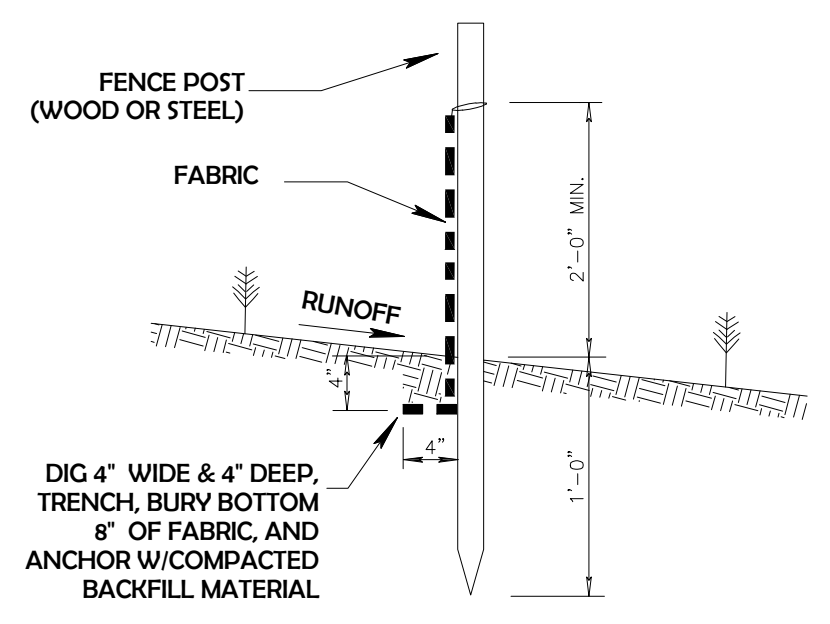
- A.1 GENERAL EROSION CONTROL BMP'S SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL LAKE SLOPE CAVE-INS. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE OND PION SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION ACTIVITIES.
- A.2 CLEARED SITE DEVELOPMENT AREAS NOT CONTINUALLY SCHEDULED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY OR OVERSEEDED AND PERIODICALLY WATERED SUFFICIENT TO STABILIZE THE TEMPORARY GROUND COVER.
- A.3 SLOPES OF BANKS RETENTION/DETENTION PONDS SHALL BE CONSTRUCTED NOT STEEPER THAN 4H:1V FROM TOP OF BANK TO TWO FEET BELOW NORMAL WATER LEVEL AS SHOWN IN FIGURE 5.
- A.4 ALL GROSS SLOPES CONSTRUCTED STEEPER THAN 4H:1V SHALL BE SODDED AS SOON AS PRACTICAL AFTER THEIR CONSTRUCTION AS SHOWN IN FIGURE 8.
- A.5 SOD SHALL BE PLACED FOR A 3-FOOT WIDE STRIP ADJOINING ALL CURBING AND AROUND ALL INLETS AS SHOWN IN FIGURE 9. SOD SHALL BE PLACED BEFORE SILT BARRIERS, SHOWN IN FIGURE 10, ARE REMOVED.
- A.6 WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWOLE, A TEMPORARY SEDIMENT SUMP SHALL BE CONSTRUCTED AS SHOWN IN FIGURE 10. THE TEMPORARY SEDIMENT SUMP SHALL REMAIN IN PIECE UNTIL VEGETATION IS ESTABLISHED ON THE GROUND DRAINING TO THE SUMP.

**SECTION B PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION**

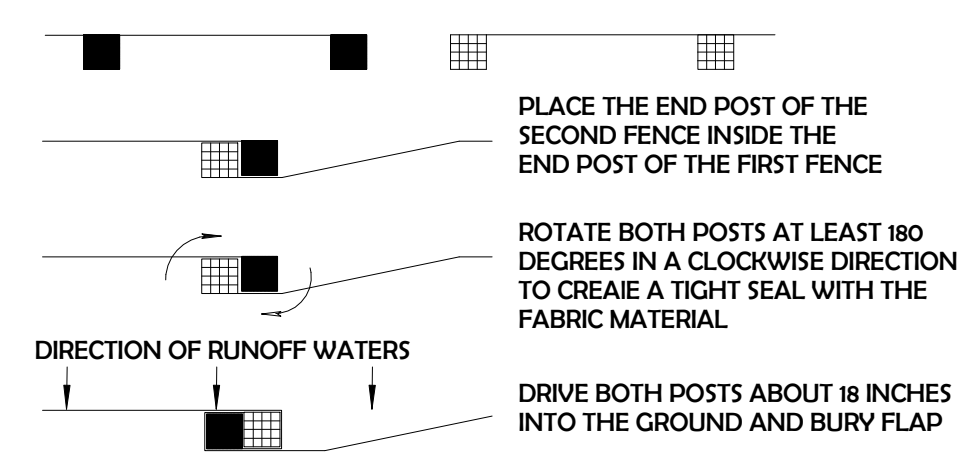
- B.1 SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BMP'S IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.
- B.2 WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWOLES. SWALES SHALL BE CONSTRUCTED AS SHOWN IN FIGURE 5.
- B.3 EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING.
  - A. IN GENERAL EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
  - B. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS SHOWN IN FIGURES 6 AND 7.
  - C. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE.
  - D. A HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES IN ELUJING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DIKES, HAY BALES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND SHALL USE ABSORBENT FILTER PODS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURENCE.
- B.5 SILT BARRIERS, ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS, AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.

**SECTION C CONTROL OF WIND EROSION**

- C.1 WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE.
  - A. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FLUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BORE EARTH HAS NOT BEEN EFFECTIVELY WATERED.
  - B. AS SOON AS PRACTICAL OFER COMPLETION OF CONSTRUCTION, BARE EARTH AREAS SHALL BE VEGETATED.
- C. AT ANY TIME BOTH DURING AND OFER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FLUGITIVE DUST, OTHER METHODS AS ORE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS MAY INCLUDE ERECTION OF DUST CONTROL FENCES. IF REQUIRED, DUST CONTROL FENCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL FOR A SILT FENCE SHOWN IN FIGURE 2, EXCEPT THE MINIMUM HEIGHT SHALL BE 4 FEET.

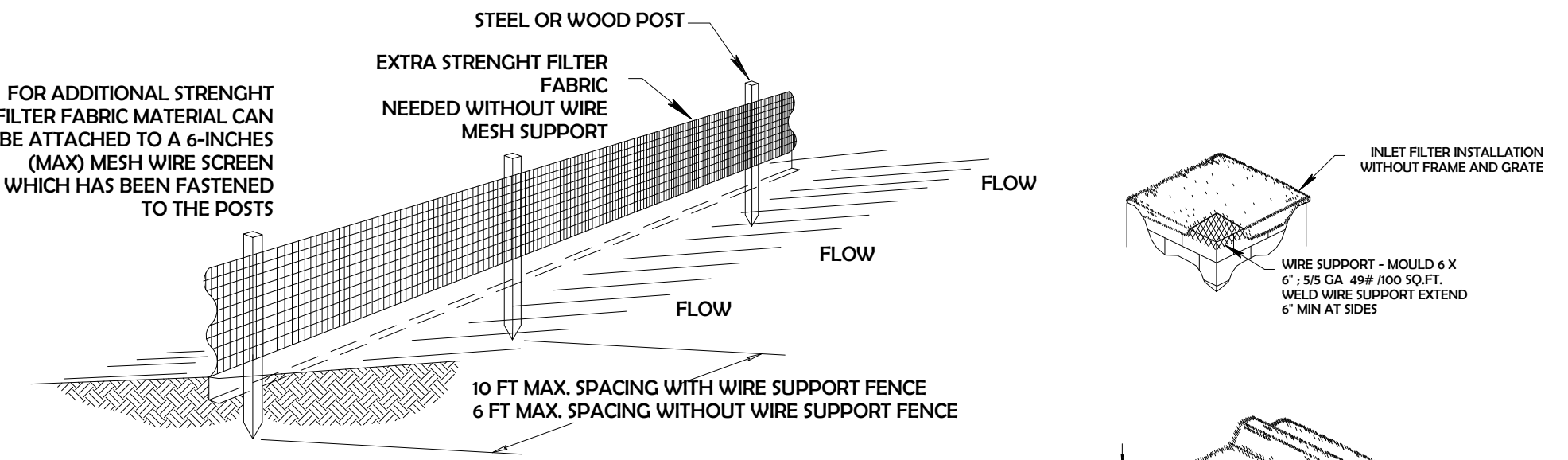


**SILT FENCE SECTION NTS**



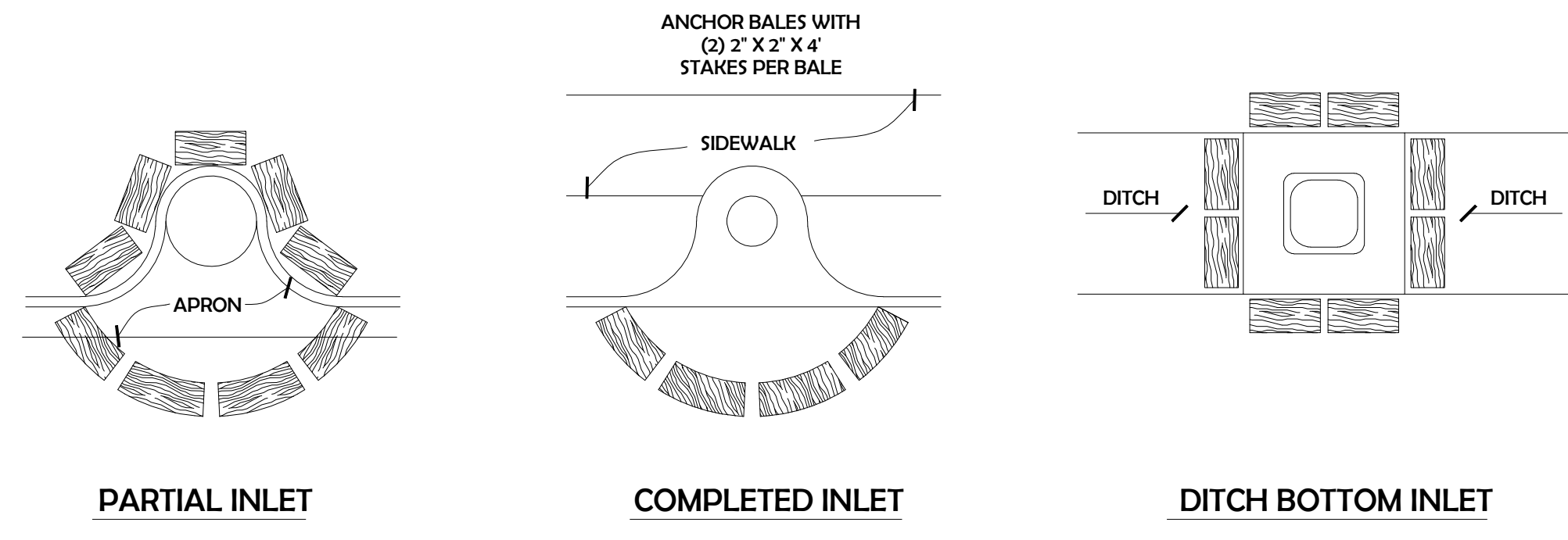
**ATTACHING TWO SILT FENCES NTS**

**SILT FENCE INSTALLATION DETAIL**



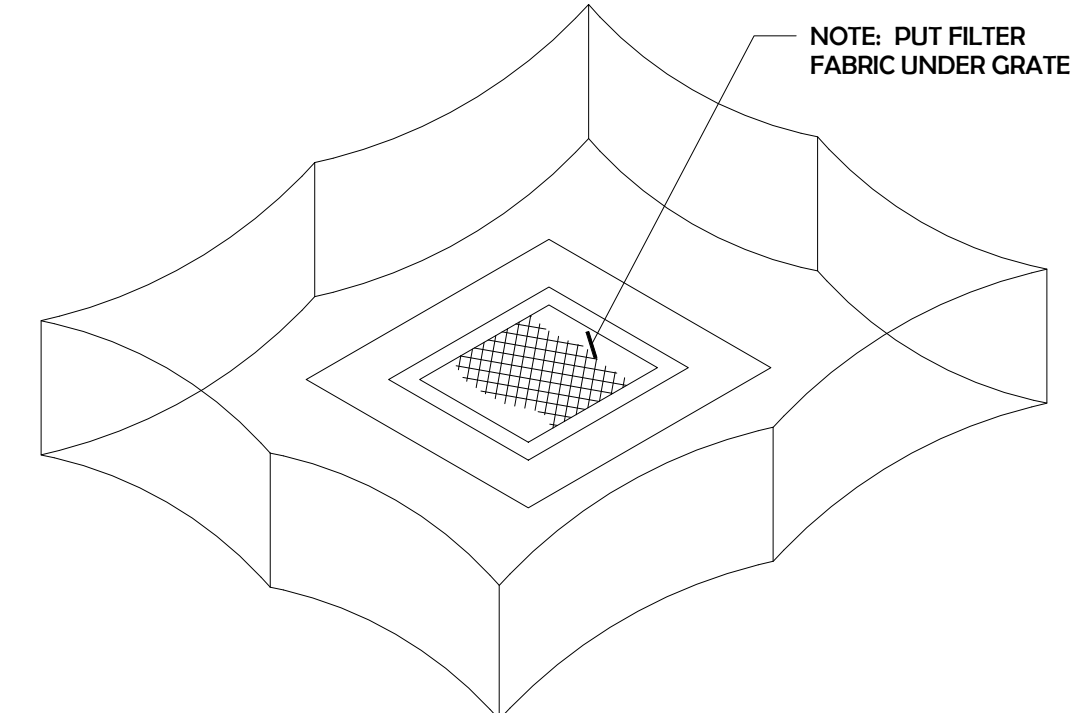
- NOTES:**
1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
  2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
  3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
  4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE WIRE OF POSTS AND UPSLOPE FROM THE BARRIER.
  5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, THE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
  6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
  7. THE TRENCH, SHALL BE BACKFILLED AND THE SOIL COMPACIED OVER THE FILTER FABRIC.

