

*There is a two (2) minute time limit for each speaker during public comment. Your cooperation is appreciated in observing the two (2) minute rule. When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you do not turn off your cell phone or pager and it rings, you will be asked to leave the council chambers.*

**TOWN OF BAY HARBOR ISLANDS  
MORRIS N. BROAD COMMUNITY CENTER  
1175 95TH STREET  
BAY HARBOR ISLANDS, FL 33154**

**DESIGN REVIEW BOARD**

**November 12, 2024  
7:00 PM**

**FINAL AGENDA**

**CALL TO ORDER:** Set for 7:00 p.m.

**PLEDGE OF ALLEGIANCE:**

**ROLL CALL:**

1. Request for approval for an exterior renovation for “Shani Kagan & Beaujon Davidson” located at 1231 101 Street, Lot 15 of Block 25. On April 16, 2024, June 17, 2024, and October 1, 2024, the Board deferred the project. The owners have submitted the revised plans. The resubmittal package meets minimum code requirements and appears to include the information requested by the DRB. The owners are proposing to renovate the existing exterior house facade with a raised front entry & foyer / wood-appearing stucco siding and new doors and window locations. Enclosed please find the site plan, narrative and elevations. Item #1.

*\* Staff Review:* The design meets the Town Code and was approved by Michael Miller Planning Associates.

2. Approval of Meeting Minutes:
  - A. October 1, 2024, Regular Design Review Board Meeting
  - B. August 6, 2024, Regular Design Review Board Meeting
  - C. June 17, 2024, Regular Design Review Board Meeting
  - D. May 7, 2024, Regular Design Review Board Meeting
  - E. February 13, 2024, Regular Design Review Board Meeting

**ADJOURNMENT:** Approximately 8:00 p.m.

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Design Review Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

**AGENDA ITEM REPORT**

November 12, 2024

**ITEM NUMBER: 1.**

**ITEM:** Request for approval for an exterior renovation for “Shani Kagan & Beaujon Davidson” located at 1231 101 Street, Lot 15 of Block 25. On April 16, 2024, June 17, 2024, and October 1, 2024, the Board deferred the project. The owners have submitted the revised plans. The resubmittal package meets minimum code requirements and appears to include the information requested by the DRB. The owners are proposing to renovate the existing exterior house facade with a raised front entry & foyer / wood-appearing stucco siding and new doors and window locations. Enclosed please find the site plan, narrative and elevations. Item #1.

**DESCRIPTION:**

**RECOMMENDED ACTION:**

The design meets the Town Code and was approved by Michael Miller Planning Associates.

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**FINANCIAL ANALYSIS:**

**BUDGET IMPACT:**

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Submitted By:           Ayanidys Martinez  
                                  Ayanidys Martinez

**ATTACHMENTS**

1.	1231 101 Street DRB Set 11.12.2024
2.	BHI 1231 101 St SFR Reno DRB Staff Report Sept 16 2024

# DESIGN NARRATIVE FOR EXTERIOR RENOVATION

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## GENERAL PROJECT INFORMATION

**Property Address:** 1231 101st St, Lot 15 of Block 25

**Property Owners:** Shani Kagan & Beaujon Davidson

**Project Engineers:** Arshad Vigar, P.E, and Chuni Ram

**Project Description:** Exterior Renovation

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### 1. Request for Clarification Regarding Proposed Travertine Tiles

We would like to address the Board's request for clarification regarding the proposed 48 x 48 travertine tiles on the Front Exterior Walls (South Elevation). The Board raised concerns about the installation method and the finish of the tiles in relation to the adjacent walls (East and West Elevations).

#### **Clarification:**

Once the travertine tiles are installed on the front elevation, we will apply a corner bead followed by gray stucco to both the right and left elevations. This will create a smooth transition between the walls, ensuring that the finish of the tiles is not visible from these views. Please see the attached image for further clarification.



## 2. Windows/ Front Door Details

The Board requested clarification on the window specifications for the house. The new rendering includes detailed representations of the window design, which is consistent across all windows. The front door trim and glass will match the other windows for a cohesive design.

### Clarification:

- **Material and Color of the Window Trim:** Aluminum Bermuda Bronze for a warm, classic look.

### FRAME FINISHES

*Paint finish colors may not be accurate representations.*

#### TWO-TONE PAINT AVAILABLE\*

Match the inside to your interior decor and the outside to your exterior.

\*Available on select styles only. Please check with an authorized dealer for more details.

#### STANDARD COLOR OPTIONS



BONE WHITE



BERMUDA BRONZE



CLEAR ANODIZED



PATIO WHITE



BLACK



SOUTHBEACH SILVER



VELVET GRAY



SOUTHERN BRONZE

#### WOODGRAIN COLOR OPTIONS



HAZELNUT BROWN



MAHOGANY RED



WALNUT BROWN

- **Color of the Window Glazing:** Green glass low E 366, providing UV protection and privacy.

### GLASS TINTS

*Glass tint colors may not be accurate representations.*

#### GLASS OPTIONS

- Large variance of colors
- Available in Low-E
- Insulated (includes airspace for energy efficiency)
- Single glazed



CLEAR



BRONZE



GRAY



GREEN



AZURE BLUE



SOLARCOOL® BRONZE



SOLARCOOL® GRAY



GRAYLITE® II

**Front Window Alignment:** The windows in the 3D image are set back slightly from the front wall, adding depth and character to the facade.

### **3. Landscaping**

The Board noted that the previous rendering did not reflect the approved landscaping design as indicated in L1.

#### **Clarification:**

We have updated the renderings to incorporate the approved landscaping features, as can be seen in the latest version (A3).

### **4. Gate Material and Color:**

The Board requested information about the gate.

#### **Clarification:**

The gate is positioned only in the front elevation and extends to the right and left elevations, but it does not surround the perimeter of the house. It is the original structure and currently made of white aluminum. We plan to repaint it black using Rust-Oleum Professional 400 VOC flat black exterior oil-based industrial enamel paint to better align with our design vision.

We appreciate the Board's guidance and look forward to discussing these details further. Thank you.

**PROPERTY ADDRESS AND FOLIO:**  
 1231 101ST STREET  
 BAY HARBOR ISLANDS, FL 33154  
 FOLIO : 13-2227-001-5060

**LEGAL DESCRIPTION:**  
 BAY HARBOR ISLAND PB 46-5  
 LOT 15 BLK 25  
 LOT SIZE 80,000 X 125  
 OR 19341-2602 10 2000 1

**ZONING INFORMATION:**  
 ZONING DISTRICT..... RD  
 PRIMARY LAND ZONE.....0100 SINGLE FAMILY - GENERAL  
 PRIMARY LAND USE.....0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT  
 BEDS/BATHS/ HALF.....5 / 5 / 0  
 FLOORS..... 1  
 LIVING UNITS.....1  
 ACTUAL AREA..... 3,624 Sq. ft  
 LIVING AREA..... 3,239 Sq. ft  
 ADJUSTED AREA..... 2,989 Sq. ft  
 LOT SIZE..... 10,000 Sq. ft = 0.23 acre  
 YEAR BUILT/ YEAR EFFECTIVE..... MULTIPLE

**DESIGN CRITERIA:**  
 GOVERNING CODES: FLORIDA BUILDING CODE 2020  
 7th EDITION, ASCE 7-16  
 WIND SPEED: 175 MPH  
 EXPOSURE: C  
 ALTERATION LEVEL: II

**SCOPE OF WORK: "interior & amp; Extrior Remodeling"**  
**BUILDING/DEMOLITION:**  
 • RELOCATED EXISTING LAUNDRY  
 • CHANGE LIVING ROOM TO NEW BEDROOM AND BATHROOM  
 • REMODEL MAST. BATHROOM AND WALKING CLOSET  
 • REMODEL KITCHEN ROOM  
 • REMOVE AC UNIT #3 AND MINI SPLIT.  
 • REMODEL BEDROOM #1 AND BATHROOM  
 • REMODEL BEDROOM #3, REMOVE EXISTING WATER HEATER AND ADD THREE NEW TANKLESS WATER HEATER.  
 • RELOCATED AC UNIT #1  
 • REMODEL BEDROOM#2.  
 • REMODEL COVERED CRYSTAL ROOF IN THE ENTRY.  
**ELECTRICAL**  
 • EXISTING ELECTRICAL LAYOUT TO CATER THE NEW LAYOUT  
**PLUMBING**  
 • EXISTING AND NEW PLUMBING FIXTURES, WATER LINES AND SANITARY LINES.  
**MECHANICAL**  
 • EXISTING MECHANICAL LAYOUT TO CATER THE NEW LAYOUT

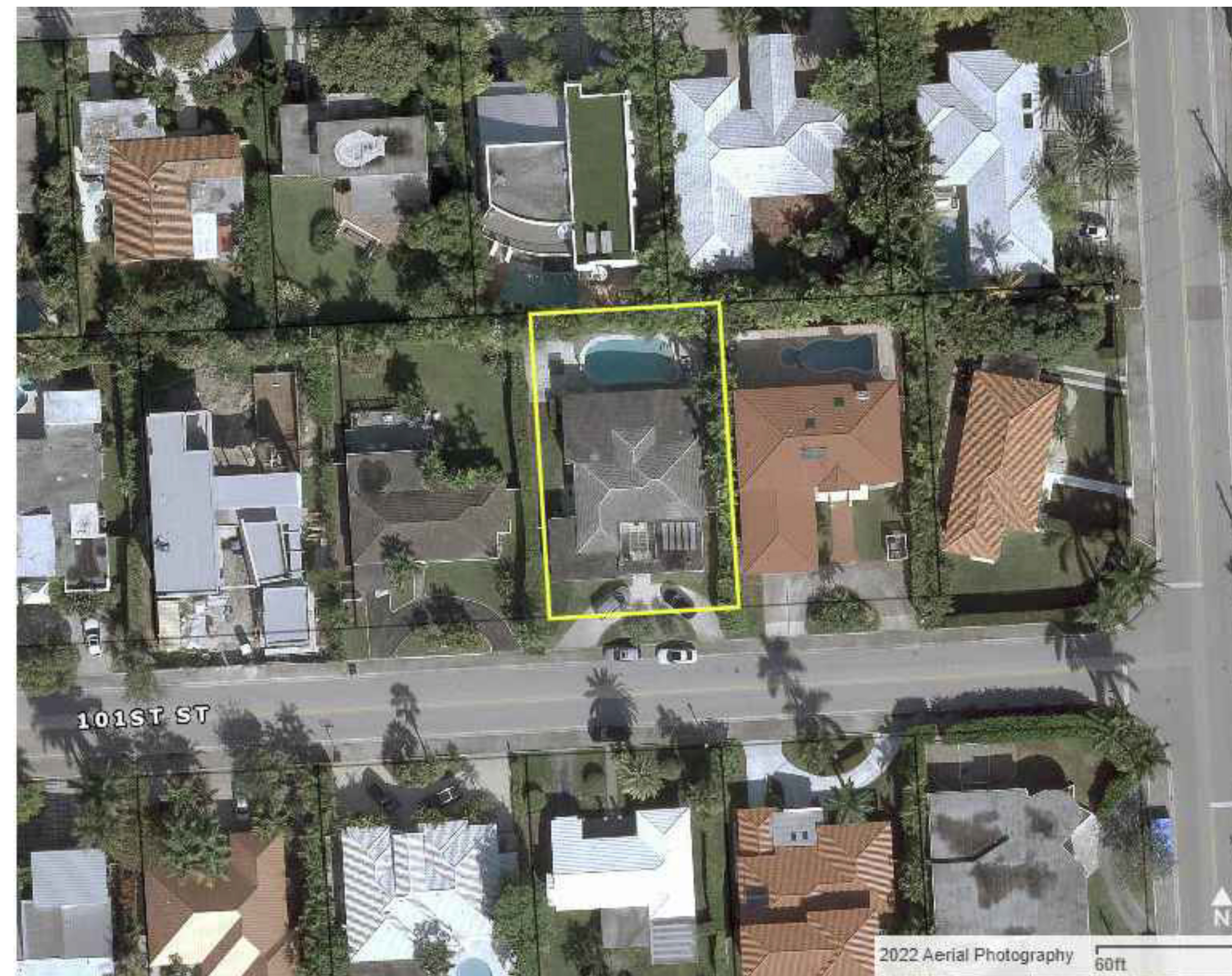
**FLOOD INFORMATION:**  
 FLOOD ZONE: AE  
 ELEVATION: 8.0  
 COMMUNITY: 120637  
 PANEL: 12086C0144  
 DATE OF FIRM: 09-11-2009

**INDEX OF DRAWINGS**  
 SP-1 : SITE & ZONING DETAILS  
 SP-2 : EXISTING SITE PLAN  
 SP-3 : PROPOSED SITE PLAN  
 SP-3.1: CROSS-SECTION ELEVATIONS  
 L1: LANDSCAPE PLAN  
 A-1: EXISTING/DEMOLITION FLOOR PLAN  
 A-1.1: EXISTING ELEVATIONS PLAN  
 A-2: PROPOSED FLOOR PLAN  
 A-2.1: PROPOSED ELEVATIONS PLAN  
 A-2.2: CONTEXT ANALYSIS PLAN  
 A-3: BUILDING ARTICULATIONS ANALYSIS PLAN  
 E-1: PROPOSED ELECTRICAL LAYOUT  
 E-2: PROPOSED ELECTRICAL LAYOUT 2  
 M-1: PROPOSED MECHANICAL LAYOUT  
 M-2: PROPOSED MECHANICAL LAYOUT 2  
 P-1: PROPOSED PLUMBING LAYOUT  
 P-2: PROPOSED PLUMBING LAYOUT 2

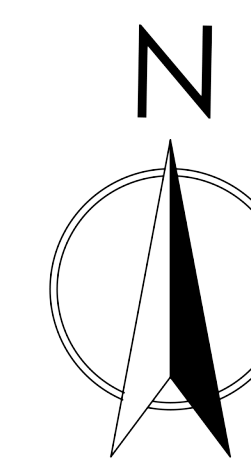
**LEGAL DESCRIPTION:**  
 LOT 15, IN BLOCK 25, OF "BAY HARBOR ISLAND", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 46, AT PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND ANGLES AND ALL OTHER EXISTING CONDITIONS PRIOR TO COMMENCING ANY WORK CONTRACTOR TO ALSO VERIFY AND APPROVE ALL INFORMATION ON DRAWINGS. ACCEPTANCE OF THESE PLANS CONSTITUTES APPROVAL. PLEASE NOTIFY ENGINEER BY CERTIFIED MAIL OF ANY CONFLICTS OR DISCREPANCIES. IF ANY.
2. CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN PLUMPNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL OBTAIN FROM ALL SUBCONTRACTORS THE FINAL APPROVED SITE AND LOCATION OF ALL OPENINGS TO BE PROVIDED FOR RESPECTIVE TRADES. HE SHALL BE RESPONSIBLE FOR LOCATION AND DETAILS.
4. ALL CONCRETE FOR FOUNDATIONS & SLABS ON GRADE SHALL REACH 2500 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS. AND ALL COLUMNS, GROUTED CELLS, GLASS ABOVE GRADE AND TIE BEAMS SHALL REACH 3000 P.S.I. COMPRESSIVE STRENGTH MINIMUM AT 28 DAYS UNLESS OTHERWISE NOTED.
5. CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR VERIFYING REQUIRED GRADE & FINISHED FLOOR ELEVATIONS WITH RESPECT TO DADE COUNTY FLOOD CRITERIA, EXISTING CROWN OF ROAD ELEVATIONS, FEDERAL FLOOD CRITERIA OR ANY OTHER GOVERNING BODY.
6. OWNER AND CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING, BY CERTIFIED MAIL UPON COMMENCEMENT OF PROJECT.
7. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR INVESTIGATION IN REFERENCE TO WHETHER STRUCTURE CAN BE BUILT ON SITE. PAYMENT OF THESE DRAWINGS CONSTITUTES ACCEPTANCE & AGREEMENT WITH THE FOLLOWING STATEMENT: NO PARTY SHALL INITIATE DELAY CLAIMS AGAINST ARCHITECT LIABILITIES SHALL BE LIMITED TO FEES PAID TO THE DESIGN PROFESSIONAL.
8. PLEASE NOTE -IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS.



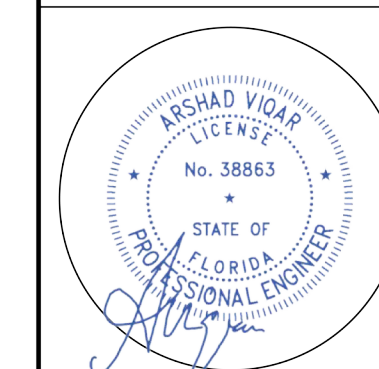
**LOCATION**  
 N.T.S.



REVISION NO.	DATE
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**Arshad Viqar**

Digitally signed by Arshad Viqar  
 Date: 2024.31.10 12:52:17 -04'00'



CONSULTING ENGINEER:  
**ARSHAD VIQAR, P.E.**  
 FL. LIC. No. 38863  
 12260 SW 8th ST Suite #224  
 MIAMI, FL 33184  
 PHONE : (786) 502-2096