**SILT FENCE INSTALLATION DETAIL**



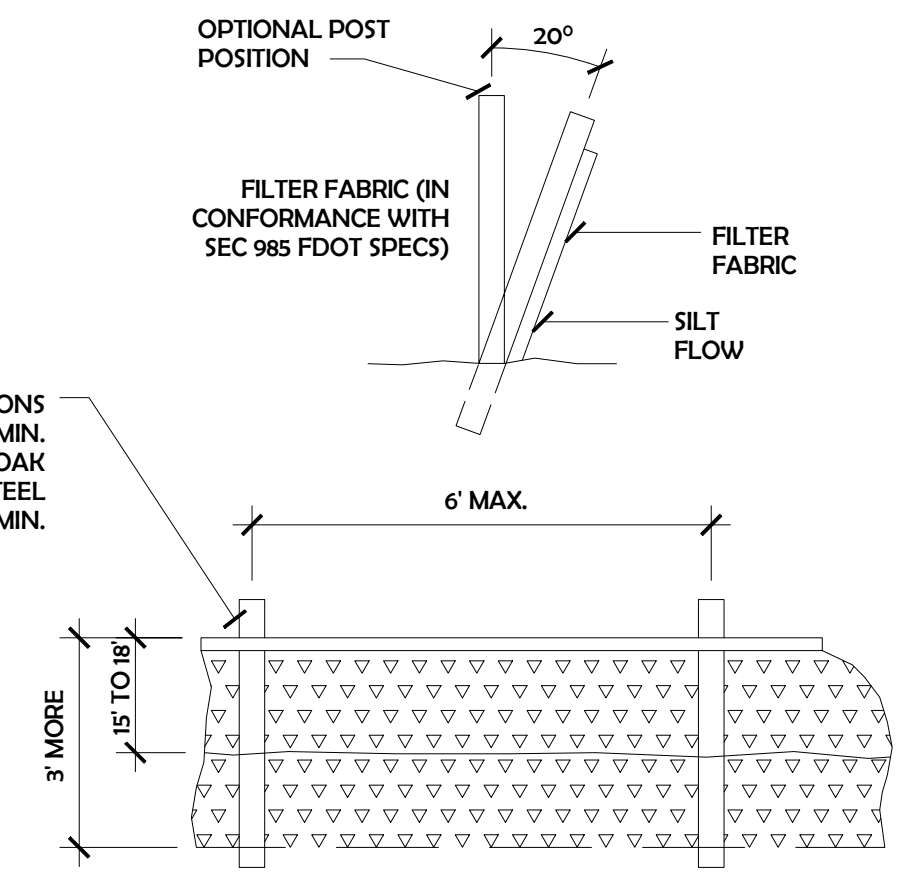
**PROTECTION AROUND INLETS OR SIMILAR STRUCTURES NTS**

**FIGURE 6**



**STACKED SILK BARRIER OR SILT FENCE PROTECTION AROUND DITCH BOTTOM INLETS NTS**

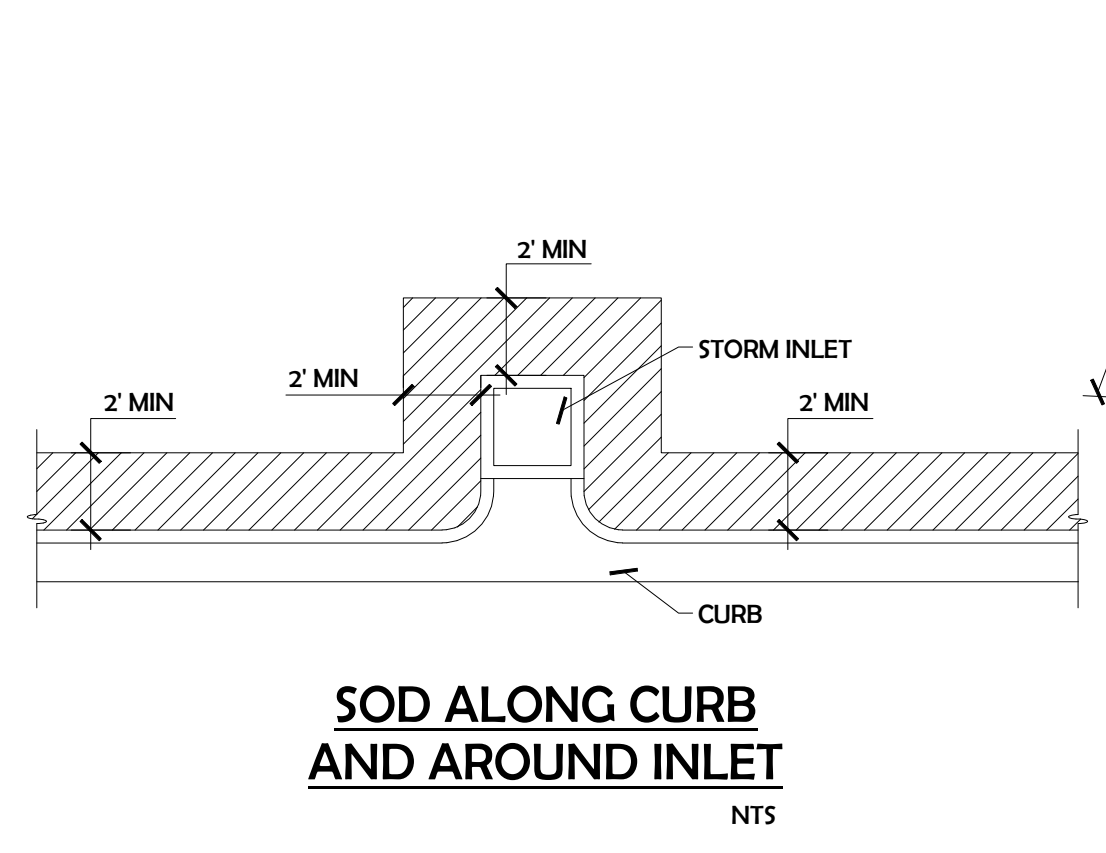
**FIGURE 7**



**ELEVATION TYPICAL SILT FENCE NTS**

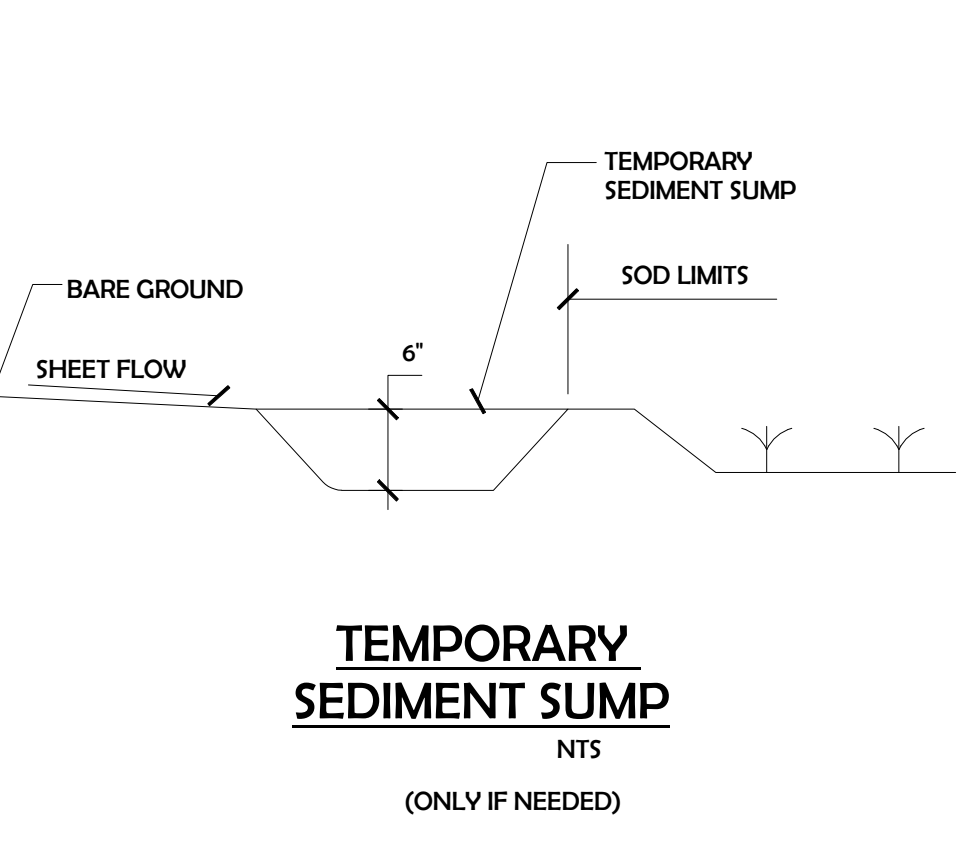
**FIGURE 2**

- NOTES:**
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM
  2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING
  3. A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET, THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH AND APPROXIMATELY 7 TO 10 FT IN LENGTH PARALLEL TO THE CURB
  4. STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.



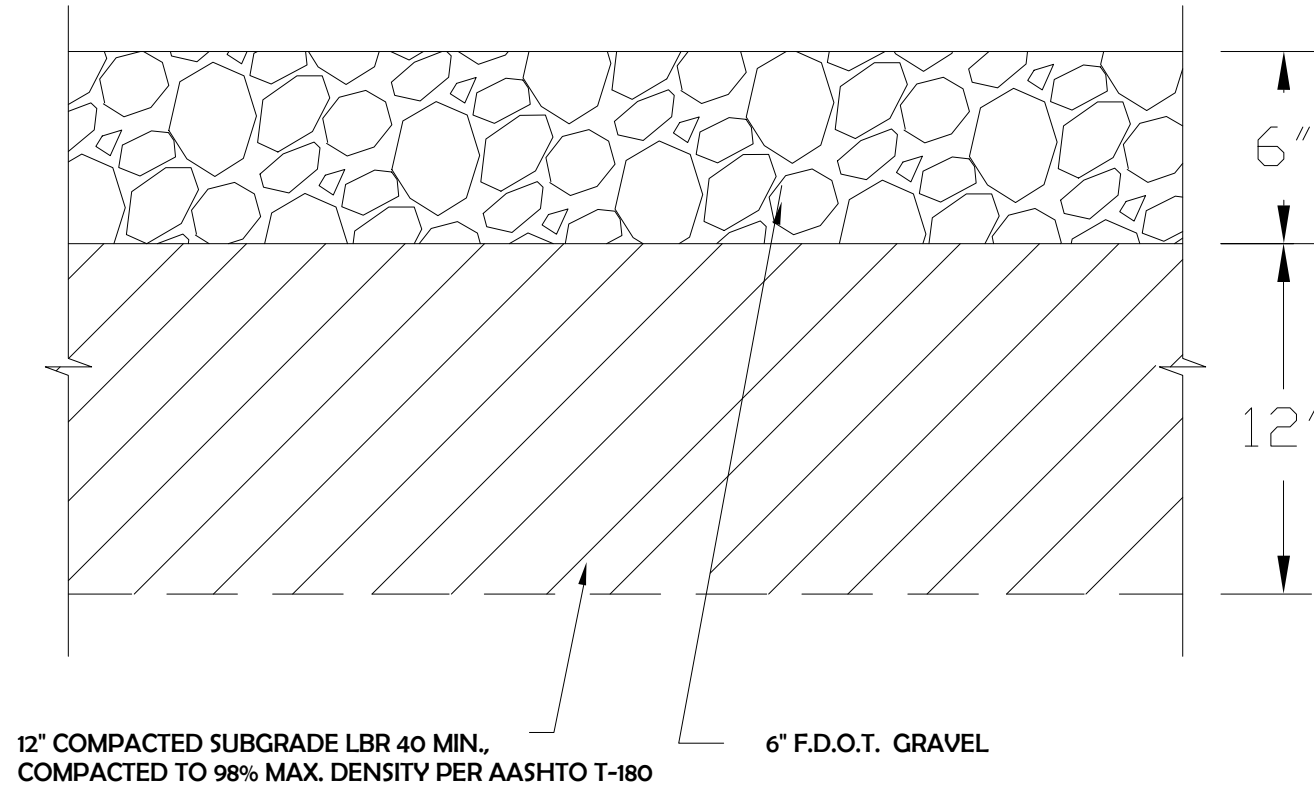
**SOD ALONG CURB AND AROUND INLET NTS**

**FIGURE 9**

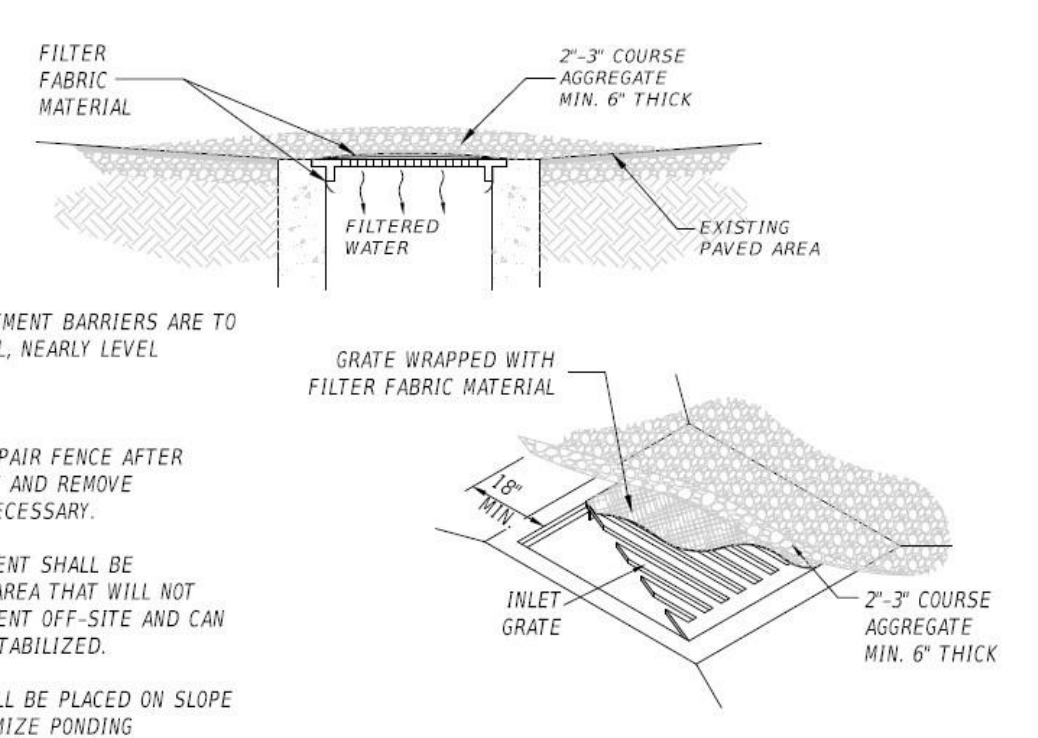


**TEMPORARY SEDIMENT SUMP NTS**

**FIGURE 10**



**CONSTRUCTION ENTRANCE SECTION**



- NOTES:**
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%)
  2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
  4. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

**EROSION CONTROL FILTER FABRIC OVER GRATE INLET NTS**

**CIVIL ENGINEER**

**LUIS C. MAURY**  
CONSULTING ENGINEER  
FLORIDA REG. 73645  
868 TIVOLI CR. # 201 DEERFIELD BEACH, FL 33441

NO PART OF THIS PLAN OR DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING OR ANY INFORMATION RETRIEVAL SYSTEM), WITHOUT THE WRITTEN APPROVAL OF ORLANDO CASTRO ARCHITECT AND TERRAVERA WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS DEPICTED ON THESE DRAWINGS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES FOUND AND ASSUMES NO LIABILITY FOR THE

**CLIENT NAME AND ADDRESS:**  
WEST BAY HARBOR 9761 LLC  
9761 WEST BAY HARBOR DRIVE  
BAY HARBOR ISLANDS, FLORIDA 33154

**PROJECT:**  
**BAY HARBOR MULTIFAMILY**

**ORLANDO CASTRO**  
ARCHITECT.  
AR98530

**ADDRESS: 9039 WEST SUNRISE BLVD PLANTATION FL. 33322**  
PH: (954) 474-0220  
EMAIL: america.gcs@hotmail.com

<b>JOB NUMBER:</b>	2024-0010
<b>DATE:</b>	12-05-2024
<b>DRAWN BY:</b>	NPB
<b>CHECKED BY:</b>	O.C.S.

**REVISIONS**

1. CITY COMMENTS 11/26/24
2. DRC COMMENTS 12/17/24

**ZONING SET**

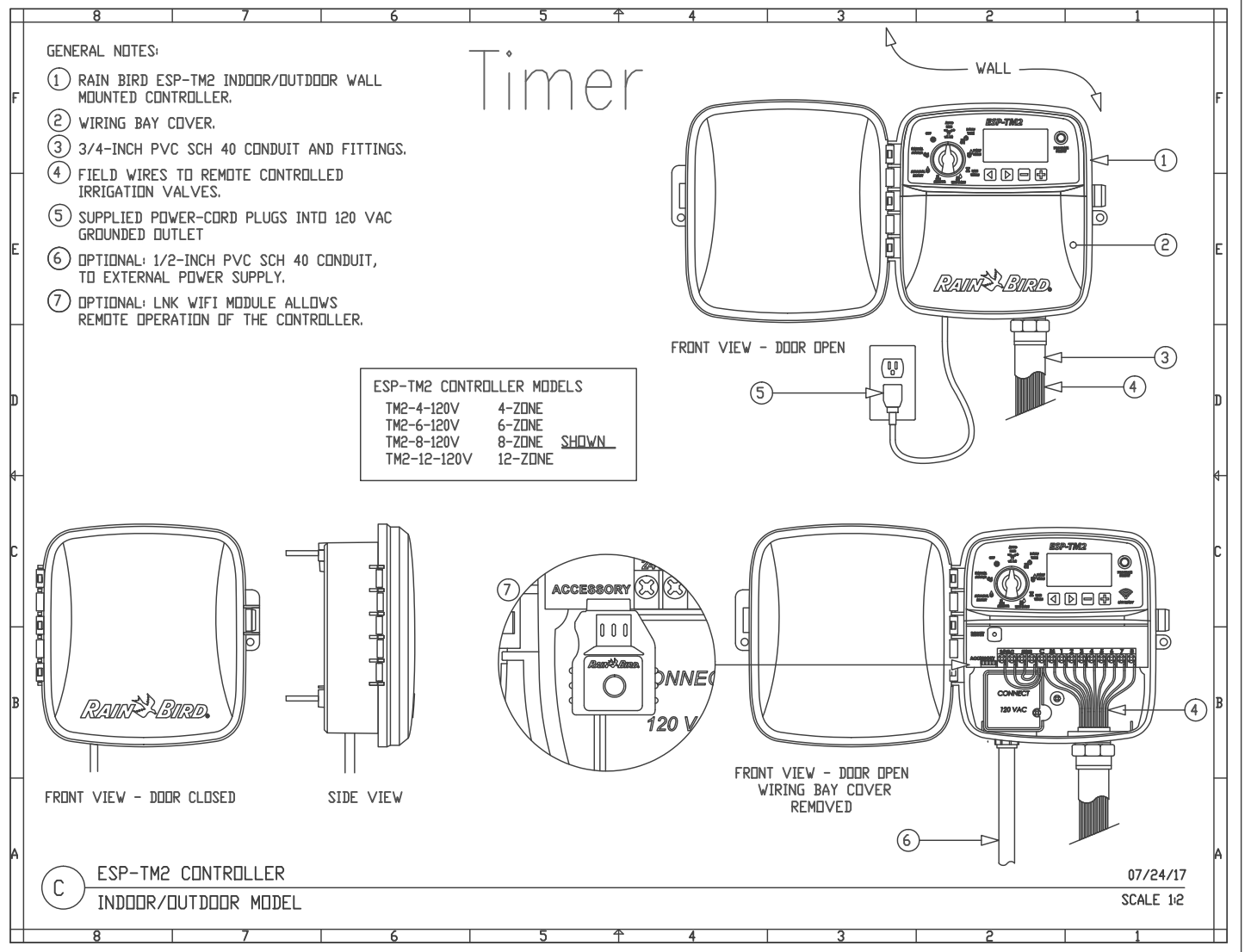
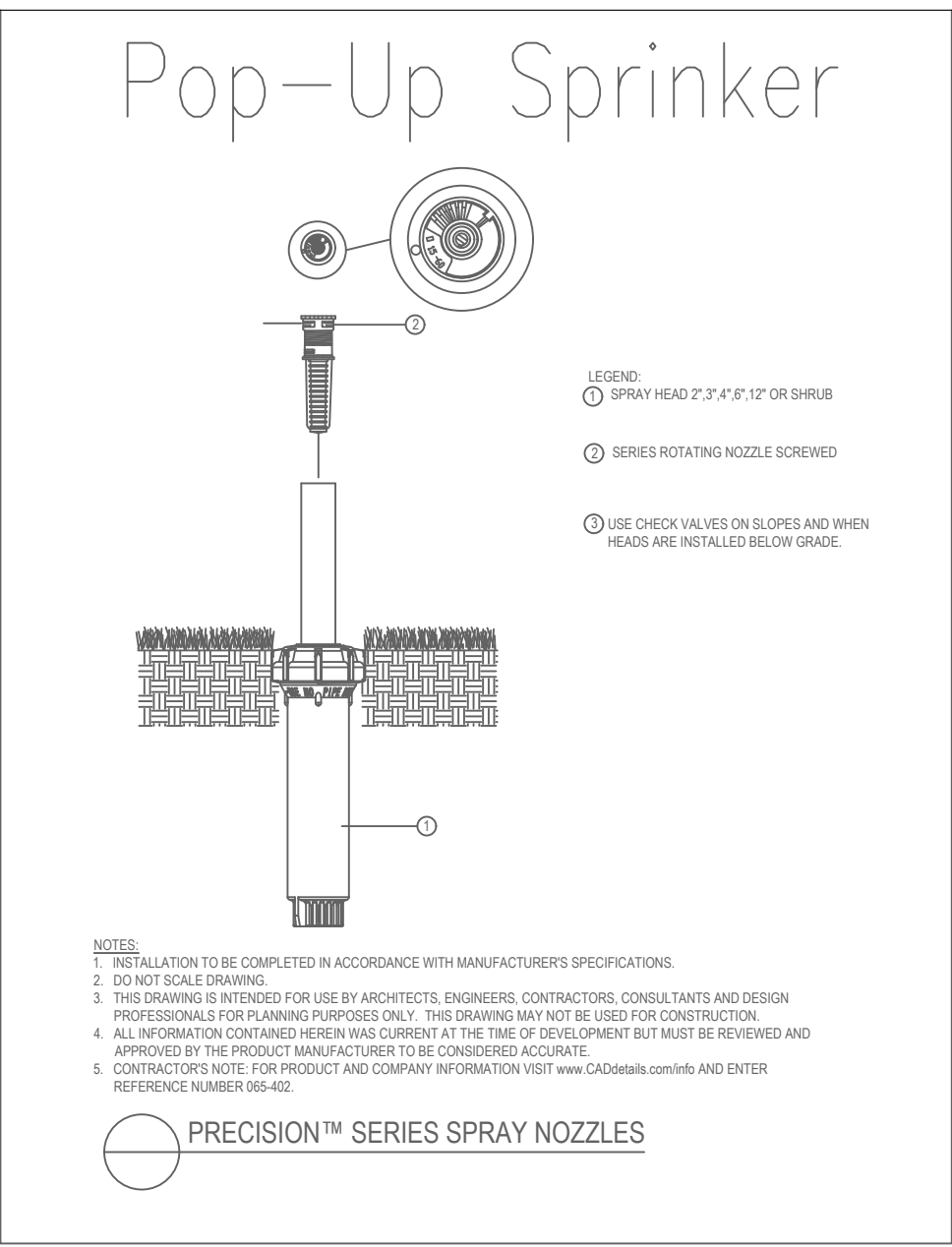
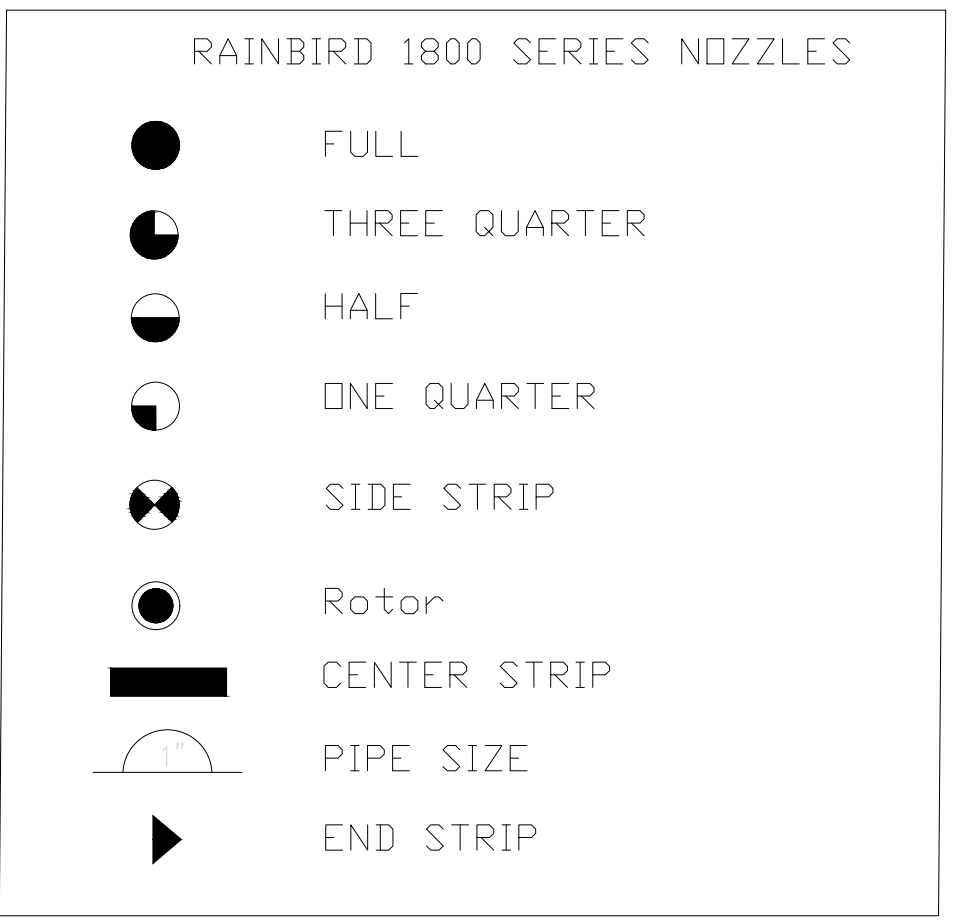
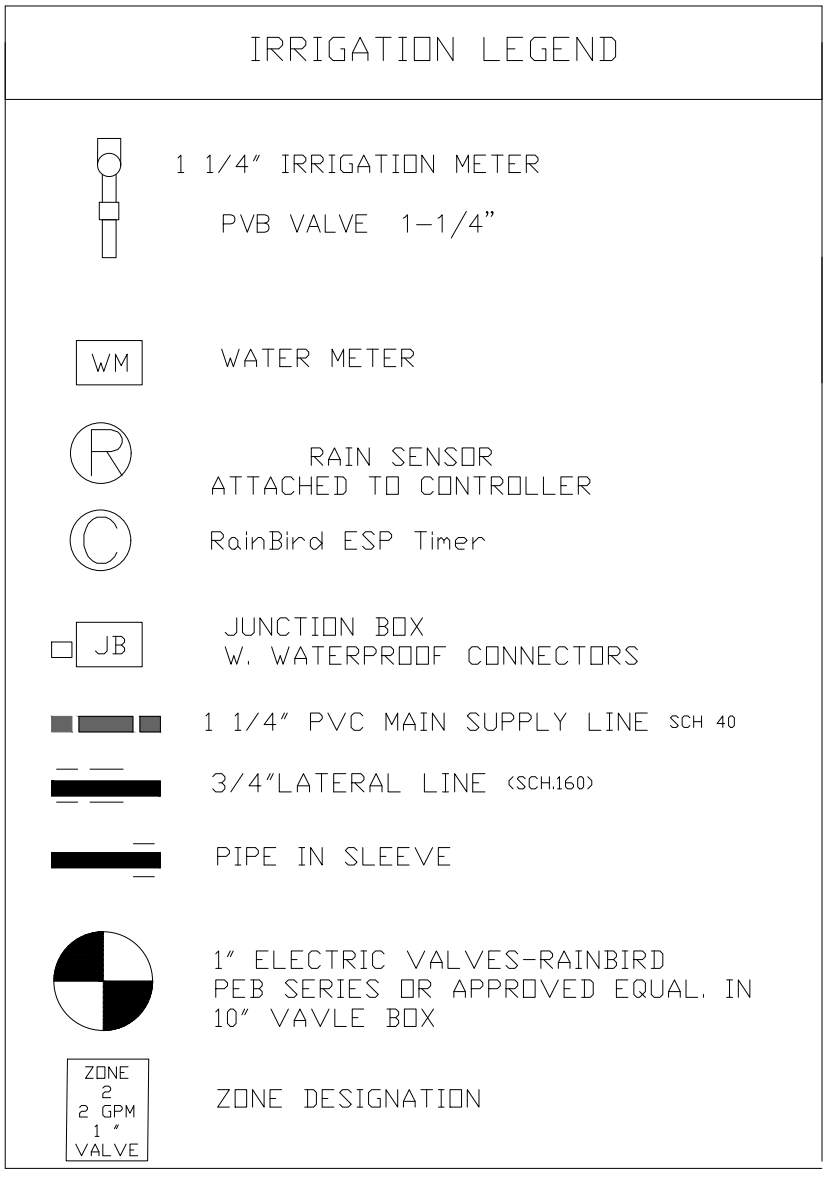
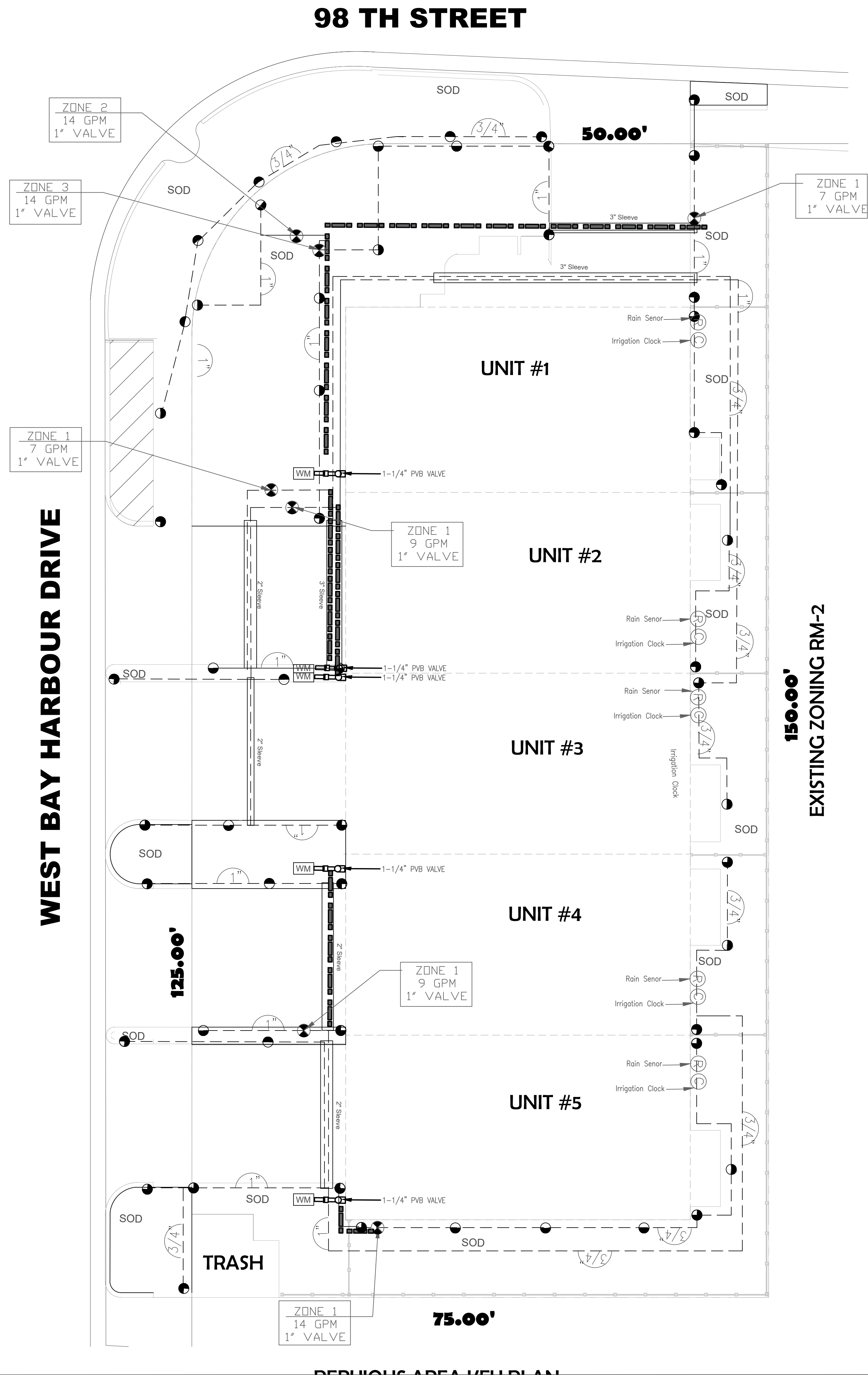
**EROSION CTRL PLAN**

**SHEET**

C-04

OF

**ARCHITECT**



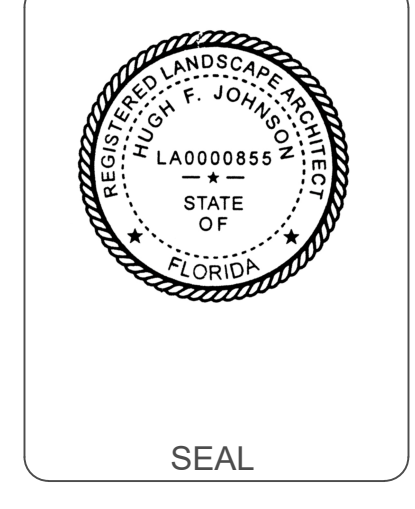
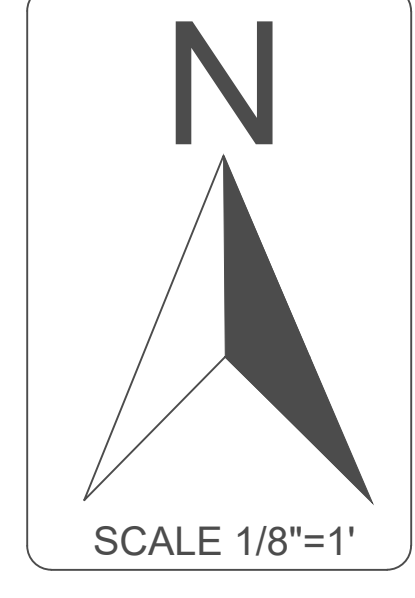
**IRRIGATION NOTES:**

- The developer shall schedule a preconstruction meeting with the public works department plumbing inspector via the engineering department inspector prior to the commencement of the irrigation work. The developer, its Landscape architect, and its landscape contractor shall attend the meeting. The meeting shall be at a time and place acceptable to the inspector. The developer shall provide the landscape inspector with the contact information for its landscape architect, project manager, superintendent, and irrigation and landscape contractor at the meeting.
- Developer shall submit a complete materials list and associate catalogue cuts for all manufactured materials to be incorporated in the work to the public works department prior to start of construction. The submittal shall be in bound form.
- The work shall be constructed in accordance with the developers city approved plans, the city's irrigation and landscape standard drawings, the city approved irrigation and landscape materials list, the standard specification for public works construction, and these standards irrigation notes.
- Review and approval of the developers plans by the city does not warrant that the plans are accurate and complete. The developer is solely responsible for accuracy and completeness of its drawing.
- Irrigation plans are diagrammatic. The actual location of irrigation improvements shall be in planted areas where possible. Location of irrigation improvements are subjected to public works department approval prior to installation. Irrigation controllers shall be installed "outside" of irrigation coverage.
- All threaded fitting require Teflon tape.
- Above ground irrigation system are not permitted.
- Control wiring shall be color coded and labeled at the controller and all junctions.
- All trees and palms will have bubblers.
- Dedicated water and electrical services shall be provided for all irrigation systems and controllers. Contractor shall verify and coordinate locations of irrigation water services and irrigation controller electrical service location with other trades to ensure they correspond with irrigation water points of connection and controller location. Electrical and water feeds from private source are not allowed.
- Code Section 54.04 CONNECTION REQUIRED. (A) Where available, the owner of every lot or parcel of land within the city utility service district developed for public, commercial, office, industrial, warehousing and/or multifamily use(s) shall connect or cause to be connected, with the reclaimed water distribution system
- System will have a 100 percent coverage with 50 percent over lap.

**ENVIROSCOPE**  
4132 SW 51 ST  
Dania Beach FL 33314

**BAY HARBOR MULTI FAMILY**  
9761 West Bay Harbor  
Bay Harbor Islands Florida

DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	A-01.d
DATE:	12/17/2024

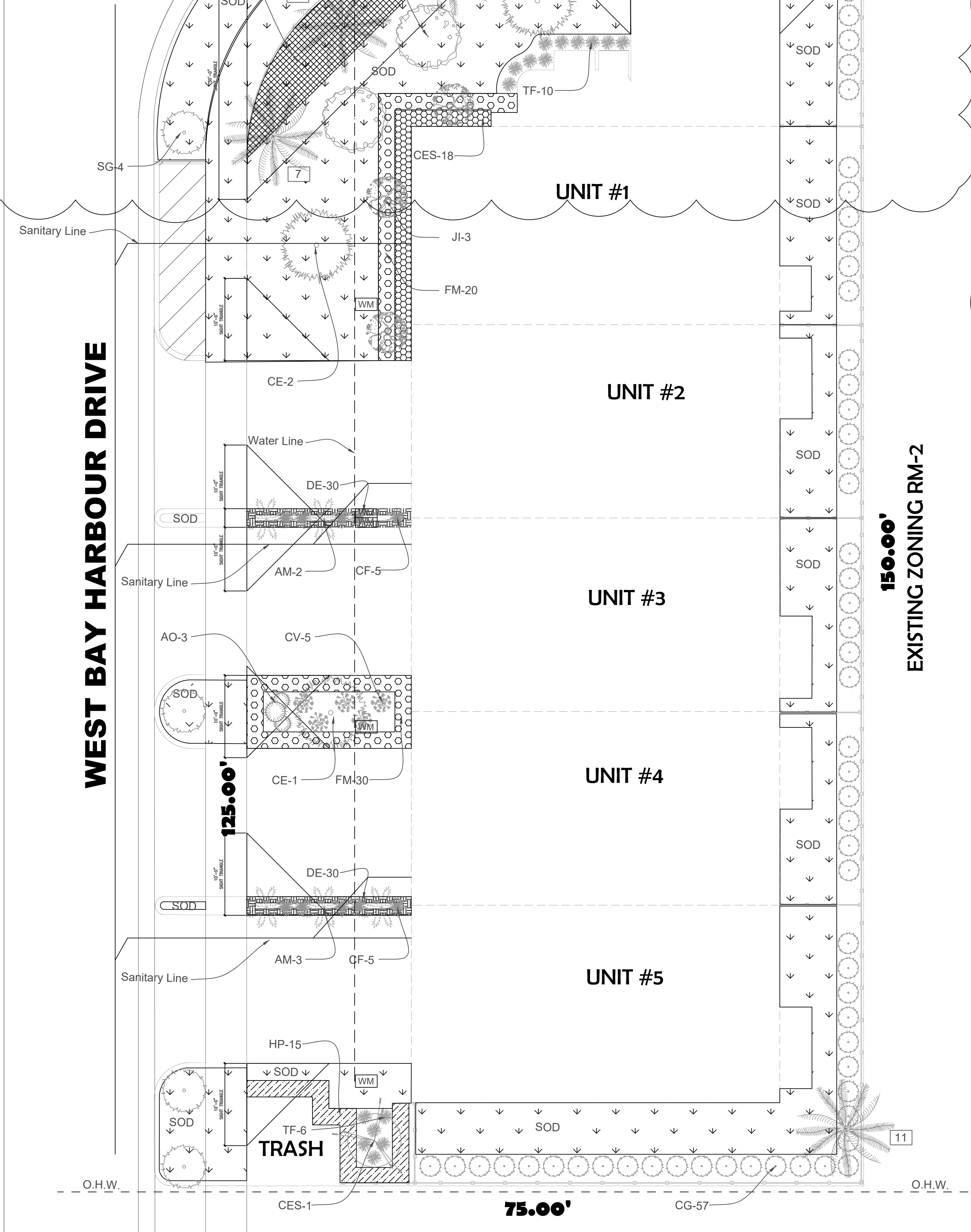


**IR-1**

REVISION / DATE
12/15/2024

# 98 TH STREET

EXISTING LANDSCAPE TO BE MAINTAINED UNDER 30" INCHES. REPLACE ANY DEAD OF POOR PLANTS



PERVIOUS AREA KEY PLAN

## Town of Bay Harbor Islands, Florida Landscape Requirements Worksheet (Worksheet)

Multi-Family Residential / Townhouse Sites (RM-1, RM-2, RM-3)  
Town Landscape Code (Sec. 24-16) & Miami-Dade Landscape Code (Chapter 18A)

Site Address 9761 West Bay harbor Legal Description Lot 8  
Net Lot Area .26 Acres / 11,116 Sqft

### I. Open Space Requirement

	Required	Provided
1. Net Lot Area = 11,116SF x 20% = 2,223.2 SF	20% / 2,223.2 SF	32.91% / 3,702 SF
2. Maximum Lawn Area Allowed (MDC - Sec. 18A-8(A)(5))	60% Max. / 2,221 SF	54.22% / 2,187 SF

### II. Shade Trees

#### A. Required

1. 28 shade trees/acre: 28 x .26acres = 7.28 (Min. 12" in height / 4" clear wood / 2 1/2" caliper) (Palm trees substituted at a 3:1 ratio; max. 25% of required shade trees) (MDC - Sec. 18A-8(C)(5)) and BHI Sec. 24-16	8	10
2. Native Species Required - 50% Min. (# of shade trees req. 5 x 50% = 4 (BHI - Sec. 24-16(a)(2)))	4	8
3. Drought Tolerant and Low Maintenance Species Required - 50% Min. (# of shade trees req. 8 x 50% = 4 (MDC - Sec. 18A-8(C)(1)(b)))	4	8

#### B. Tree Species

1. Number of shade trees required (from Sec. II(A)(1) above)	8	
2. Number of shade tree species required (BHI - Sec. 24-16(a)(2))	3	4

\*See Following Table.