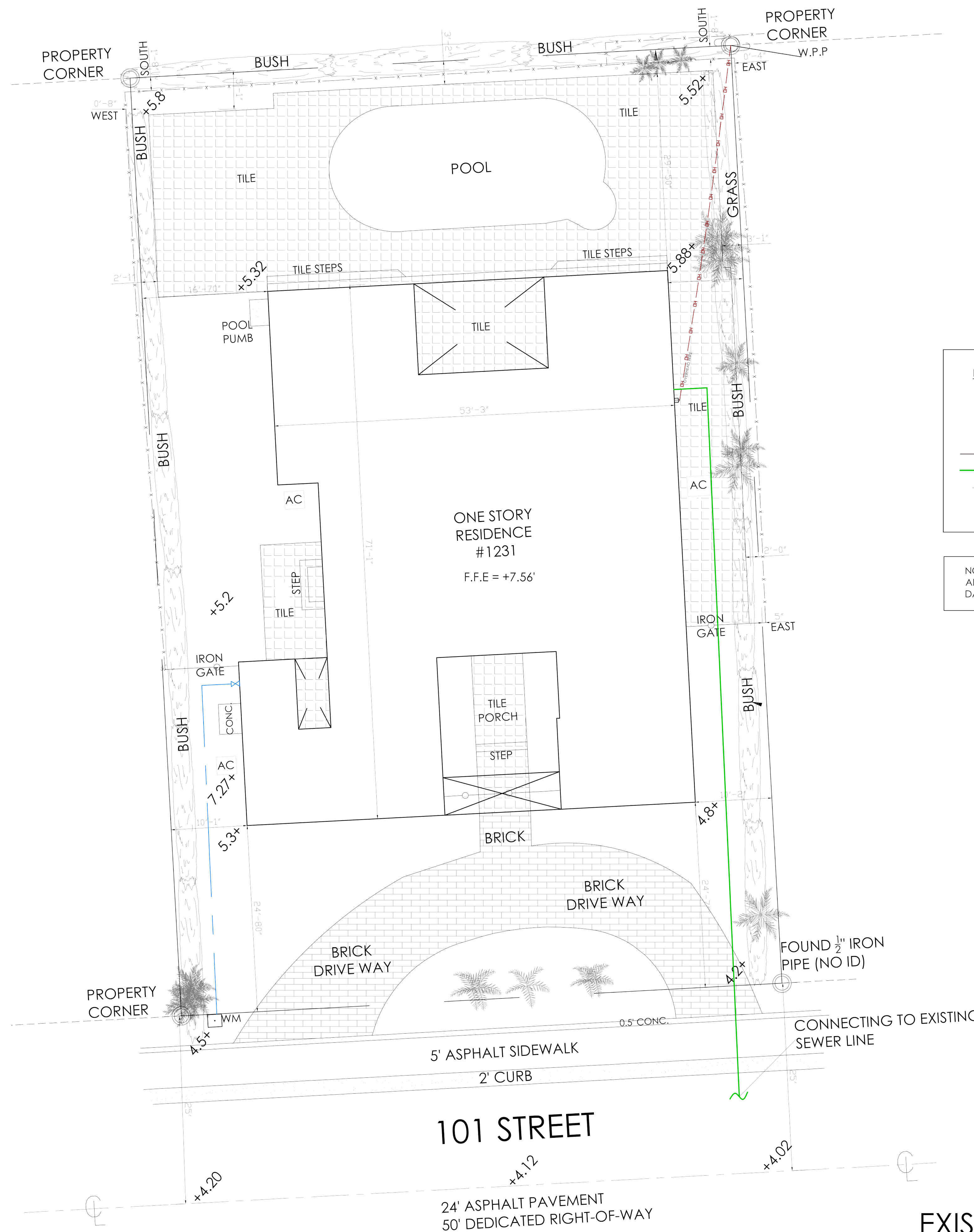
**SECURITY NOTES:** APPLICABLE ITEMS OF CHAPTER 30 OF THE F.B.C. INTRUSION AND BURGLARY SECURITY.

1. ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LB. APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN METRO CODE 36C.
2. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6,000 POSSIBLE KEY CHANGES OR LOCKING AUXILIARY.
3. THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIRS OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 3/8" MIN. THROW BOLTS WITH INSERTS.
4. HINGES ON EXTERIOR OUT-SWINGING DOORS SHALL HAVE NON-REMOVABLE PINS.
5. JAMBS OF ALL EXTERIOR OFFSET TYPE IN-SWING DOORS BE RABBETED, OR OF SIMILAR FABRICATION, TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
6. SINGLE, SWINGING, EXTERIOR DOORS, IF USED SHALL BE SOLID CORE OF NO LESS THAN 1-3/4" THICK.
7. GLASS AND EXTERIOR DOOR SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE'S STANDARD 2911.
8. VISION PANELS IN EXTERIOR DOORS OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOOSE AND SWINGING DOORS SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE'S - STANDARD 2911
9. SLIDING GLASS DOORS AND WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IT LOCKED POSITION AND SO AS TO COMPLY WITH ARCHITECTURAL ALUMINUM MANUFACTURES ASSOCIATION STANDARDS FOR FORCED ENTRY RESISTANCE, AAMA 1303.3.
10. FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A DOOR SCOPE OR VISION PANEL.
11. DOOR AND WINDOWS BY YALE OGRON PRODUCTS (OR EQUAL).

**INTERIOR & AMPL. EXTERIOR REMODELING**  
 1231 101 ST  
 BAY HARBOR ISLANDS, FL 33154

DRAWN BY: RBF  
 CHECKED BY:  
 DATE: 03/18/24  
 SCALE:  
 SHEET:

**SP1**

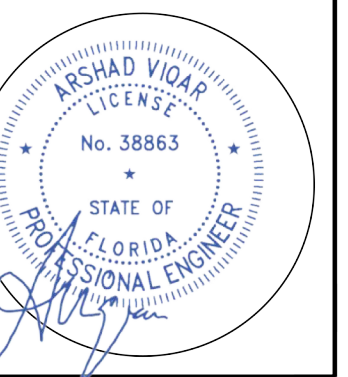


**EXISTING SITE PLAN**  
1/8"=1'-0"

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**Arsha  
d  
Viqar**

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Arshad Viqar  
Date:  
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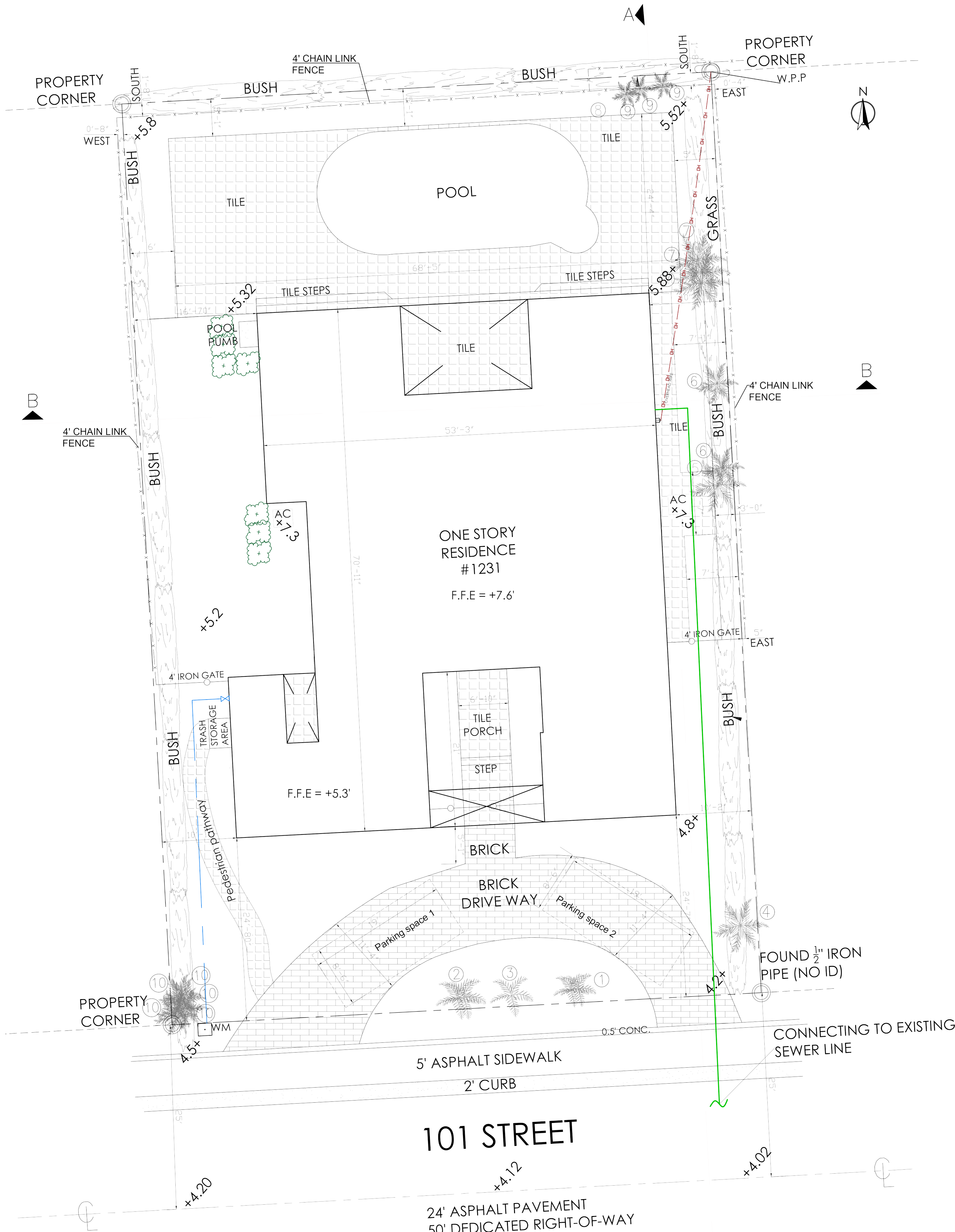


CONSULTING ENGINEER:  
**ARSHAD VIQAR, P.E.**  
FL. LIC. No. 38863  
12260 SW 8th ST Suite #224  
MIAMI, FL 33184  
PHONE : (786) 502-2096

**INTERIOR & AMPL  
EXTERIOR REMODELING**  
1231 101 STREET  
BAY HARBOR ISLANDS, FL 33154

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DATE: 03-18-24  
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**SP2**



**LEGEND OF SYMBOLOGY**

- ELECTRIC METER
- UTILITY POLE
- PROPERTY LINE
- WATER LINE
- ELECTRICAL LINE
- SEWER LINE
- CHAIN LINK FENCE
- WATER METER
- IRON GATE

**NOTE:**  
ALL ELEVATIONS ARE IN VERTICAL DATUM NGVD 1929

- NOTES:**
- 1- EXISTING DRIVEWAY IN LIGHT GREY BRICK PAVERS
  - 2- EXISTING POOL DECK IN TRAVERTINE TILE SAND COLOR.
  - 3- EXISTING WALKWAYS IN TRAVERTINE TILE SAND COLOR.
  - 4- NEW PEDESTRIAN PATHWAY IN LIGHT GREY BRICK PAVERS.
  - 5- EXISTING GATES ON THE SIDE OF THE HOUSE REQUIRED TO BE SELF-LOCKING (CHILD SAFETY-STATE LAW).