Page 1 of 3 Revised 7/15/21

### IV. Shrubs Required

1. 10 shrubs required per shade tree (Min. 24" in height / visual screen min. 36" in height / max 24" on center) (BHI - Sec. 24-16(a)(2)(d))	130	227
2. Native Species Required - 30% Min. (MDC - Sec. 18A-6(D)(1)(a))	24	91
3. Drought Tolerant and Low Maintenance Species Required - 50% Min. (MDC - Sec. 18A-6(D)(1)(b))	65	91

Page 2 of 3 Revised 7/15/21

### Number of Different Tree Species based on Quantity

1-5 required shade trees	2 shade tree species
6-10 required shade trees	3 shade tree species
11-15 required shade trees	4 shade tree species
16-20 required shade trees	5 shade tree species
21-30 required shade trees	6 shade tree species
31 or more required shade trees	7 shade tree species

### C. Tree Heights

- Number of Stories of building 3
- Number of shade trees required 8 (from Sec. II(A)(1) above)
- Shade tree heights required: 12 ft. - 50% or 4 shade trees  
14-16 ft. - 50% or 4 shade trees  
16-18 ft. - % or shade trees  
18-20 ft. - % or shade trees

### Size of Tree Species in Relationship to Building Height

No. Stories	Min. Shade Tree Height (ft.)	Min. Spread (ft.)	Palm Height (ft.)
1-2	12	5	14-18
3	50% min. req.	5	14-18
	50% 14-16	6	18-22
4	50% min. req.	5	14-18
	25% 14-16	6	18-22
	25% 16-18	7	22-28
5 plus	25% min. req.	5	14-18
	50% 16-18	7	22-28
	25% 18-20	8	22-28

(BHI - Sec. 24-16(a)(2))

### III. Street Trees

	Required	Provided
1. Street Trees @ 1:35' (Width of lot 205' / 35' = 5.8 (15' min height / 6" clear wood / 2 1/2" caliper) (Street tree species determined by Street Tree Master Plan) (Street trees do not count toward required on site shade trees) (BHI - Sec. 24-16(a)(2)(a))	6	6

Page 2 of 3 Revised 7/15/21

PLANT MATERIAL SCHEDULE							
SYMBOL	NAME	COMMON NAME	SPECIFICATIONS	NATIVE	QUAN	Drought Tolerant	
CES	Conocarpus erectus var. sericeus	Silver Buttonwood	12" HT. 5" SPR. MIN. 2" Caliper 4" CT MIN	Yes	1	Low	
CE	Conocarpus erectus	Green Buttonwood	14" HT. 5" SPR. MIN. 2" Caliper 4" CT MIN	Yes	3	Low	
SM	Swietenia mahagoni	Mahogany	14" HT. 6" SPR. MIN. 3" Caliper, 4" CT	Yes	2	Low	
TC	Tabebuia chrysochloris	Yellow Tabebuia	12" HT. 6" SPR. MIN. 3" Caliper, 4" CT	No	2	Medium	
SG	Simarouba glauca	Paradise Tree	14" HT. 6" SPR. MIN. 3" Caliper, 4" CT	Yes	4	Low	
AM	Adonidia merrillii	Christmas Palm	15" HT. 8" CT minimum 4" Cal	No	5	Medium	
Shrubs and Groundcover							
TF	Tripsacum floridanum Dwarf	Dwarf Fakahatchee Grass	18" HT. X 12" Spr. Staggered	Yes	16	Low	
DE	Duranto erecta	Gold Mound	18" HT X 18" Sprd. 24" O.C.	No	60	Medium	
CG	Clusia guttifera	Clusia	24" HT. X 18" SPR. 24" O.C.	Yes	57	Low	
FM	Ficus microcarpa	Green Island Ficus	18" HT X 18" Sprd. 24" O.C.	No	50	Low	
SB	Conocarpus erectus var. sericeus	Silver buttonwood	36" HT X 24" Sprd. 30" O.C.	Yes	18	Low	
Jl	Jatropha integririma	Jatropha Tree	5' HT	No	3	Medium	
CV	Codiaeum variegatum	Sloppy Painter	24" HT X 24" Sprd. 30" O.C.	No	5	Medium	
CF	Cordyline fruticosa	Auntie Lu	24" HT X 24" Sprd. 30" O.C.	No	10	Medium	
AO	Alcantarea odorata	Odorata	24" HT X 24" Sprd. 30" O.C.	No	3	Low	
SOD	Palmetto	ON SITE SODDED AREA	CONTRACTOR SHALL VERIFY QUANTITY			APPROX. 2,187 S.F.	
SOD	Palmetto	OFF SITE SODDED AREA	CONTRACTOR SHALL VERIFY QUANTITY			APPROX. 520 S.F.	

NOTE: 2" OF SOIL SHALL BE ADDED UNDER ALL SOD

### TREE DISPOSITION LIST Rahim Vedaae: Certified Arborist FL-9609A

KEY	COMMON NAME	BOTANICAL NAME	DIAMETER (INCHES)	HEIGHT (FT)	SPREAD (FT)	CANOPY (S.F.)	TPZ (FT)	CLEAR TRUNK	CONDITION (%)	DISPOSITION	COMMENT
7	Royal Palm	Roystonea regia	18	40	20	314.0	2.5	30	Good	Remain	
8	Royal Palm	Roystonea regia	20	40	20	314.0	2.5	30	Good	Remain	
9	Royal Palm	Roystonea regia	18	40	20	314.0	2.5	30	Good	Remain	
11	Alexander Palm	Ptychosperma elegans	2	18	10	78.5	2.5	11	Fair	Remain	

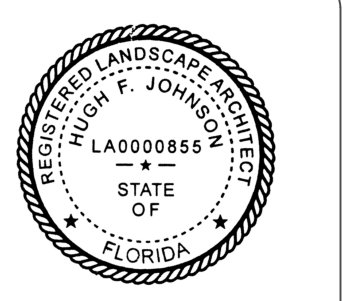
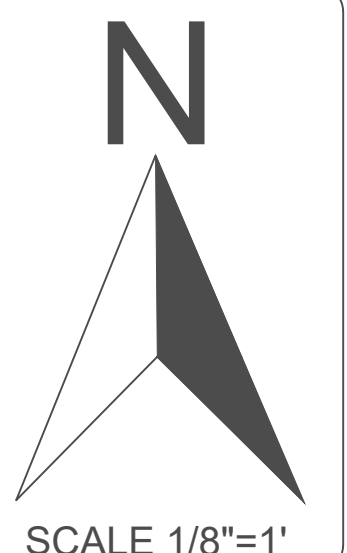
ENVIROSCAPE

4132 SW 51 ST  
Dania Beach FL 33314

BAY HARBOR MULTI FAMILY

9761 West Bay Harbor  
Bay Harbor Islands Florida

DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	A-01.d
DATE:	12/17/2024



SEAL

L-1

**GENERAL PLANTING REQUIREMENTS**

- 1-All sizes shown for plant material on the plans are to be considered Minimum.
- 2-All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.
- 3-All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees".
- 4-All material shall be installed as per CSI specifications. All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.
- 5-All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well-drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications. Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

- 6-All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. Cypress bark mulch shall not be used.
- 7-All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.
- 8-All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source.
- 9-Each system shall be installed with a rain sensor.
- 10-It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods.

- 11-Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.
- 12-All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

- 13-Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

- 14-All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of landscape Architect

- 15-The plan takes precedence over the plant list.

**SPECIAL INSTRUCTIONS**

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sod areas as indicated on the planting plan shall receive *Stenotaphrum secundatum*, St. Augustine 'Palmetto' solid sod. It shall be the responsibility of the landscape contractor to include in the bid, the repair of any sod which may be damaged from the landscape installation operations.

**TREE RELOCATION**

**1) ROOT PREPARATION**

- A. Trees to be root pruned with clean, sharp equipment.

1. Maintain root pruned materials by watering, weeding, mowing, spraying, fertilizing, and other horticulture practices.

2. After root pruning, backfill with good rooting medium, fertilize with organic

fertilizer to promote root growth.

3. Mulch to reduce weeds, discourage foot traffic, conserve moisture, and minimize

temperature fluctuation.

- B. Root Ball Size Chart: Root ball sizes shall be according to minimum standards

set forth in Grades and Standards for Nursery Plants Part II, Palms and Trees,

Florida Department of Agriculture.

1. Trees-Minimum Ball Sizes:

3-1/2" to 4" 28"

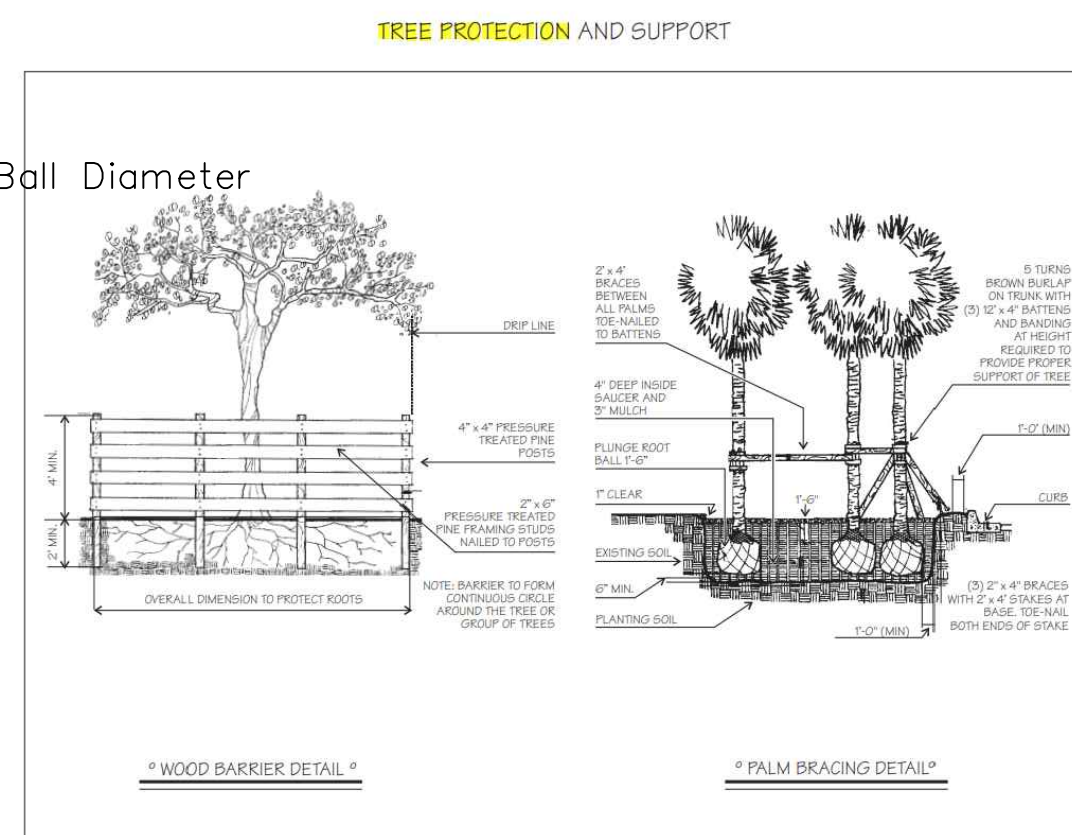
4" to 4-1/2" 30"

4-1/2" to 5" 32"

5" to 5-1/2" 34"

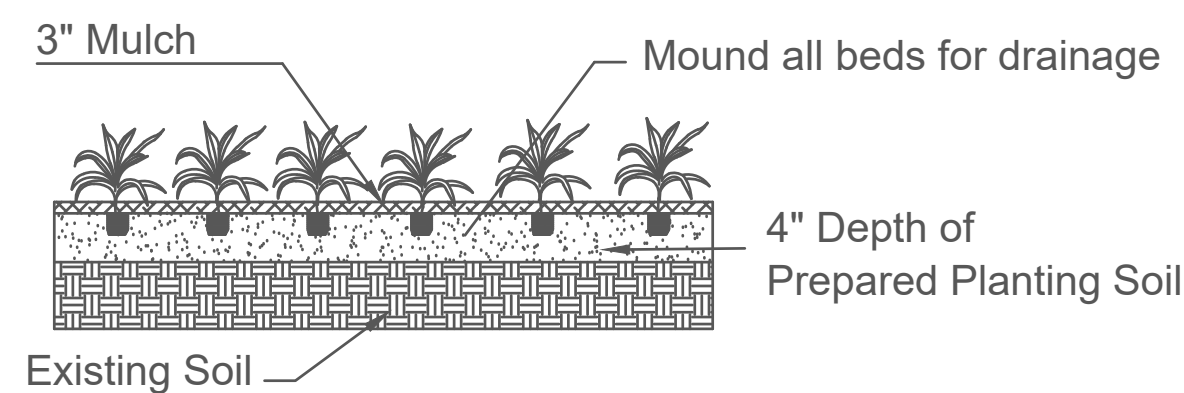
Larger sizes increase proportionally.