**LOT COVERAGE CALCULATION**

LOT SIZE= 10,000 SF= 100%		
ALL UNDER ROOF	3792.74 SF	37.92%
GREEN SPACE= ALL UNDER ROOF * 100 / LOT SIZE		
= 3,792.74 * 100 / 10,000		
= 37.92 % OF LOT COVERAGE		

**LANDSCAPE OPEN SPACE CALCULATION**

LOT SIZE= 10,000 SF= 100%		
a) ALL UNDER ROOF	3792.74 SF	37.92%
b) DRIVEWAY	743 SF	7.43%
c) WALKWAYS	304.3 SF	3.04%
d) POOL	1,233.3 SF	12.33%
e) POOL DECK	428.8 SF	4.28%
f) GREEN SPACE	3,497.9 SF	35%
Landscape open space = (lot size -a-b-c-d-e) * 100 / lot size		
= (10,000-3792.74-743-304.3-1233.3-428.8) * 100 / 10,000		
= 3,497.9 * 100 / 10,000		
= 35% (landscape open space)		

**FRONT YARD CALCULATION**

FRONT YARD AREA= 80' Ft * 24.75' Ft= 1,980 SF= 100%		
DRIVEWAY AREA	743 SF	37.53%
GREEN SPACE= (FRONT YARD AREA- DRIVEWAY AREA) * 100 / FORNT YARD AREA		
= (1980 - 743) * 100/ 1980		
= 62.47 % OF GREEN SPACE IN FRONT YARD		

**TREE INVENTORY**

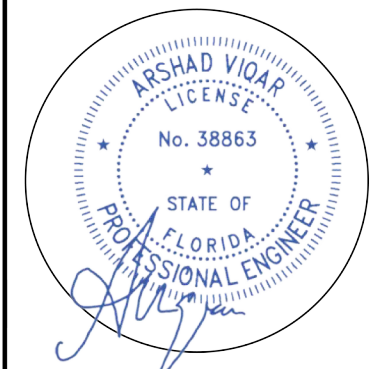
NO.	TREE	DBH (INCHES)	HEIGHT (FEET)	WIDTH (FEET)
1	PALM(2)	4.2	6	5
2	PALM(2)	4.2	8	6
3	PALM	4.2	8	6
4	PALM	3.6	16	8
5	PALM	4.8	24	8
6	PALM	3.6	16	6
7	PALM	5.4	20	8
8	PALM	3.6	16	0
9	PALM	3.6	16	4
10	PALM	3.6	17	6

**PROPOSED SITE PLAN**  
1/8"=1'-0"

REVISION NO.	DATE
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**Arsha d Viqar**

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Date: 2024.31.10 14:43:58 -04'00'



**CONSULTING ENGINEER:**  
**ARSHAD VIQAR, P.E.**  
FL. LIC. No. 38863  
12260 SW 8th ST Suite #224  
MIAMI, FL 33184  
PHONE : (786) 502-2096

**INTERIOR & AMPL EXTERIOR REMODELING**  
1231 101 STREET BAY HARBOR ISLAND  
MIAMI, FL 33154

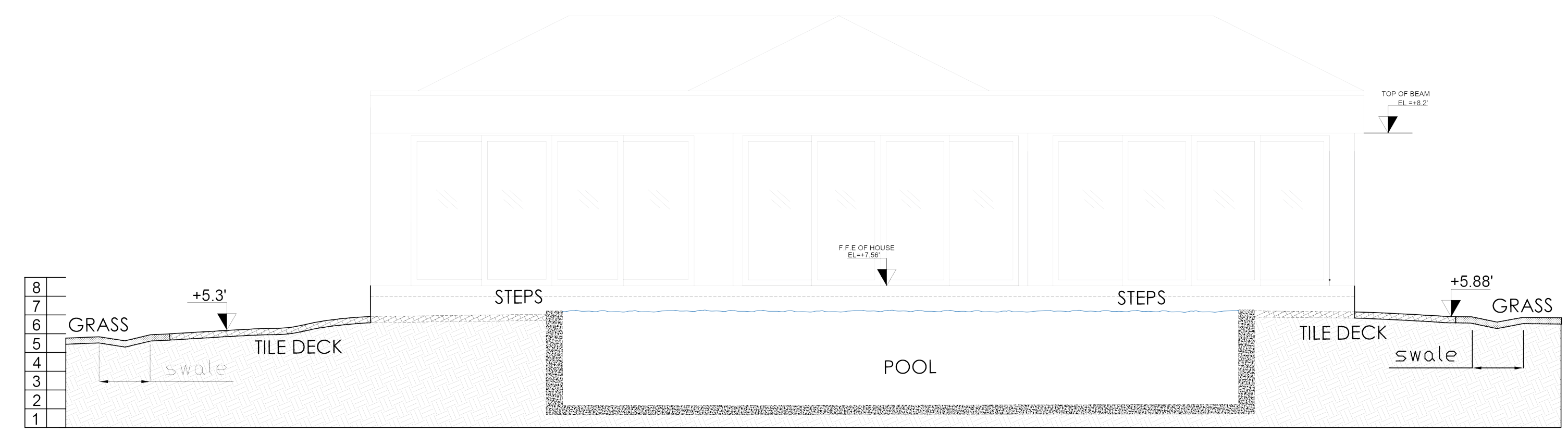
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**SP3**

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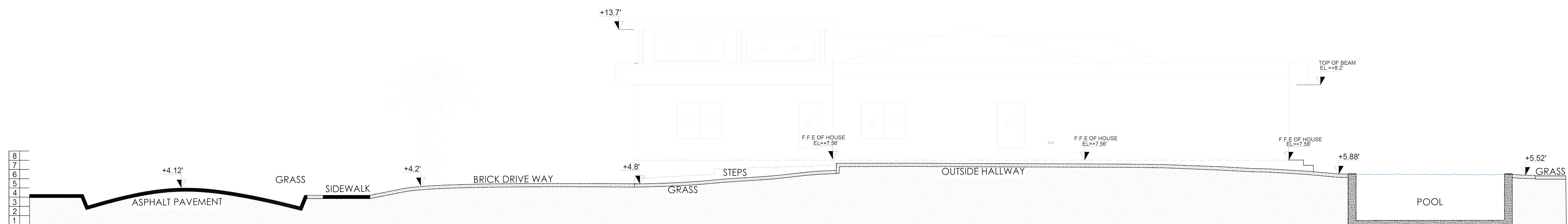
**Arshad Viqar**

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Date: 2024.31.10 12:58:45 -04'00'



NOTE:  
FLOOD ZONE: AE  
BFE: 8.0'

**SECTION ELEVATION A.A**  
SCALE: 3/16"= 1'-0"



**SECTION ELEVATION B.B**  
SCALE: 3/16"= 1'-0"

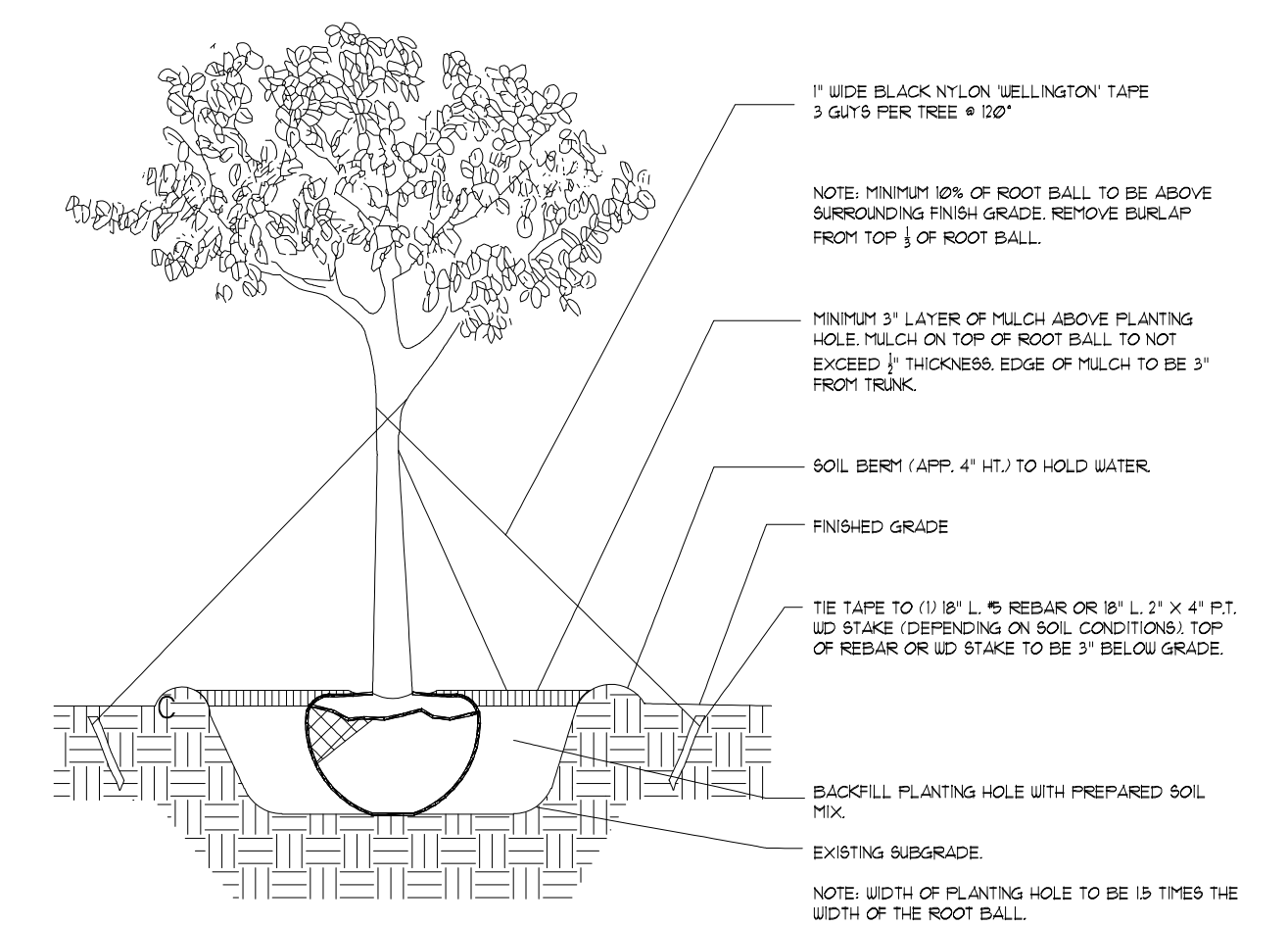
CONSULTING ENGINEER:  
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**INTERIOR & AMPL. EXTERIOR REMODELING**  
1231 101 ST  
BAY HARBOR ISLANDS, FL 33154