DBH Minimum Ball Diameter



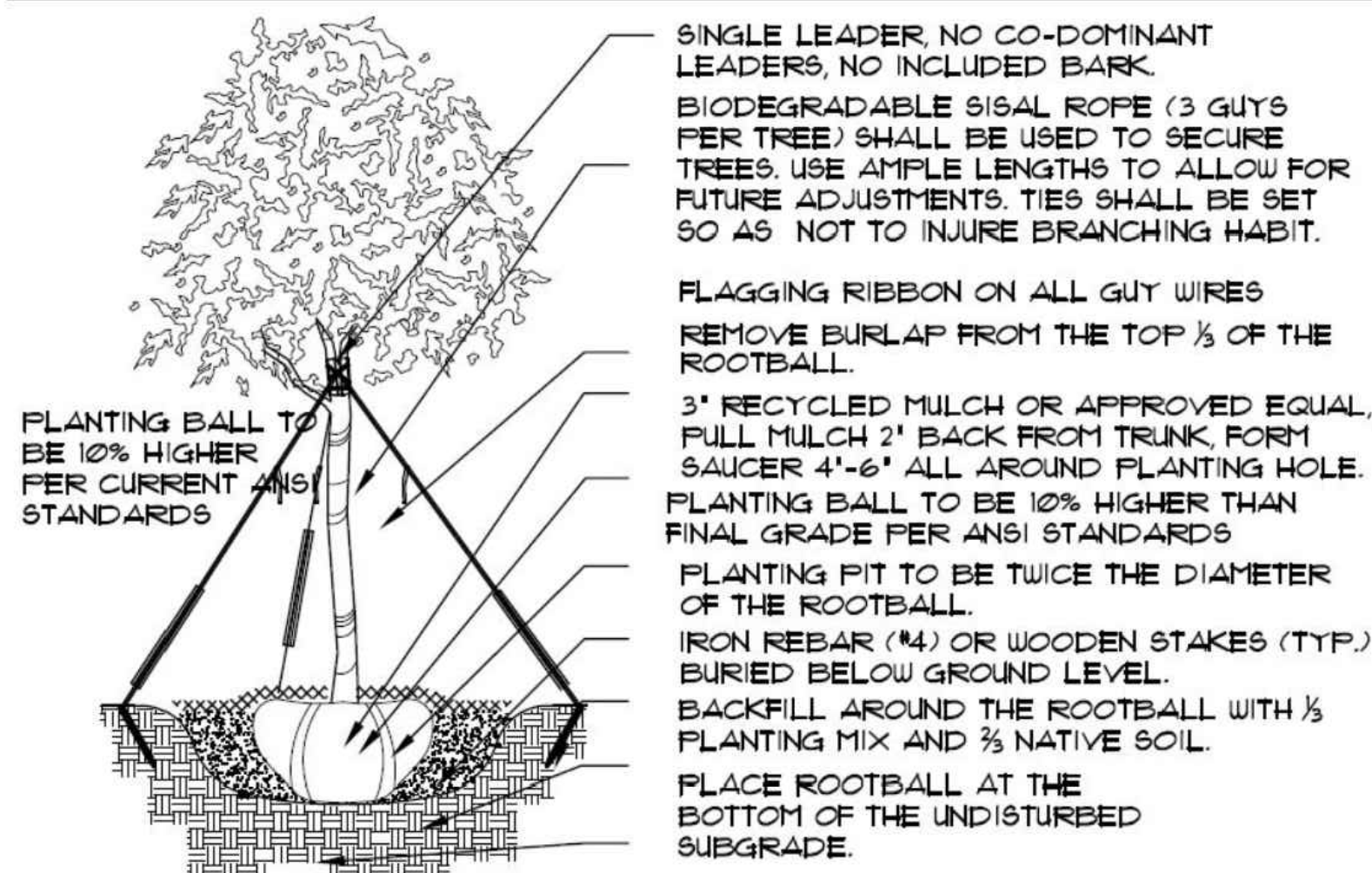
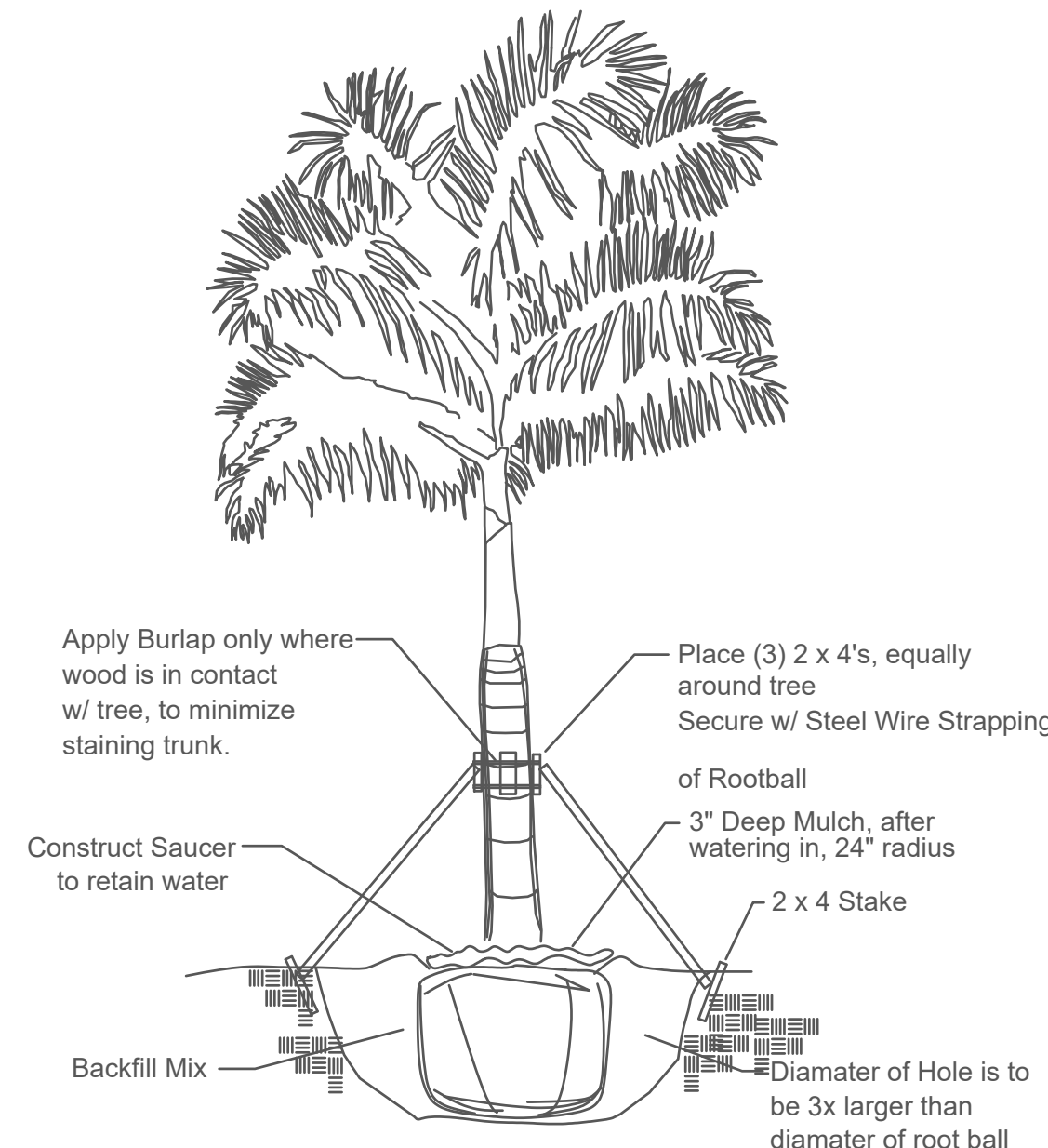
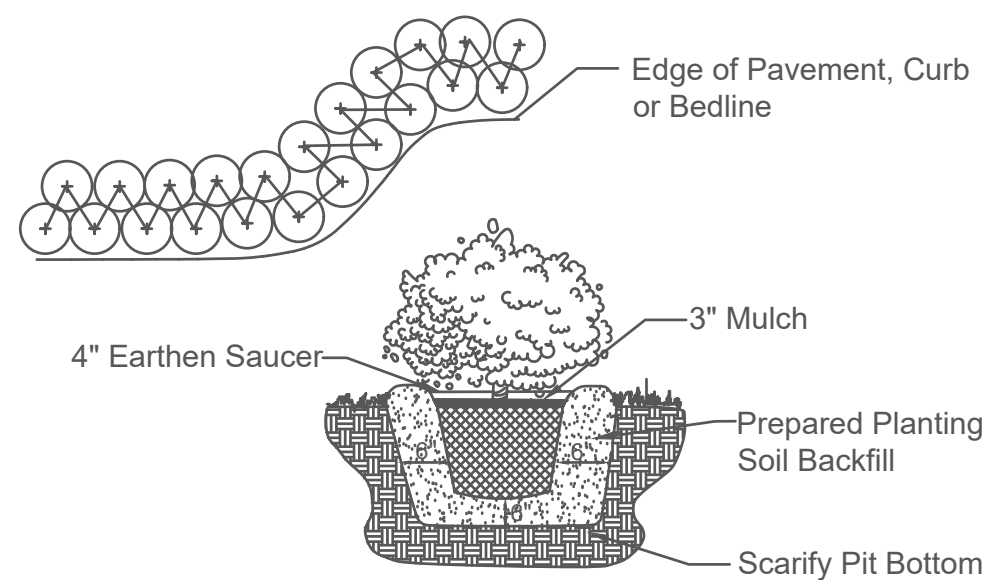
NTS

NOTE: Annuals Are To Be Planted As Per Groundcover Detail Excluding Mulch.



**Shrub & Groundcover Planting Detail**

Note: All Shrubs And Groundcover Shall Be Triangular Spaced Along Straight Edges And Will Be Planted In Parallel Rows Along Curved Edges.



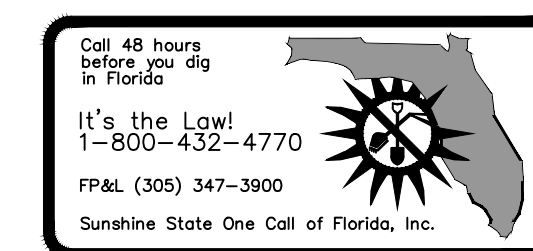
**TREE PLANTING DETAIL**

NTS.

1. All Plants shall be Florida No.1 or better.
2. Landscape Contractor shall review plans and indicate any availability problems at time of bid. Landscape contractor shall be responsible bidding and installing all plantings as they are drawn on the plan, and shall verify the accuracy of the plant list vs the drawn plan, at the time of bid.
3. In the event that a certain specification is not able to be met, then contractor shall contact landscape architect to discuss alternatives.
4. Contractor shall be familiar w/ the City of Miami, Florida landscape code and shall comply with all of its applicable requirements.
5. Contractor shall verify all quantities indicated at time of bid.
6. Contractor shall provide unit prices at time of bid.
7. All contractors working on the project shall be licensed and fully insured as required.
8. The Property Owner is responsible for replacement of all dead plant material & for maintenance of the required irrigation system.
9. Tree and palm staking shall be removed between 6 and 12 months.
10. All prohibited exotic vegetation shall be removed from the site and it shall be maintained free of exotics in perpetuity.
11. The review and approval of improvement plans does not authorize the construction of required improvements which are inconsistent w/ existing easements of record.
12. Contractor to verify underground utilities with "Sunshine State One Call of Florida" 800-432-4770.
13. Contractor to verify property lines and setbacks before construction.
14. Contractor must have property lines staked and located, and must verify plan dimensions and field conditions are consistent.
15. All plant, trees, and palms shall be for guarantee 1 Year Warranty period begins at the time of project acceptance by the owner.
16. Irrigation Note: Per Article 9: 9.4(4): Irrigation. All landscaped areas shall receive 100% coverage by means of an automatic sprinkler system

designed and constructed in accordance with the City of Miami Code of Ordinances, the Florida Building Code, State Law, and the regulations of the South Florida Water Management District. Failure to maintain or disconnection of the irrigation system shall be a violation of these regulations.

17. Contractor shall maintain all plant material and beds must be kept weed free until accepted by owner.
18. Contractor shall maintain site in a clean fashion and shall remove any waste created by landscape installation construction.
19. All plant materials to be installed and maintained as per City of Miami
20. General/Site contractor shall make certain that all soil for planting areas shall be of suitable landscape quality fill. Soil shall be comprised of a sandy base, and have good organic and good percolation qualities.
21. General/Site contractor shall make certain all limerock and excessively compacted soils shall be removed from planting beds.
22. Landscape Contractor shall make certain that the site conditions meet to their satisfaction before installing plant material.
23. If Landscape Contractor has any concerns over the survivability of plant materials, he must inform the owner immediately.
24. All slopes steeper than 4:1 shall be planted with native vegetation
25. No Cypress Mulch is to be used on site. Eucalyptus or Melaleuca Mulch is to be used in a 3" consistent layer in all planting beds.
26. Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.
27. This plan has been designed to meet the tree planting requirements contained within the FPL document entitled 'Plant the Right Tree in the Right Place' and City of Miami Landscape Manual.
28. For existing or proposed utilities, no tree shall be planted where it could, at mature height conflict with overhead power lines.
29. Landscape adjacent to vehicular traffic to be maintained to preserve sight line visibility.



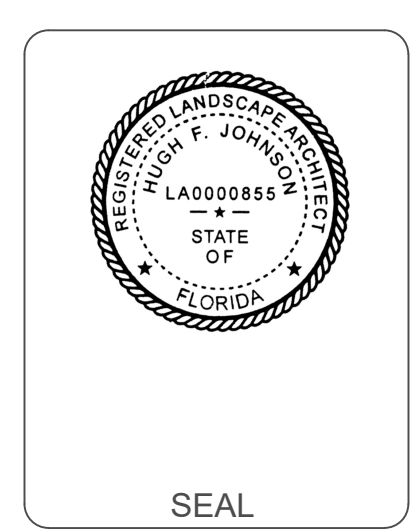
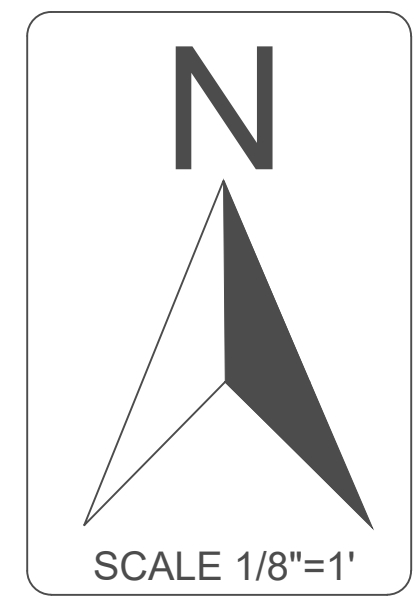
**ENVIROSCAPE**

4132 SW 51 ST  
Dania Beach FL 33314

**BAY HARBOR MULTI FAMILY**

9761 West Bay Harbor  
Bay Harbor Islands Florida

DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	A-01.d
DATE:	11/27/2024



NO PART OF THIS PLAN OR DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING OR ANY INFORMATION RETRIEVAL SYSTEM), WITHOUT THE WRITTEN APPROVAL OF ORLANDO CASTRO ARCHITECT AND ASSOCIATES. ANY INFORMATION, RETRIEVAL SYSTEM, OR THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS REFERRED TO IN THESE DRAWINGS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE ENGINEER MUST BE ADVISED OF ANY DISCREPANCIES FOUND AND ASSUMES NO LIABILITY FOR THE

**CLIENT NAME AND ADDRESS:**  
 WEST BAY HARBOR 9761 LLC  
 9761 WEST BAY HARBOR DRIVE  
 BAY HARBOR ISLANDS, FLORIDA 33154

**PROJECT:**  
**BAY HARBOR MULTIFAMILY**

**ORLANDO CASTRO ARCHITECT.**  
 ARCHITECT.  
 AR986530

ADDRESS: 9039 WEST SUNRISE BLVD  
 PLANTATION FL. 33322  
 PH: (954) 474-0220  
 EMAIL: america-gcs@hotmail.com

**JOB NUMBER:** 2024-0010  
**DATE:** 10-25-2024  
**DRAWN BY:** ALBO  
**CHECKED BY:** O.C.S.

**REVISIONS**  
 CITY COMMENTS.11/26/24

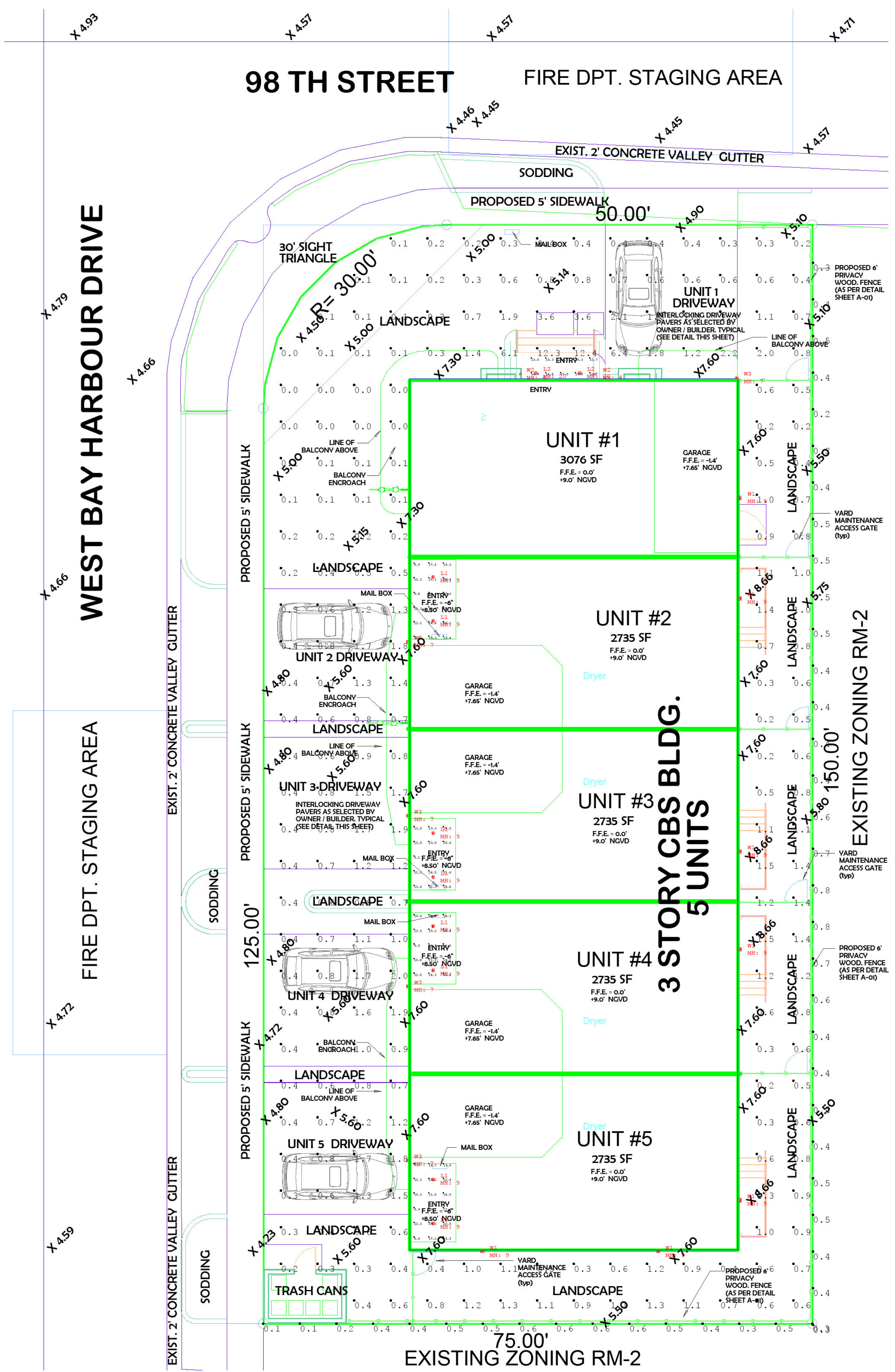
**PHOTOMETRIC PLAN**

**SHEET**

**PH-01**

**OF**

**ARCHITECT**



**Luminaire Schedule**

Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
⊕	8	L1	Single	Elco Lighting EKCL3663 / EKCL2130D / E3KCL10IC	0.900	950	10.5	84
⊕	2	L2	Single	Elco Lighting ELK4163 / ELK2430D-S / E4LK78ICA	0.900	1950	18.9	37.8
⊕	7	W1	Single	PIL M10-M-5-T3-XX-XX-UNV-NA	0.900	358	5	35
⊕	2	W2	Single	Kreon Lighting KUD80-OW-[MOUNTING]-UPD-8FT-LED-30-80-[FINISH]	0.900	110	6	12
⊕	5	W3	Single	Lightway NECW-426-O2C-3-[FINISH]	0.900	1454	18	90

**Calculation Summary**

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Entry	Illuminance	Fc	16.69	25.2	7.4	2.26	3.41
Property Line	Illuminance	Fc	0.46	0.8	0.2	2.30	4.00
Site	Illuminance	Fc	0.89	12.4	0.0	N.A.	N.A.



1855 Indian Road, Suite 202  
West Palm Beach, FL 33409  
stormwaterj@gmail.com

(561) 242-0028  
Fax 242-0109

## **Report on Sewage System Capacity Assessment for 9761 West Harbor Drive Project**

### **1. Introduction**

This report presents the findings of the sewage system capacity assessment for the proposed development at 9761 West Harbor Drive. The assessment aims to determine the adequacy of the existing sewage collection and transmission system to handle the increased flow resulting from the project.