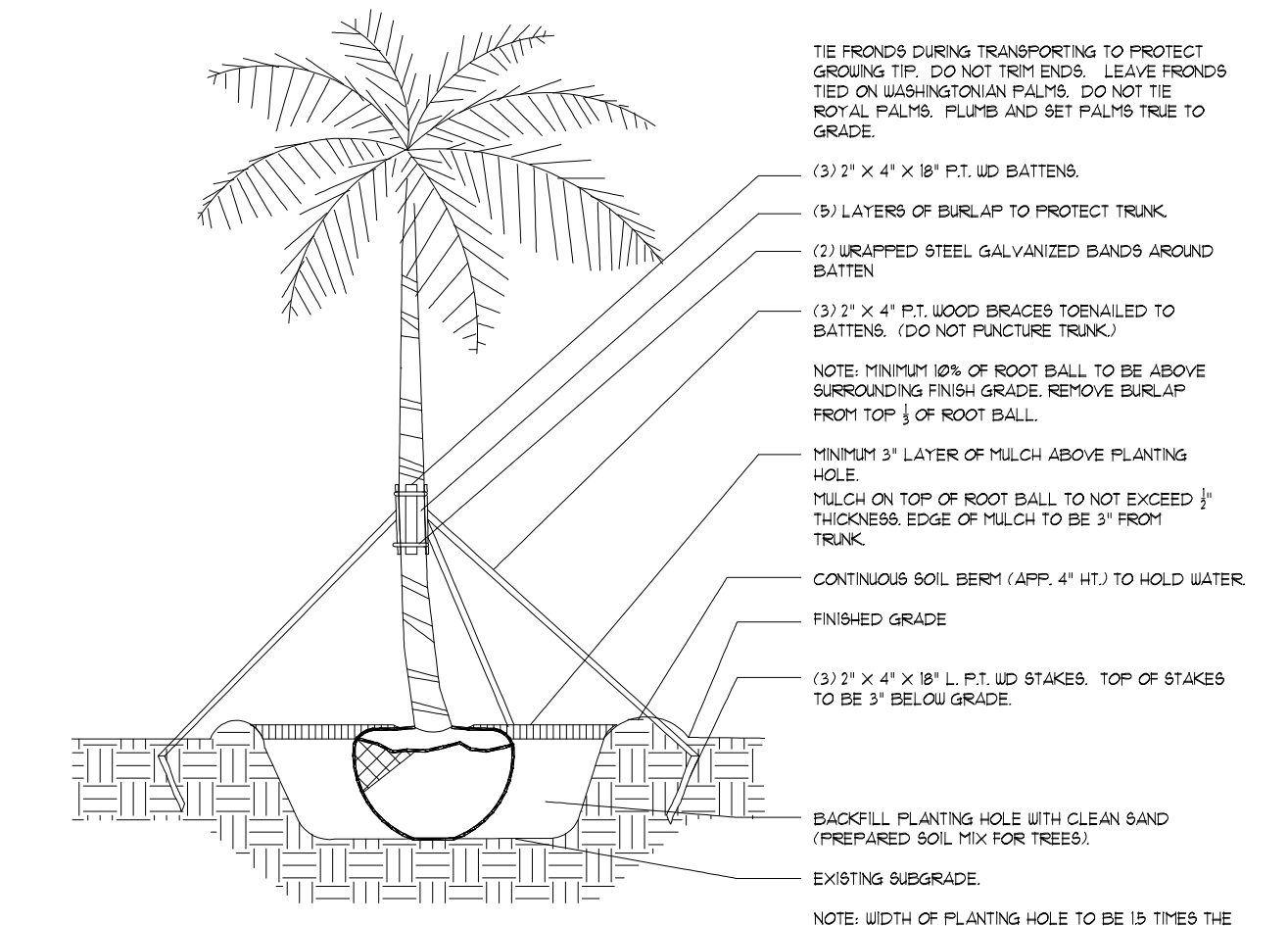
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CHECKED BY:  
DATE: 04-04-24  
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**SP3.1**

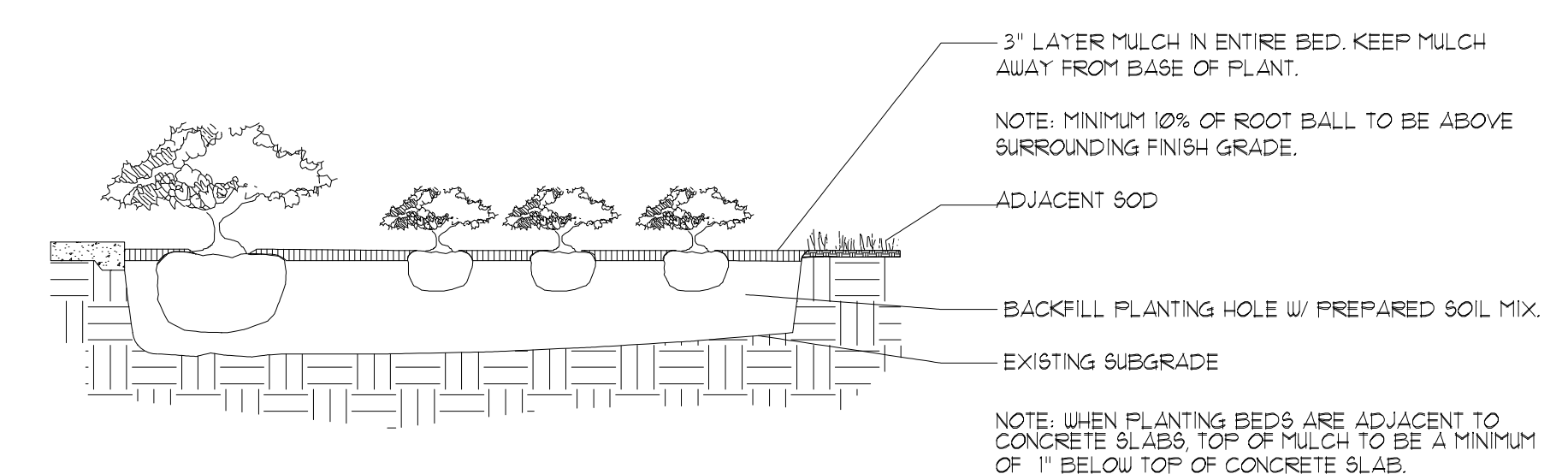
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TREE PLANTING DETAIL N.T.S.  
TREES WITH 3" CALIPER OR LESS