### **2. Methodology**

The following methodology was employed to assess the capacity of the existing sewage system:

#### **2.1 Flow Observation**

The flows on the West invert of Manhole (MH76 see attached city atlas) were measured. The 15-inch PVC pipe was selected for flow observation during peak hours (6 AM to 9 AM).

The depth of flow was measured and recorded.

#### **2.2 Flow Calculation**

The flow rate was calculated based on the observed depth of flow using standard hydraulic formulas. Assumptions were made for minimum slope using 10 state standards of 0.15 per 100 feet, and a roughness coefficient of 0.013 was used to be conservative.

#### **2.3 Project Flow Projection**

The additional flow generated by the proposed development was estimated based on the project's design parameters and anticipated usage. Design Flow is based on the Miami Dade County Guidelines for Sec 24.43 which uses peak hour flows.

#### **2.4 Capacity Assessment**

The combined flow (existing flow + projected project flow) was compared to the maximum capacity of the pipe.

If the combined flow does not exceed 80% of the pipe's capacity, the system is considered adequate.

### **3. Results**

#### **3.1 Flow Observation and Calculation**

Peak flow observed: 5 inches deep

- Calculated flow rate: 269.904 GPM

<b>Input:</b>			
	Inches	Feet	Information
D	15	1.25	
h	5	0.417	Depth of flow observed during peak hours
n	0.013		(Mannings Coefficient)
S	0.0015		*Assumed Slope

<b>Existing flow Calculations:</b>			
	Values	Units	Formula
r	0.625	Feet	D/2
$\theta$	2.462	Radians	
A	0.358	Square feet	$A=r^2 * (\theta - \sin(\theta))/2$ (for less than half full)
P	1.539	Ft	$r*\theta$ (for less than half full)
R	0.2327	Ft	A/P
V	1.6795	Ft/Sec	Q/A
Q	<b>0.601</b>	CFS	$Q = (1.49/n) * A * (R^{2/3}) * (S^{1/2})$
Q	<b>269.904</b>	GPM	

- Full pipe capacity: 1125.861 GPM

<b>Input:</b>			
	Inches	Feet	Information
D	15	1.25	
n	0.013		(Mannings Coefficient)
S	0.0015		Slope
<b>Calculations (Full pipe):</b>			
A	1.227	Square feet	Formula
P	3.927	Ft	
R	0.3125	Ft	A/P
V	2.0442	Ft/Sec	Q/A
Q	<b>2.509</b>	CFS	$Q = (1.49/n) * A * (R^{2/3}) * (S^{1/2})$
Q	<b>1125.861</b>	GPM	

### 3.2 Project Flow Projection

Estimated additional flow from the project: 13.61 GPM

<b>Per capita Water Use:</b>	
140	Gal/Person/Day
7	People
5	townhomes
4900	GPD
19600	GPD with peak hour factor (4)
13.61	GPM with peak hour factor (4)

\*Per capital Flow is based on the national average

### 3.3 Capacity Assessment

Combined flow:  $13.61\text{GPM} + 269.9\text{GPM} = 283.51\text{ GPM}$

$283.51\text{ GPM}/1125.861\text{GPM} = 25\%$

Percentage of pipe capacity utilized: 25%

### 4. Conclusion

Based on the analysis, the existing sewage collection system is adequate to accommodate the additional flow generated by the proposed development at 9761 West Harbor Drive. The combined flow, including the project's contribution, is well below the 80% capacity threshold.

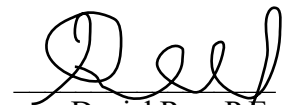
### 5. Recommendations

Regular Monitoring: It is recommended to continue monitoring the sewage system, particularly during peak usage periods, to ensure ongoing adequacy.

Future Development Considerations: If future developments are planned in the area, a reassessment of the sewage system's capacity may be necessary.

Maintenance and Upgrades: Regular maintenance and potential upgrades to the sewage system should be considered to maintain its efficiency and reliability.

Signed,



Daniel Rey, P.E.  
StormwaterJ Engineering, Inc.

— MATERIAL = DUCTILE IRON

— MATERIAL = VCP

FORCE MAIN LINES

— MATERIAL = CAST IRON

— MATERIAL = DUCTILE IRON

— MATERIAL = PVC C-900 GRE

PROJECT LOCATION

Manhole Analyzed

check flow in this Manhole

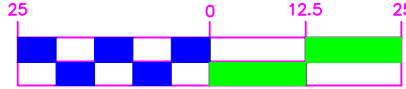


# TOWN OF BAY HARBOR ISLANDS SANITARY SEWER DISTRIBUTION DETAIL 05

Date:	Drawing no:
02/01/96	SSDET05
Drawn by:	Scale:
WAGNER ALMEIDA	1" = 200'



**GRAPHIC SCALE**



( IN FEET )  
1 inch = 25 ft.

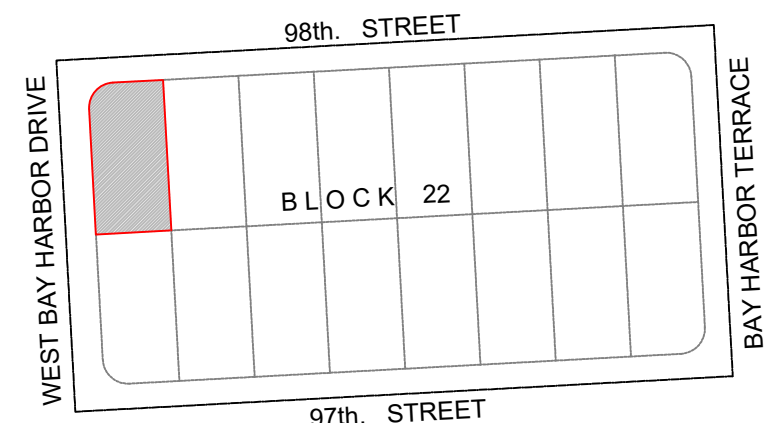
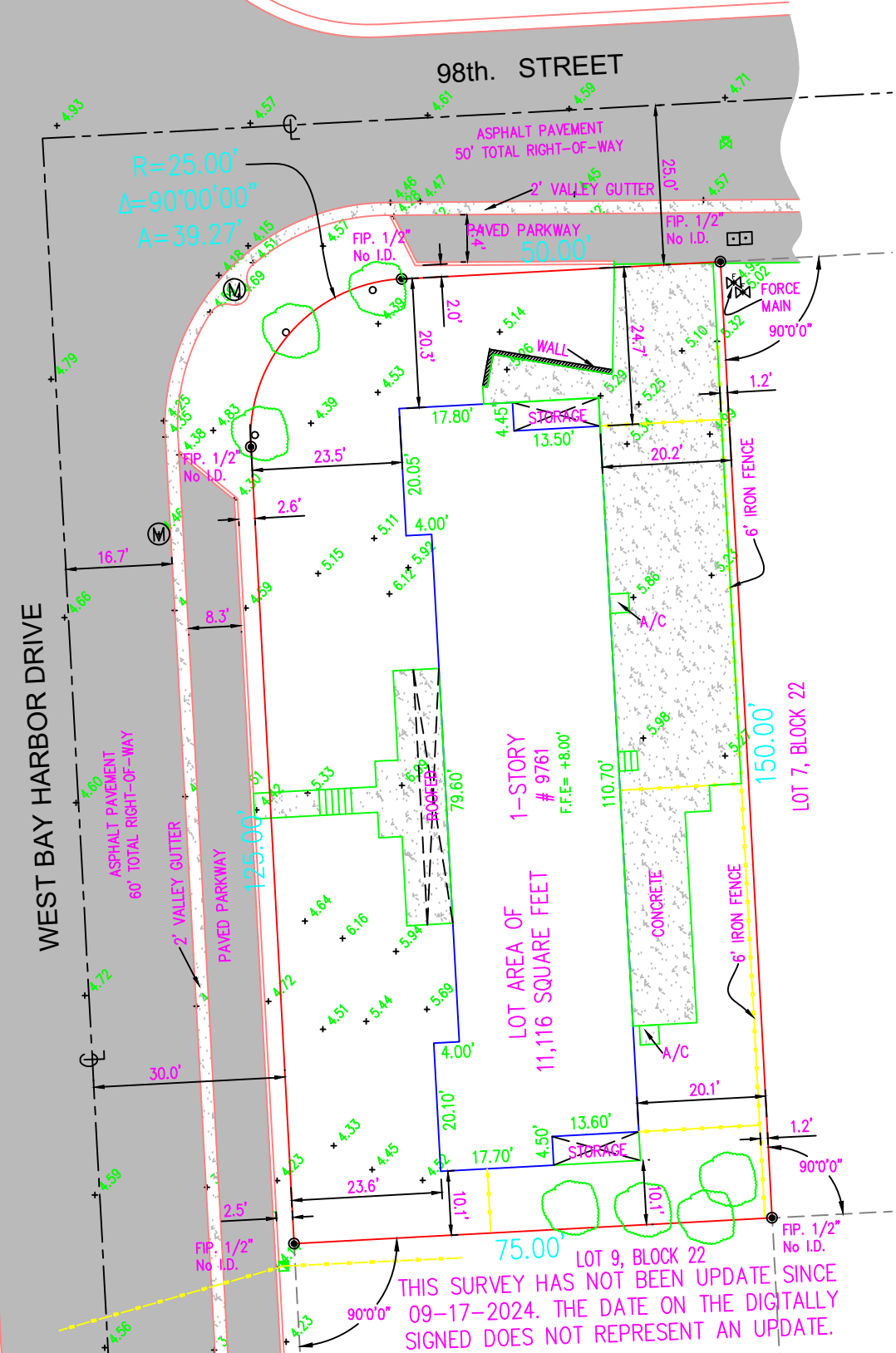
**ABBREVIATIONS LEGEND**

- A = ARC
- (C) = CALCULATED
- CH = CHORD
- C.N.A. = CORNER NOT ACCESSIBLE
- CONC. = CONCRETE
- Δ = DELTA
- F.C. = FENCE CORNER
- F.D.H. = FOUND DRILL HOLE
- F.E. = FENCE ENDS
- F.F.E. = FINISHED FLOOR ELEVATION
- F.I.P./F.I.R. = FOUND IRON PIPE/ROD
- F.N. = FOUND NAIL
- F.N&D. = FOUND NAIL AND DISC
- F.Pk.N. = FOUND PARKER KALON NAIL
- I.D. = SURVEYOR'S IDENTIFICATION
- L = LENGTH
- (M) = MEASURED
- O/S = OFFSET
- (P) = PLATTED
- P.B. = PLAT BOOK
- P.C. = POINT OF CURVATURE
- P.C.C. = POINT OF COMPOUND CURVATURE
- PG. = PAGE
- P.R.C. = POINT OF REVERSE CURVATURE
- P.R.M. = PERMANENT REFERENCE MONUMENT
- P.T. = POINT OF TANGENCY
- R = RADIUS
- (R) = RECORD
- R/W = RIGHT-OF-WAY
- S.I.R./S.I.P. = SET 1/2" IRON ROD/PIPE
- S.N.D. = SET NAIL AND DISC
- TAN = TANGENT
- (TYP.) = TYPICAL
- U.E. = UTILITY EASEMENT

- OVERHEAD WIRE LINE
- WOOD FENCE
- CHAIN LINK FENCE
- IRON/ALUMINUM FENCE
- POLYVINYLCHLORIDE FENCE (PVCF)
- MONUMENT LINE
- CENTERLINE
- PROPERTY LINE
- ASPHALT PAVING
- CONCRETE
- CONCRETE BLOCK STUCCO
- OVERHANG (O/H) OR ROOF

**SYMBOL LEGEND**

- AIR CONDITIONER
- BELLSOUTH BOX
- CABLE BOX
- CATCH BASIN
- CONCRETE LIGHT POLE
- CONTROL VALVE BOX
- ELECTRIC BOX
- EXISTING ELEVATIONS
- ELECTRIC METER
- ELECTRIC SERVICE BOX
- FIRE HYDRANT
- FLORIDA POWER & LIGHT BOX
- HANDICAP SPACE
- INLET
- LIGHT POLE
- METAL LIGHT POLE
- POOL PUMP
- SANITARY MANHOLE
- SPRINKLER PUMP
- WATER METER
- WATER VALVE
- WOOD POLE



**TAX FOLIO #:** 30-2227-001-3820  
**LOCATION SKETCH:** NOT TO SCALE

**PROPERTY ADDRESS:**  
9761 WEST BAY HARBOR DRIVE  
BAY HARBOR ISLANDS, FLORIDA 33154  
**CERTIFIED TO:**  
1. WEST BAY HARBOR 9761 LLC

**LEGAL DESCRIPTION:**  
Lot 8, in Block 22, of "BAY HARBOR ISLAND", according to the Plat thereof, as recorded in Plat Book 46, Page 5, of the Public Records of Miami-Dade County, Florida.

**SURVEYOR'S NOTES:**

1. LEGAL DESCRIPTION FURNISHED BY CLIENT. NO SEARCH OF PUBLIC RECORDS WAS MADE BY THIS OFFICE.
2. ANY ELEVATIONS SHOWN HEREON ARE PER NATIONAL GEODETIC VERTICAL DATUM (1929 MEAN SEA LEVEL).
3. NO EXCAVATIONS WERE PERFORMED AS TO DETERMINE UNDERGROUND ENCROACHMENTS.
4. DISTANCES AND ANGLES ARE FIELD MEASURED AND CORRESPOND WITH RECORD DATA UNLESS NOTED.
5. THIS SURVEY WAS PREPARED FOR PERMITTING.
6. IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES, IN ALL CASES, DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
7. ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES. (CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES)

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PREPARED BY THE OFFICE SHOWN HEREON AND THAT I AM THE SURVEYOR OF RESPONSIBLE CHARGE FOR NONE OTHER THAN SAID OFFICE. ADDITIONALLY, THIS SURVEY MEETS AND/OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH IN CHAPTER 5J-17.051 OF THE FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES.

DRAWN BY: J.G.
CHECKED BY: J.S.P.
SCALE: 1" = 25'
FIELD DATE: 09-17-24
JOB No. 2024-0466
SHEET: 1

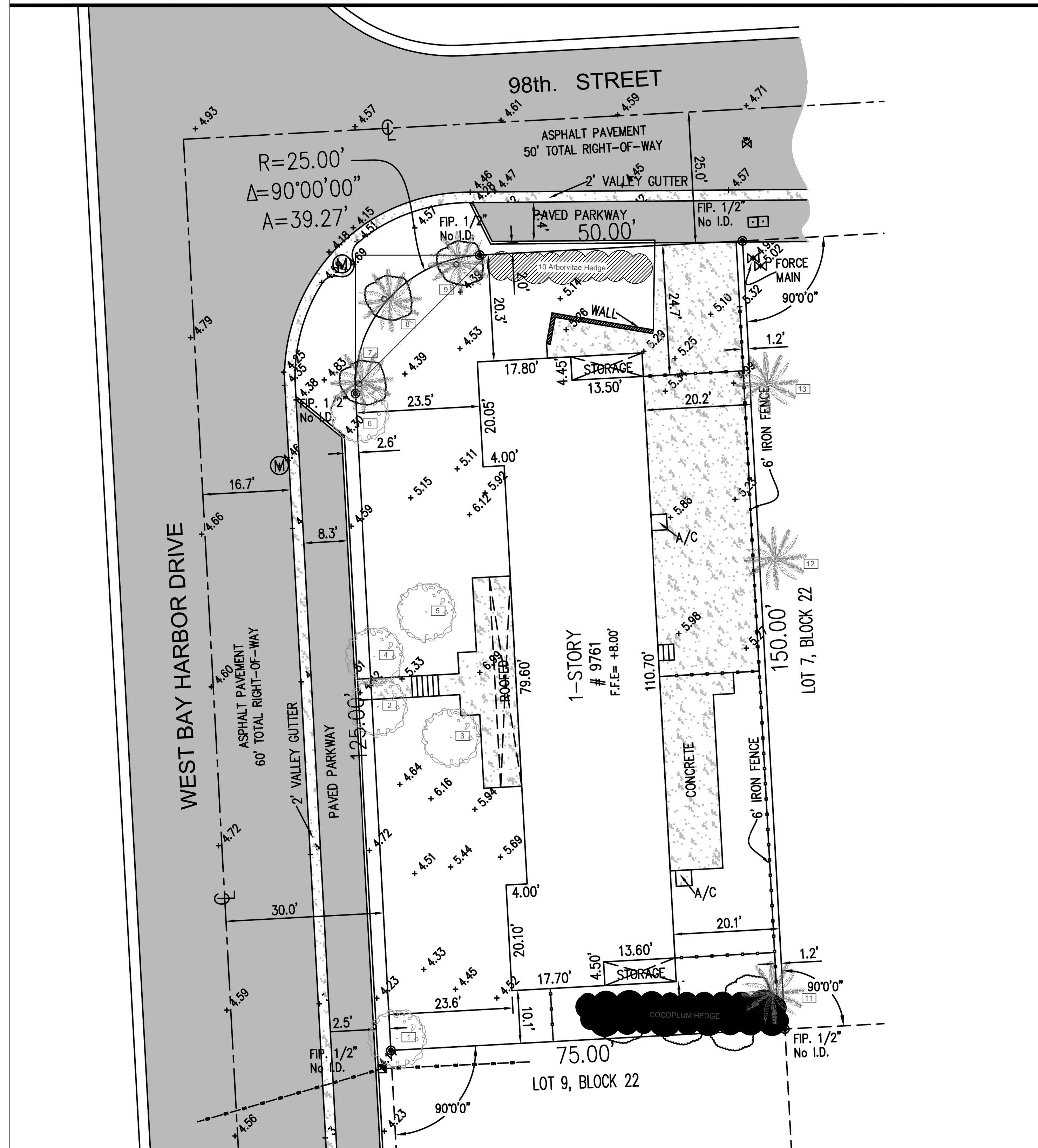
**UNLIMITED SURVEYING SERVICES, LLC**

10760 S.W. 43rd TERRACE MIAMI, FLORIDA 33165 PHONE: 786-970-7577 E-MAIL: arodriguez0525@comcast.net  
PREPARED FOR: WEST BAY HARBOR 9761 LLC TYPE OF PROJECT: SKETCH OF SURVEY

<b>FLOOD ELEVATION INFORMATION:</b>
Date of Field Work: 09-17-2024
DATE OF FIRM: 09/11/2009
COMMUNITY No: 120637/BAY HARBOR
PANEL: 0144 SUFFIX: L
ZONE: AE
BASE FLOOD ELEVATION: +8'
BENCHMARK NO: MIAMI-DADE
ELEVATION:

SIGNED: JULIO S. PITA SURVEYOR AND MAPPER  
FLORIDA LICENSE NO.: 5789  
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR/MAPPER NAMED ABOVE.