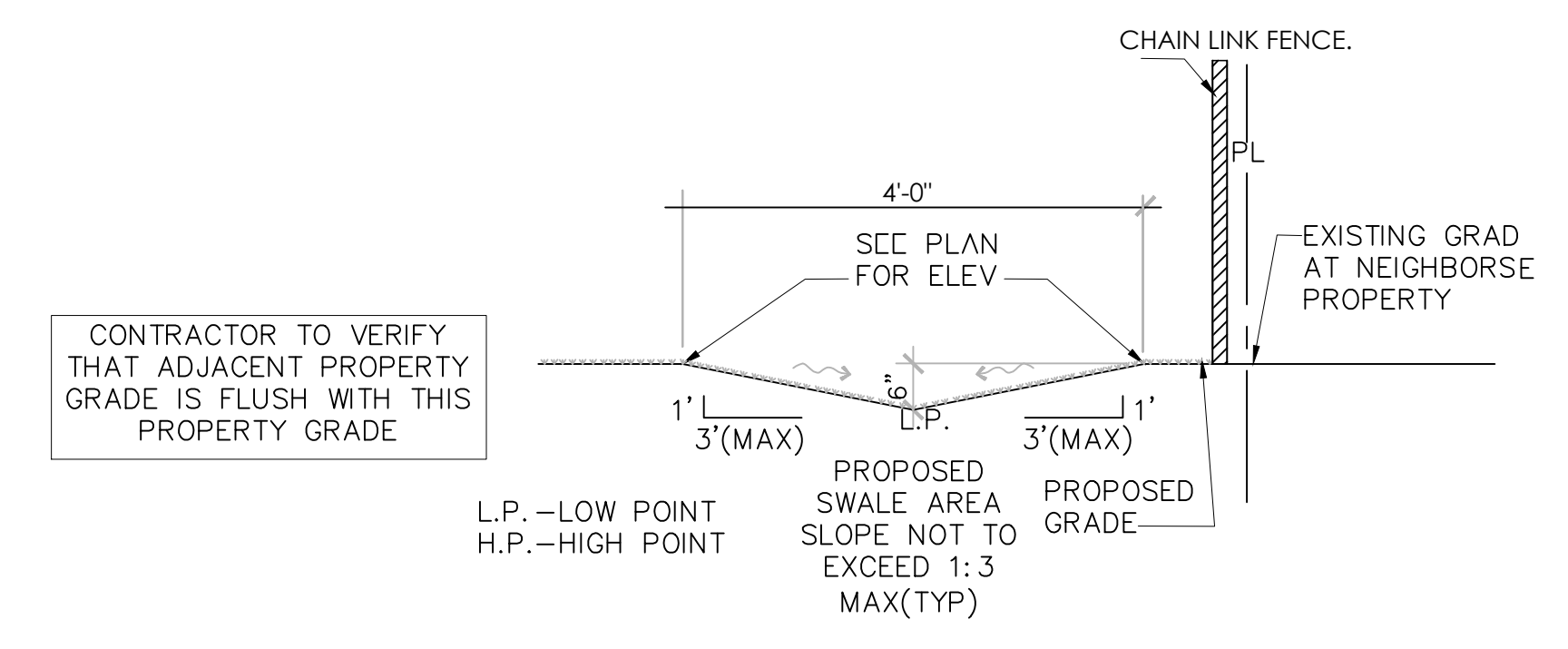
PALM PLANTING DETAIL N.T.S.  
LARGE TREE PLANTING DETAIL SIMILAR



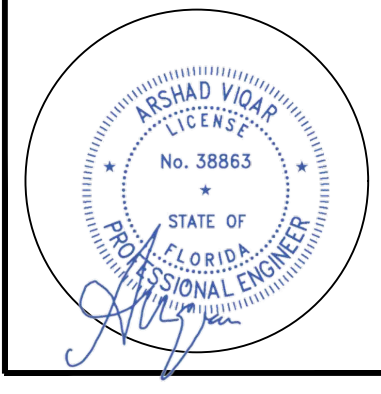
SHRUB/GROUND COVER DETAIL N.T.S.

LANDSCAPE OPEN SPACE CALCULATION		
LOT SIZE= 10,000 SF= 100%		
a) ALL UNDER ROOF	3792.74 SF	37.92%
b) DRIVEWAY	743 SF	7.43%
c) WALKWAYS	304.3 SF	3.04%
d) POOL	1,233.3 SF	12.33%
e) POOL DECK	428.8 SF	4.28%
f) GREEN SPACE	3,497.9 SF	35%
Landscape open space = (lot size - a-b-c-d-e) * 100 / lot size		
= (10,000-3792.74-743-304.3-1233.3-425.8) * 100 / 10,000		
= 3,497.9 * 100 / 10,000		
= 35% (landscape open space)		

LANDSCAPE LEGEND							
SYMBOL	NEW	EXISTING	COMMON NAME	SCIENTIFIC NAME	NATIVE SPECIES	HEIGHT RANGE	QUANTITY
[Symbol]		X	FLORATAM GRASS	FLORATAM ST. AGUSTINE	-	---	ALL GREEN AREA
[Symbol]	X	X	YEW PLU PINE	PODOCARPUS MACROPHYLLUS	NO	3'-5'(E)	7
[Symbol]	X		LIVE OAK	QUERCUS VIRGINIANA	YES	2.5'DBH, 15.0'H, 6.0' SPREAD	2
[Symbol]		X	DWARF BURFORD HOLLY HEDGE	ILEX CORNUTA	YES	---	---
[Symbol]		X	PALM	CARPOXYLON MACROSPERMUM	YES	---	10



SECTION A-A

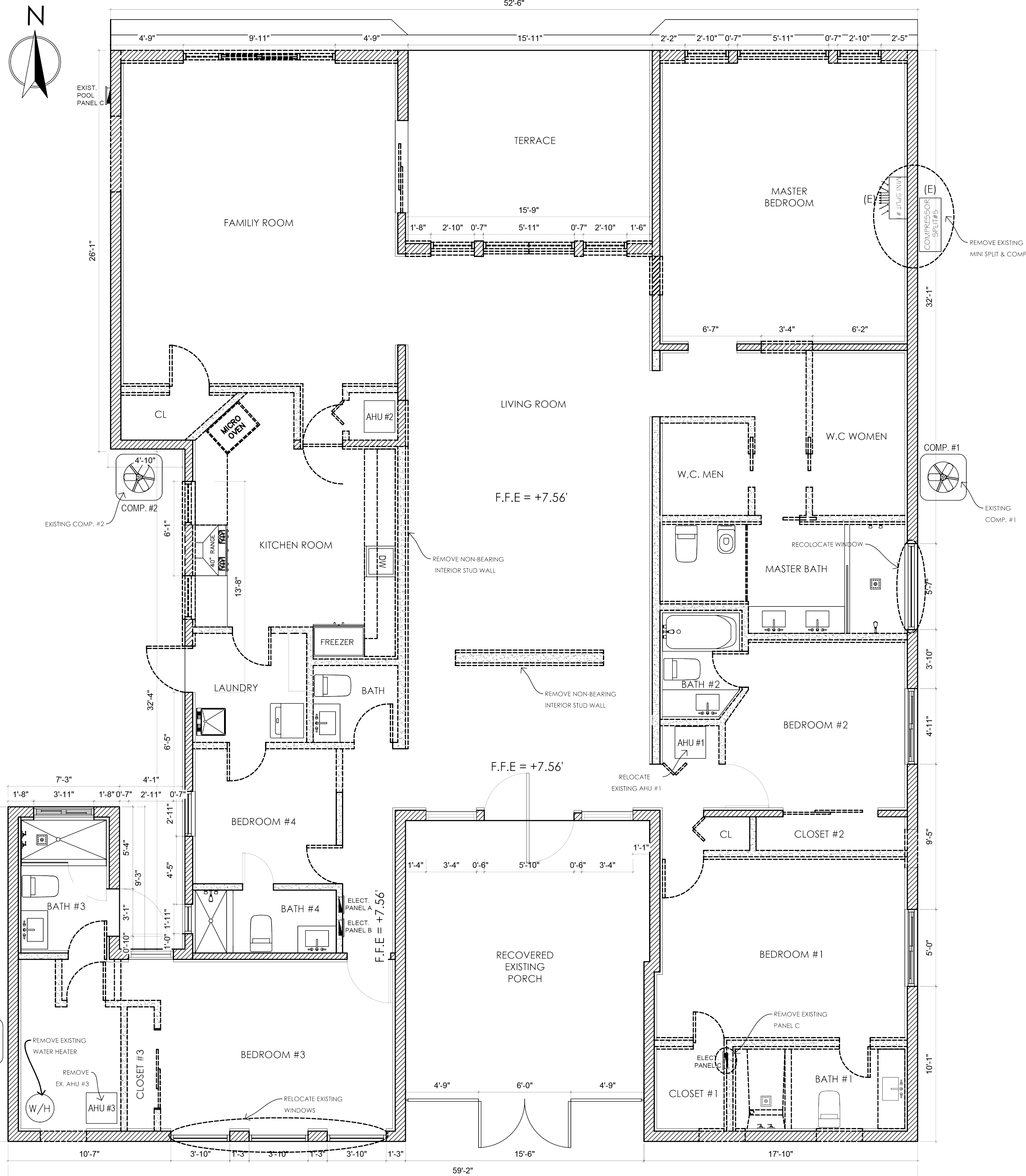


CONSULTING ENGINEER:  
**ARSHAD VIGAR, P.E.**  
FL. LIC. No. 38863  
12260 SW 8th St Suite #224  
MIAMI, FL 33184  
PHONE : (786) 502-2096

**INTERIOR & AMPL. EXTERIOR REMODELING**  
1231 101 ST  
BAY HARBOR ISLANDS, FL 33154

DRAWN BY: RBF  
CHECKED BY:  
DATE: 04/04/24  
SCALE:  
SHEET:

**L1**



**EXISTING/DEMOLITION FLOOR PLAN**

SCALE: 3/16" = 1'-0"

LEGEND	
	EXISTING 8" EXTERIOR CMU WALL (BEARING)
	EXISTING 5" INTERIOR STUD WALL
	NEW 5" INTERIOR STUD WALL
	REMOVE NON-BEARING (DEMOLITION) INTERIOR STUD WALL

ACTUAL AREA :	3,624 SQ.FT.
TOTAL LOT AREA:	10,000 SQ.FT.
PERCENTAGE OF LAND USED:	36.24 %

DEMOLITION NOTES

- 1- ALL DEMOLITION WORK TO BE DONE IN A PROFESSIONAL MANNER TO MINIMIZE THE DAMAGE TO EXISTING AREAS NOT AFFECTED.
- 2- ANY MATERIALS SCHEDULED TO BE DEMOLISHED MAY BE SALVAGED BY OWNER AT OWNER'S EXPENSE AND DISPOSED OF AS SUCH.
- 3- DEMOLITION CONTRACTOR TO SECURE ALL TRAFFIC AREAS FROM DISTRIBUTION OF DUST, PARTICLES, AND OR DEBRIS FROM THE DEMOLITION WORK AFFECTING EXISTING AREAS BY USE OF FLOOR COVERINGS AND BARRIER SHEETS AS REQUIRED TO CARRY OUT THE WORK.
- 4- DEMOLITION CONTRACTOR TO COORDINATE ACTIVITY AREAS WITH SUBSTRATES PRIOR TO START OF WORK TO MINIMIZE CONFLICT WITH NEW WORK. SEE NEW CONSTRUCTION PLANS.
- 5- THE DEMOLITION WORK HEREIN DESCRIBED IS INTENDED AS A BROAD OUTLINE OF THE GENERAL SCOPE OF WORK NECESSARY TO ACCOMPLISH THE INSTALLATION OF THE NEW WORK. ALL ASSOCIATED WORK CONTINGENT WITH THE BROAD OUTLINE OF THE DEMOLITION SCOPE IS TO BE CARRIED OUT WITH AFOREKNOWLEDGE. IT IS THEREFORE RECOMMENDED THAT THE DEMOLITION CONTRACTOR VISIT THE SITE PRIOR TO THE START OF WORK TO FAMILIARIZE THE ENTIRE SCOPE OF DEMOLITION SERVICES REQUIRED FOR THE WORK.
- 6- DEMOLITION CONTRACTOR TO NOTIFY ARCHITECT AND OR GENERAL CONTRACTOR IF THERE ARE MAJOR IMPEDIMENTS TO THE EXECUTION OF THE WORK NOT DESCRIBED IN THE SCOPE OF SERVICES PRIOR TO THE START OF WORK.
- 7- DEMOLITION CONTRACTOR TO SECURE ALL NECESSARY PERMITS AND APPROVALS SPECIFIC TO THE PROJECT AND AS REQUIRED BY MUNICIPALITY HAVING JURISDICTION PRIOR TO THE START OF THE DEMOLITION WORK.