# UNLIMITED SURVEYING SERVICES, LLC

W. 43rd TERRACE MIAMI, FLORIDA 33165 PHONE: 786-970-7577 E-MAIL: arodriguez0525@comcast.net

EST BAY HARBOR 9761 LLC

TYPE OF PROJECT:

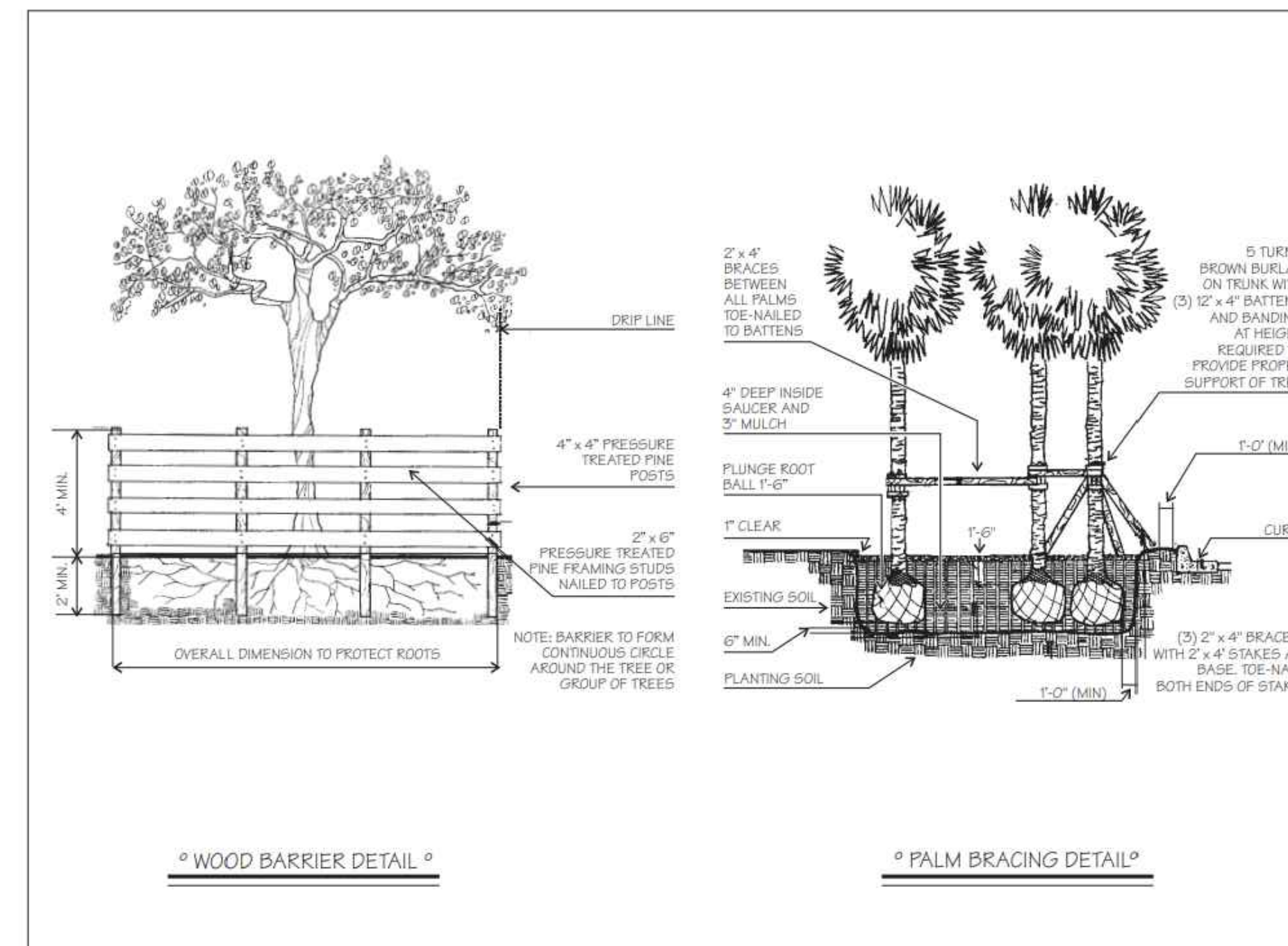
SKETCH OF SURVEY

FLOOD ELEVATION INFO	
Date of Field Work:	09-17-2009
DATE OF FIRM:	09/11/2009
COMMUNITY No:	120637/BAY
PANEL:	0144 SUFFIX: L
ZONE:	AE
BASE FLOOD ELEVATION:	+8'
BENCHMARK NO:	MIAMI-DADE
ELEVATION:	

TREE DISPOSITION LIST Rahim Vedae: Certified Arborist FL-9609A

KEY	COMMON NAME	BOTANICAL NAME	DIAMETER (INCHES)	HEIGHT (FT)	SPREAD (FT)	CANOPY (S.F.)	TPZ (FT)	CLEAR TRUNK	CONDITION (%)	DISPOSITION	COMMENT
1	Arbovitae	<i>Thuja occidentalis</i>	6	15	10	78.5	6.0		Poor	Remove	
2	Arbovitae	<i>Thuja occidentalis</i>	6	15	10	78.5	6.0		Poor	Remove	
3	Song of Jamaica	<i>(Dracaena reflexa)</i>	4	20	18	254.3	4.0		Fair	Remove	Exotic
4	Arbovitae	<i>Thuja occidentalis</i>	6	15	10	78.5	6.0		Poor	Remove	
5	Arbovitae	<i>Thuja occidentalis</i>	6	15	10	78.5	6.0		Poor	Remove	
6	Arbovitae	<i>Thuja occidentalis</i>	6	15	10	78.5	6.0		Poor	Remove	
7	Royal Palm	<i>Roystonea regia</i>	18	40	20	314.0	2.5	30	Good	Remain	
8	Royal Palm	<i>Roystonea regia</i>	20	40	20	314.0	2.5	30	Good	Remain	
9	Royal Palm	<i>Roystonea regia</i>	18	40	20	314.0	2.5	30	Good	Remain	
10	Arbovitae Hedge	<i>Thuja occidentalis</i>	6	15	10	78.5	6.0		Poor	Remove	
11	Alexander Palm	<i>Pychosperma elegans</i>	2	18	10	78.5	2.5	11	Fair	Remain	
12	Traveler Palm	<i>Ravenala madagascariensis</i>	6	30	27	572.3	6.0		Fair	Remain	Neighbors Tree
13	Montgomery Palm	<i>Veitchia arecina</i>	5	30	15	176.6	2.5	22	Fair	Remain	Neighbors Tree

TREE PROTECTION AND SUPPORT



Note: All undeveloped portions of a parcel of land shall be left undisturbed or planted with ground cover or lawn as to leave no exposed soil in order to prevent dust or soil erosion.

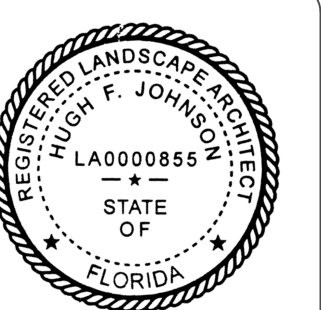
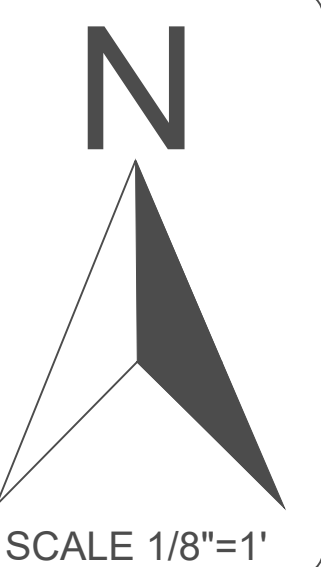
ENVIROSCAPE

4132 SW 51 ST  
Dania Beach FL 33314

BAY HARBOR MULTI FAMILY

9761 West Bay Harbor  
Bay Harbor Islands Florida

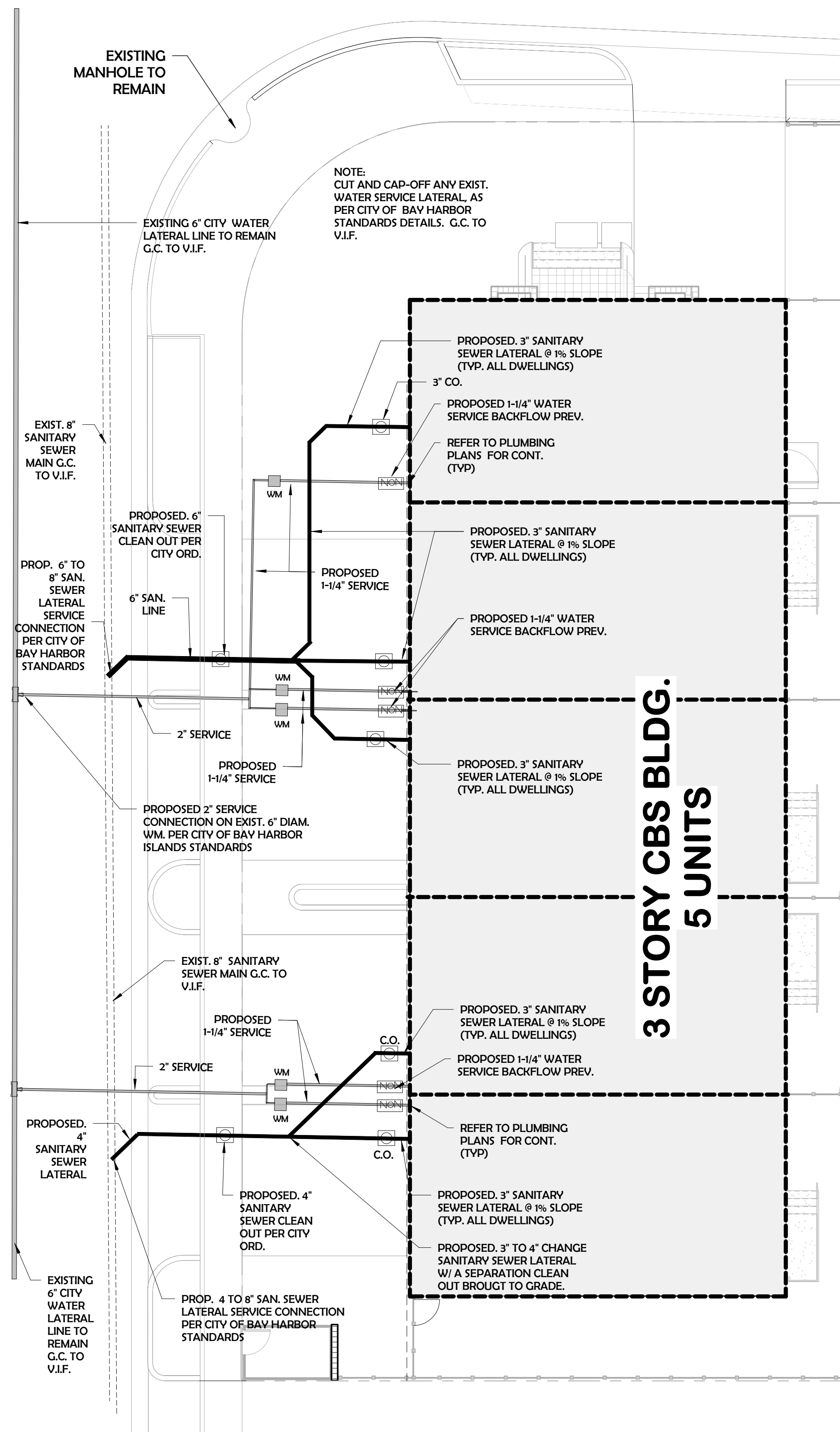
DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	A-01.d
DATE:	11/27/2024