REVISION NO.	DATE
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**Arshad Viqar**

Digitally signed by Arshad Viqar  
Date: 2024.31.10 12:55:04 -04'00'



CONSULTING ENGINEER:  
**ARSHAD VIQAR, P.E.**  
FL. LIC. No. 38863  
12260 SW 8th ST Suite #224  
MIAMI, FL 33184  
PHONE : (786) 502-2096

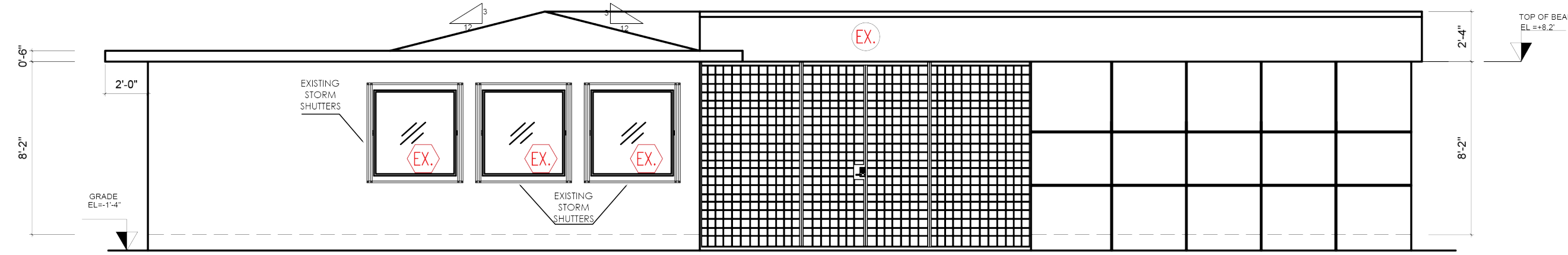
**INTERIOR & AMPL. EXTERIOR REMODELING**  
1231 101 ST  
BAY HARBOR ISLANDS, FL 33154

DRAWN BY: LED  
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DATE: 03-18-24  
SCALE:  
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**A1**

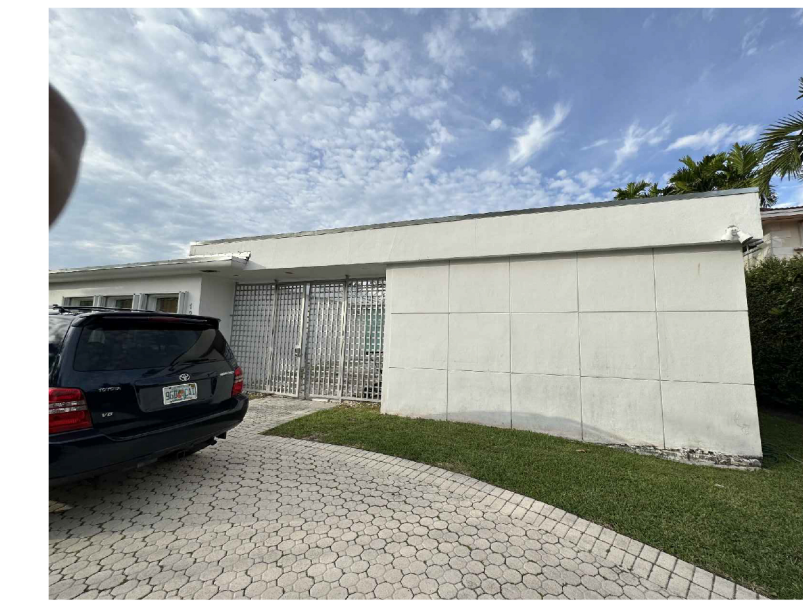
REVISION NO.	DATE
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**FRONT ELEVATION (SOUTH)**

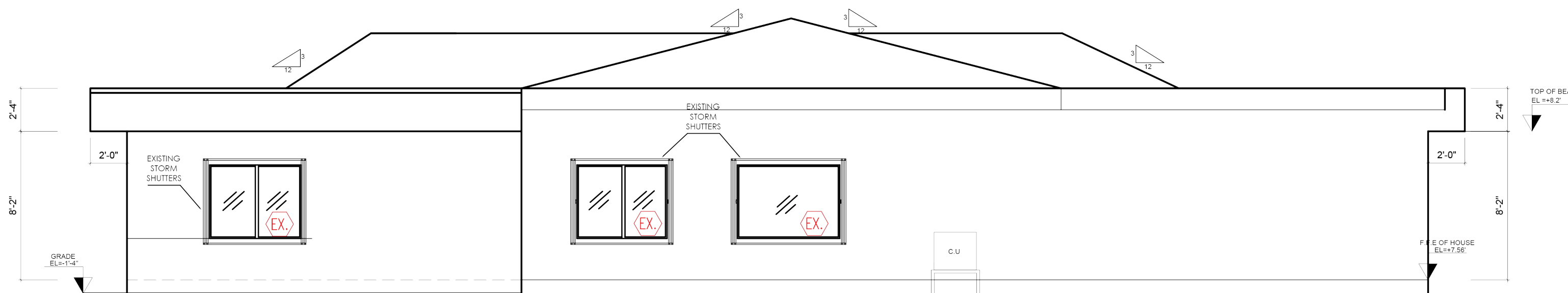


**EXISTING FRONT ELEVATION (SOUTH)**

SCALE: 3/16" = 1'-0"

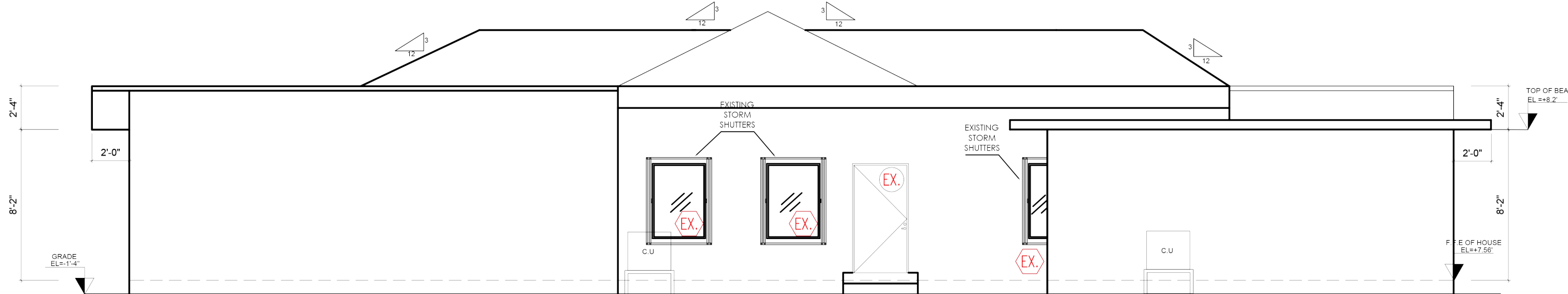
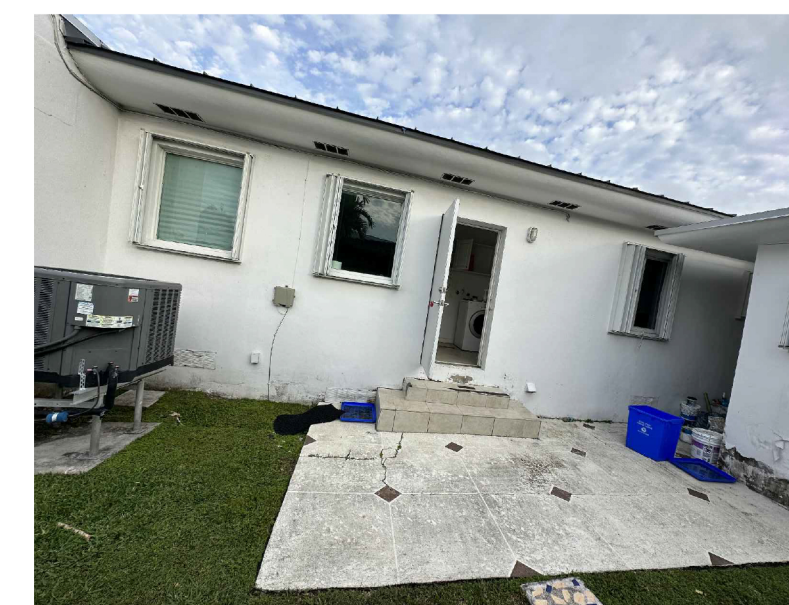