SEAL

TD-1

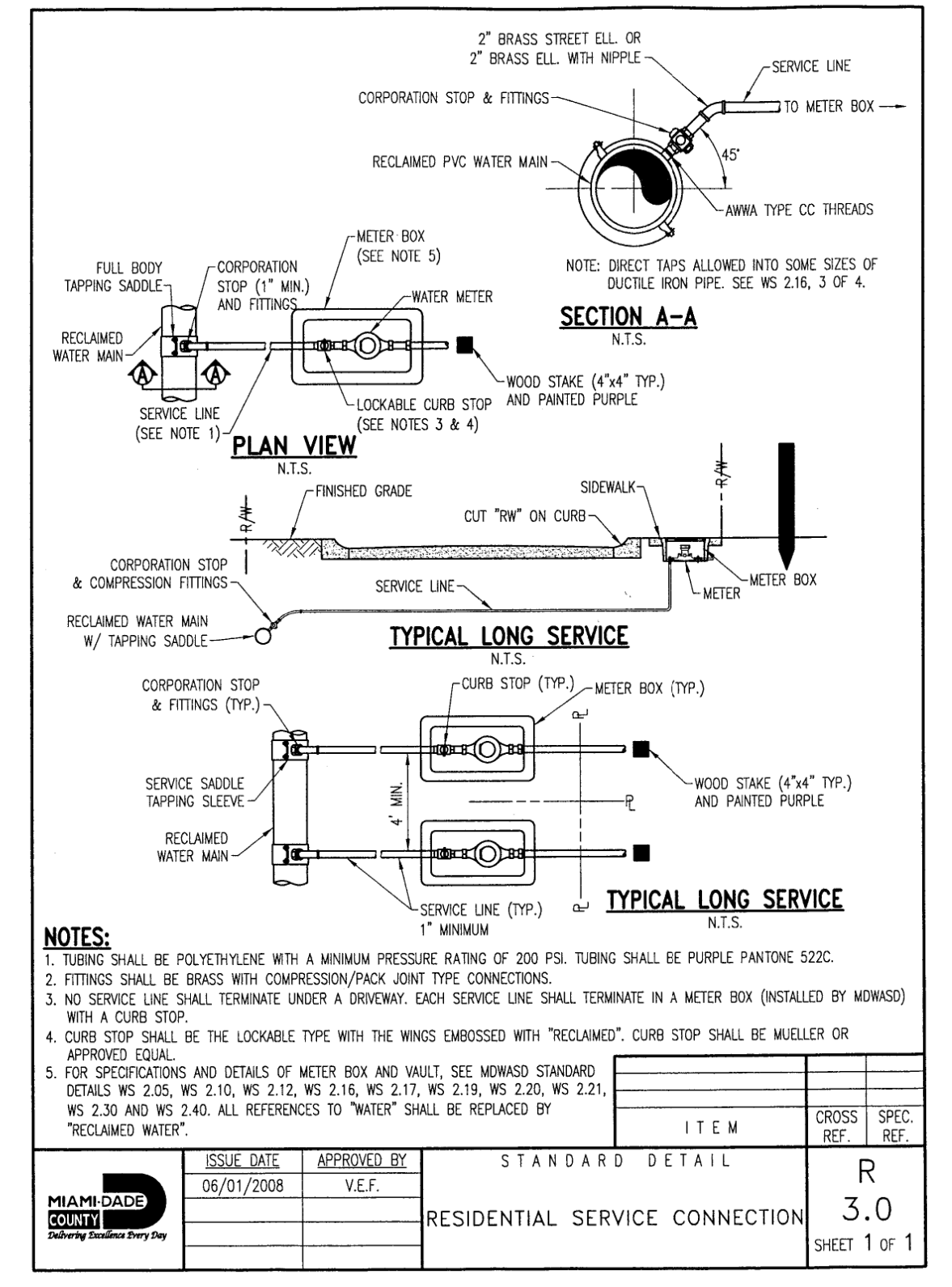
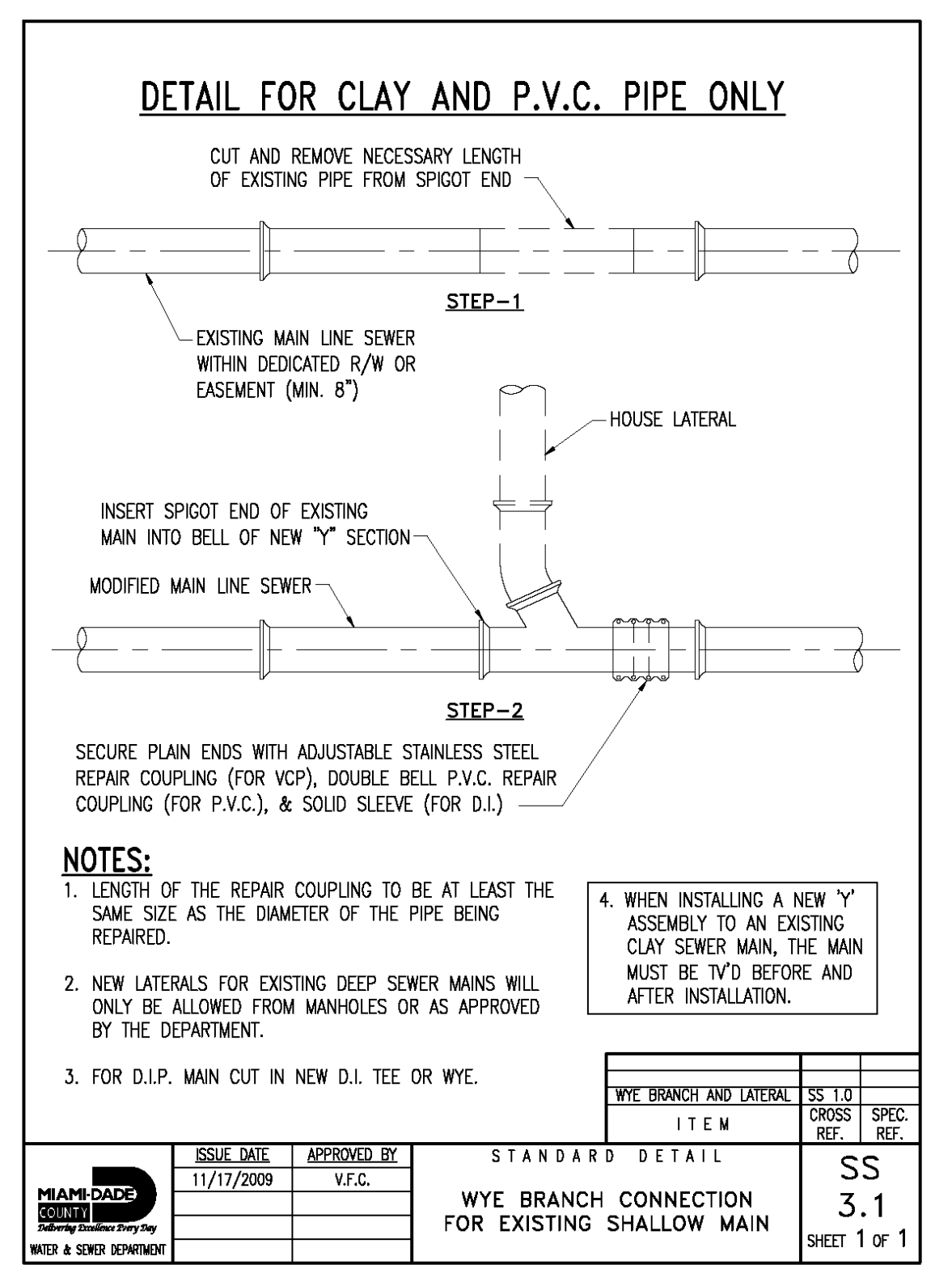
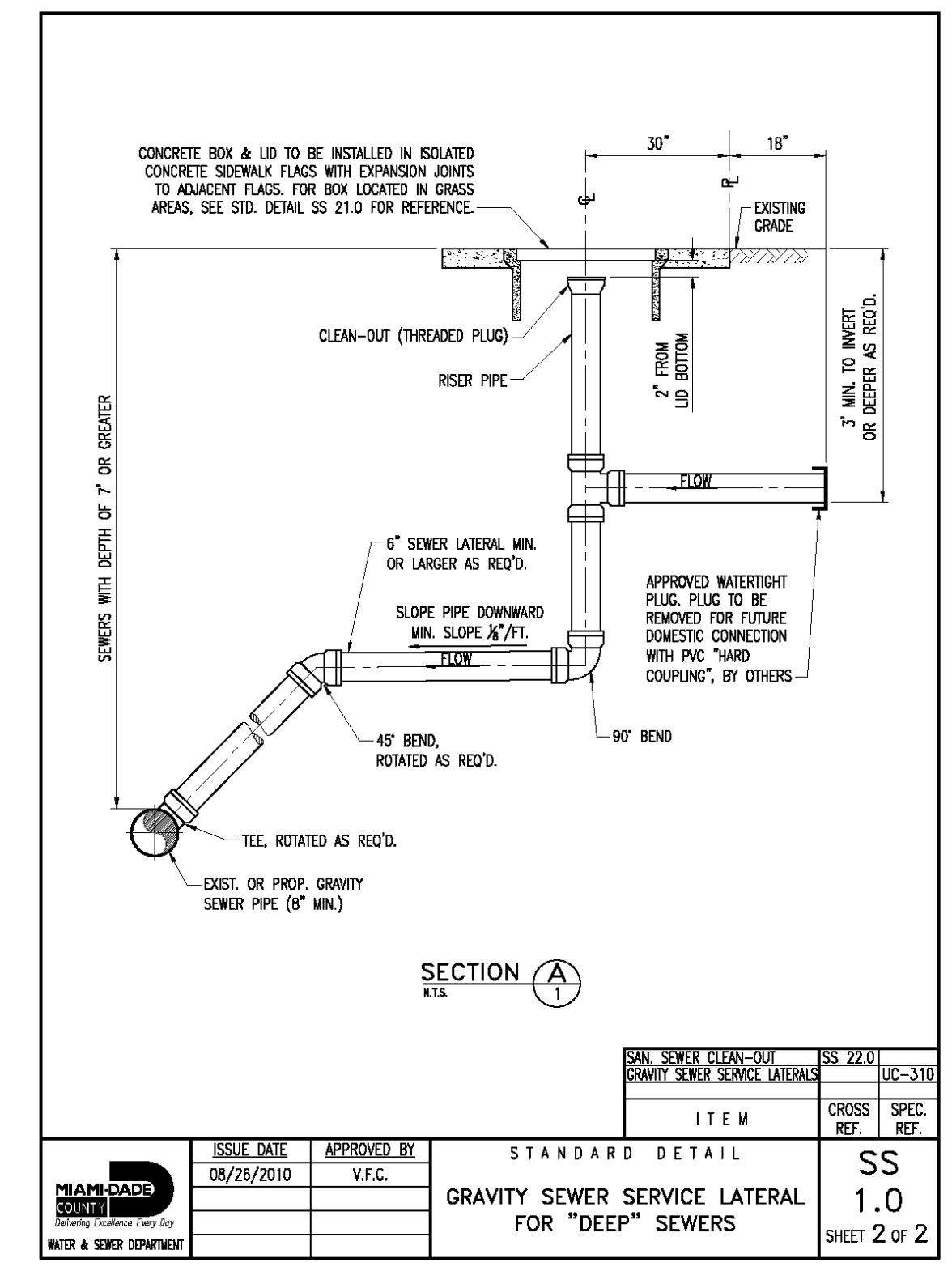
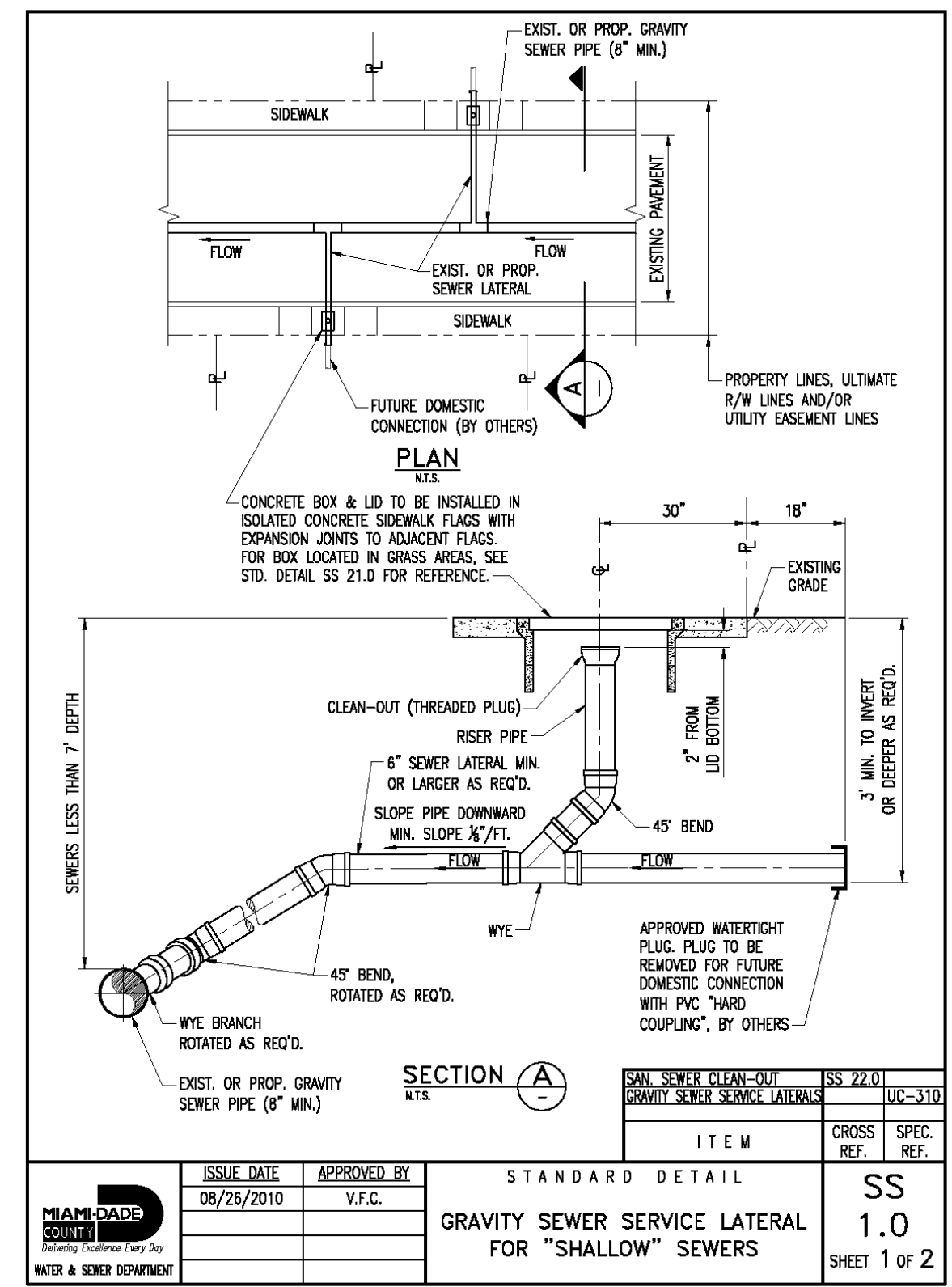
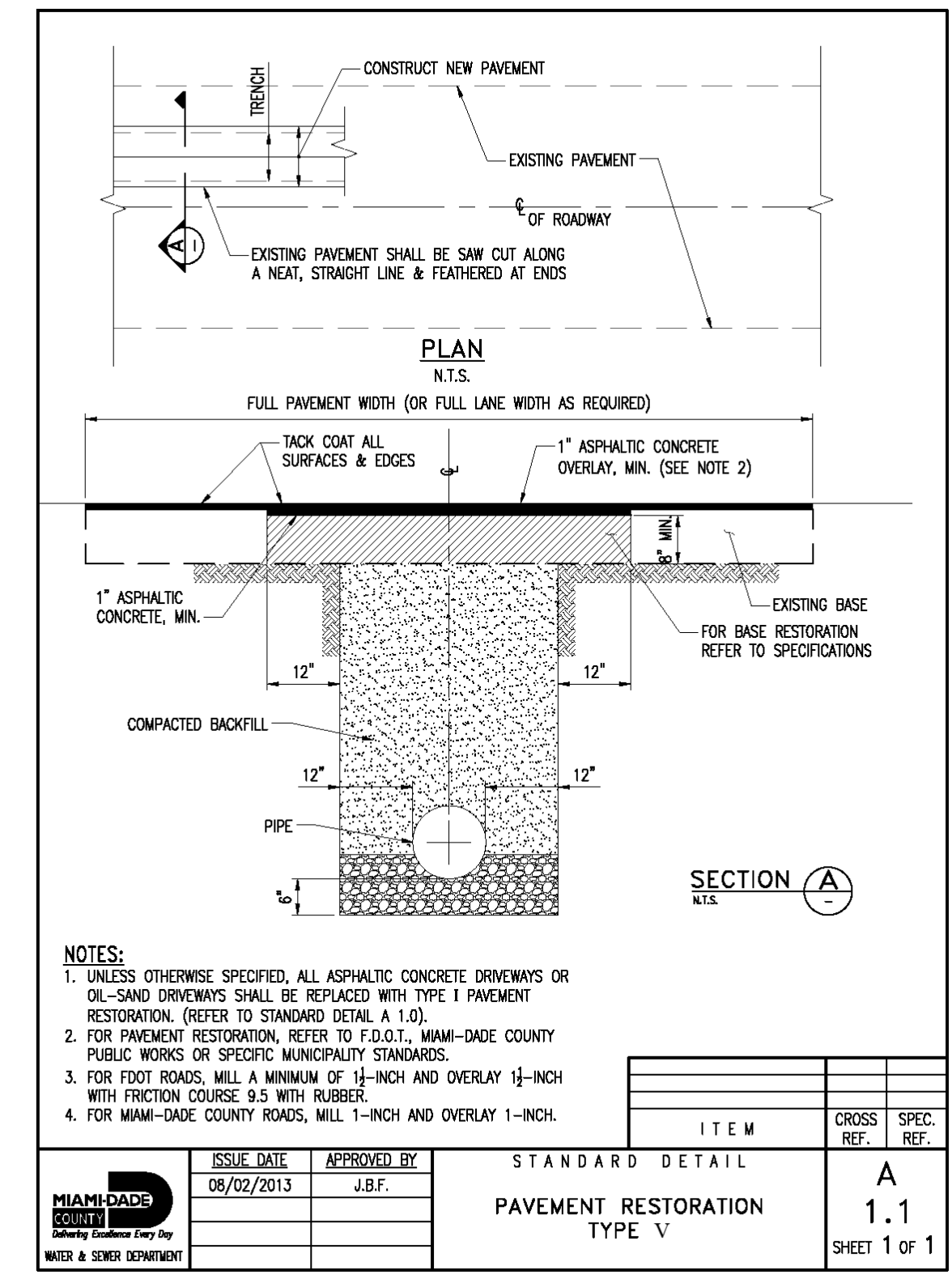
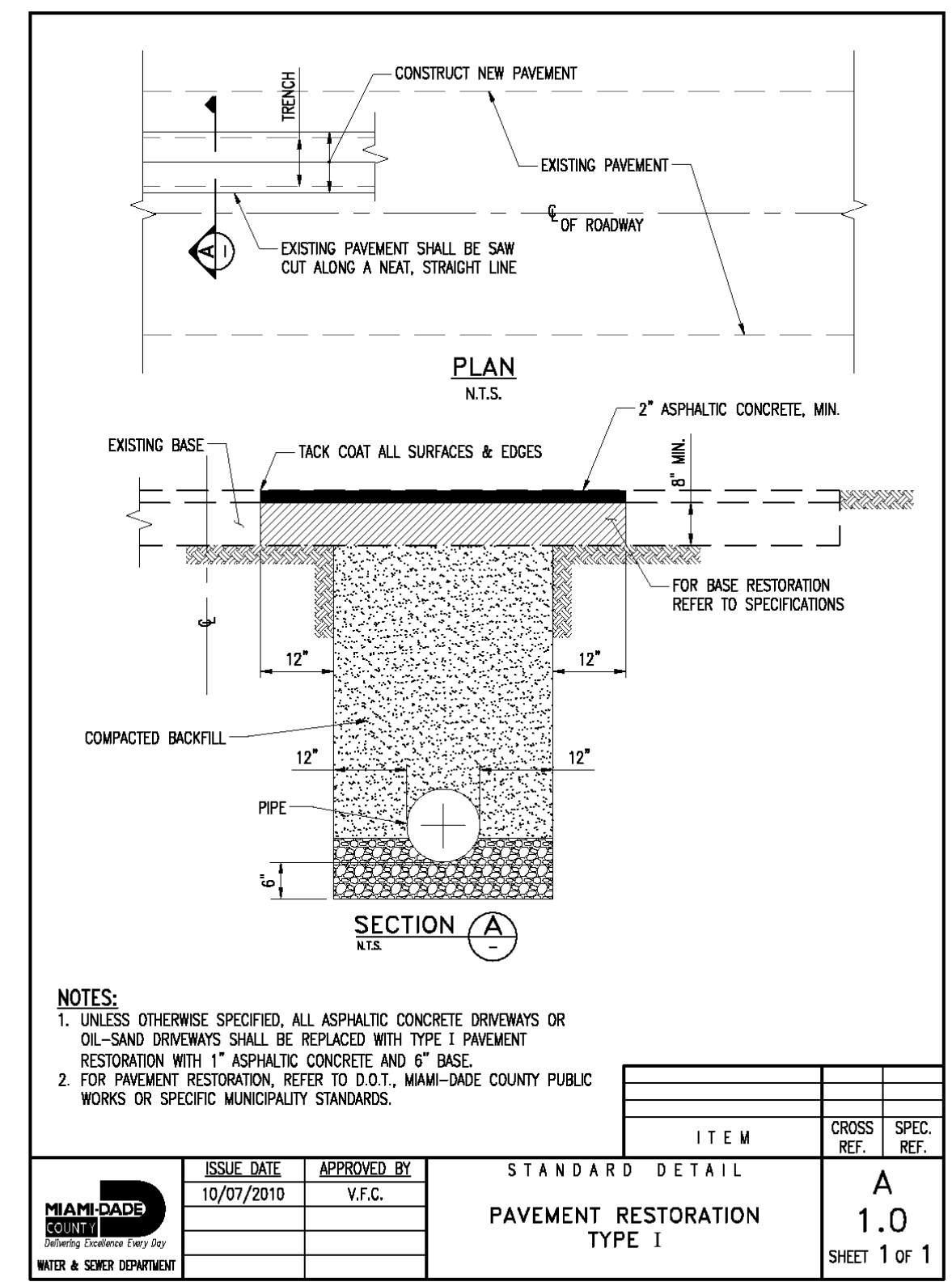
# 98 TH STREET



**3 STORY CBS BLDG.  
5 UNITS**

## WATER & SEWER CONNECTION.

1 1" = 10'-0"



NO PART OF THIS PLAN OR DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL (INCLUDING PHOTOCOPYING, RECORDING OR ANY INFORMATION RETRIEVAL SYSTEM), WITHOUT THE WRITTEN APPROVAL OF ORLANDO CASTRO ARCHITECT AND PERMANENT WORKS OF THIS PLAN MAY BE MADE WITHOUT PRIOR WRITTEN PERMISSION. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS DEPICTED ON THESE DRAWINGS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES FOUND AND ASSUMES NO LIABILITY FOR THE

**CLIENT NAME AND ADDRESS:**  
WEST BAY HARBOR 9761 LLC  
9761 WEST BAY HARBOR DRIVE  
BAY HARBOR ISLANDS, FLORIDA 33154

**PROJECT:**  
BAY HARBOR  
MULTIFAMILY

**ORLANDO CASTRO**  
ARCHITECT.  
AR98530

**ADDRESS:** 9039 WEST  
SUNRISE BLVD  
PLANTATION FL. 33322  
PH: (954) 474-0220  
EMAIL: america.gcs@hotmail.com

**JOB NUMBER:** 2024-0010  
**DATE:** 12-05-2024  
**DRAWN BY:** NPB  
**CHECKED BY:** O.C.S.

**REVISIONS**

1 CITY COMMENTS 11/26/24  
2 DRC COMMENTS 12/17/24

## WATER & SEWER CONNECTION PLAN

**SHEET**  
WS-01  
OF

ARCHITECT