**SIDE ELEVATIONS (EAST & WEST)**



**EXISTING RIGHT ELEVATION (EAST)**

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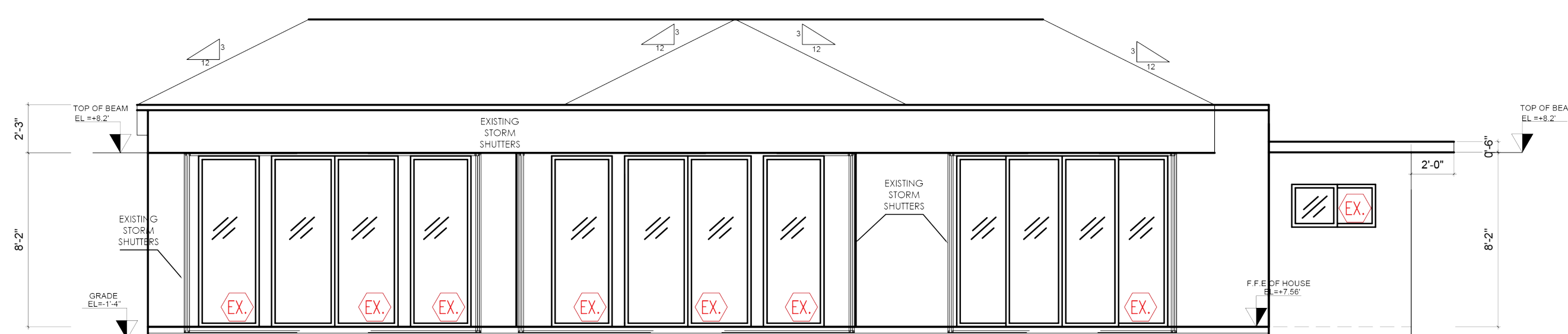


**EXISTING LEFT ELEVATION (WEST)**

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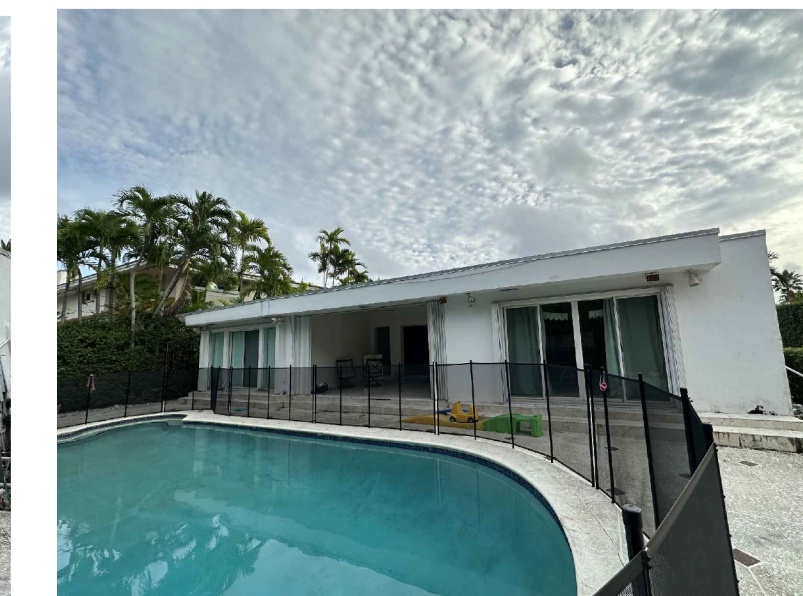
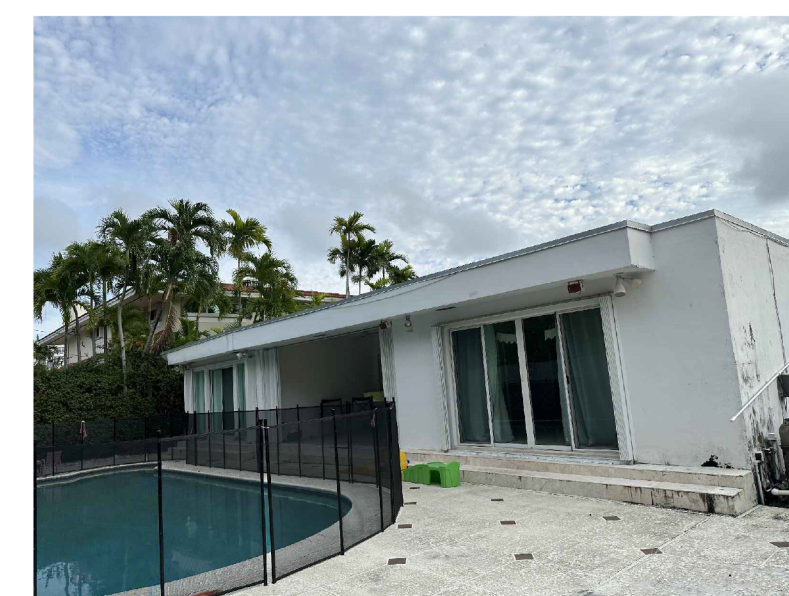


**REAR ELEVATION (NORTH)**



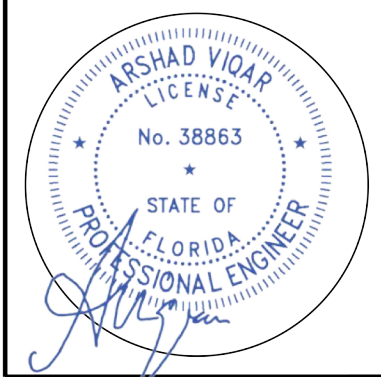
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SCALE: 3/16" = 1'-0"



**Arsha  
d  
Viqar**

Digitally  
signed by  
Arshad Viqar  
Date:  
2024.31.10  
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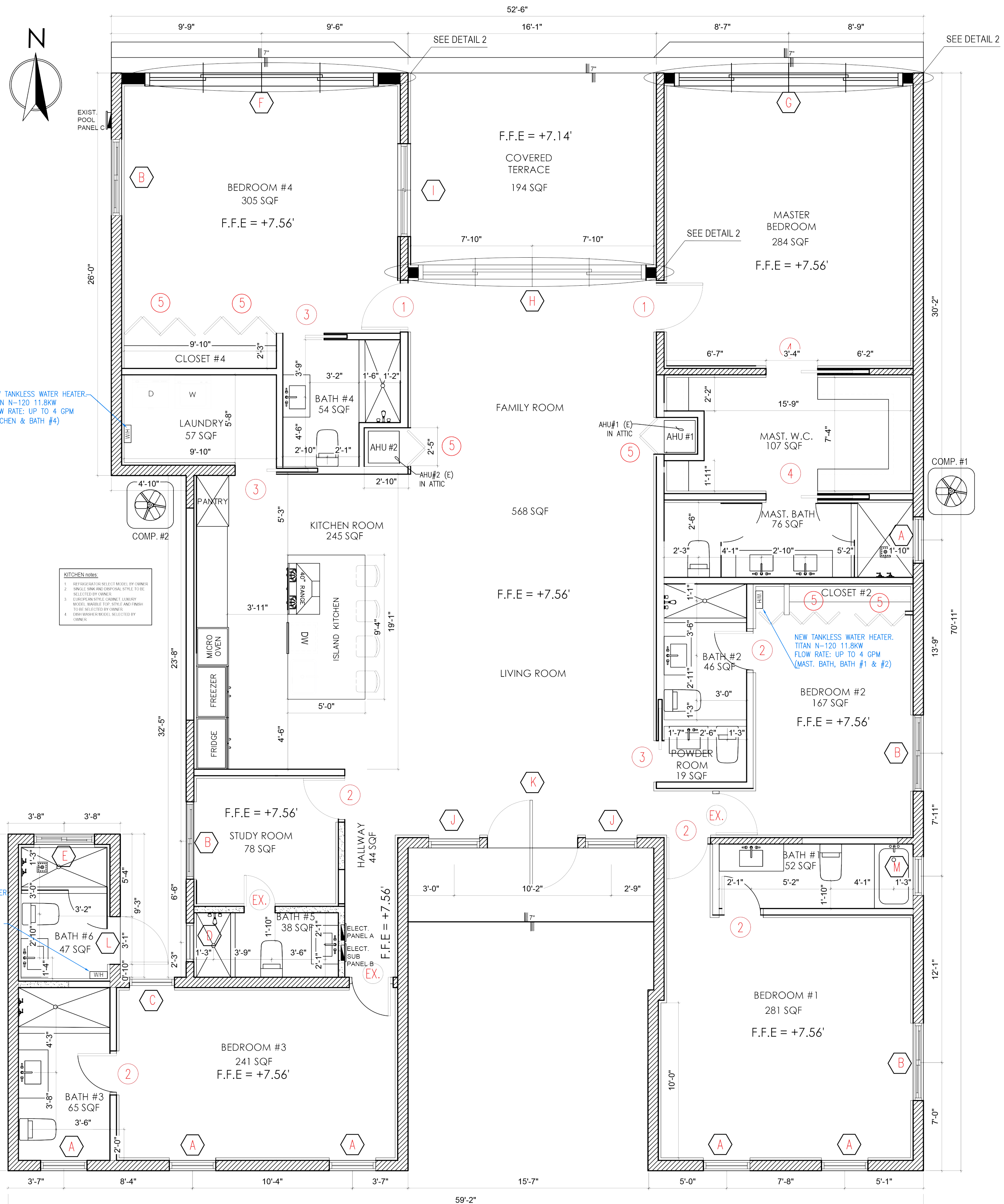


CONSULTING ENGINEER:  
**ARSHAD VIQAR, P.E.**  
FL. LIC. No. 38863  
12260 SW 8th ST Suite #224  
MIAMI, FL 33184  
PHONE : (786) 502-2096

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1231 101 ST  
BAY HARBOR ISLANDS, FL 33154

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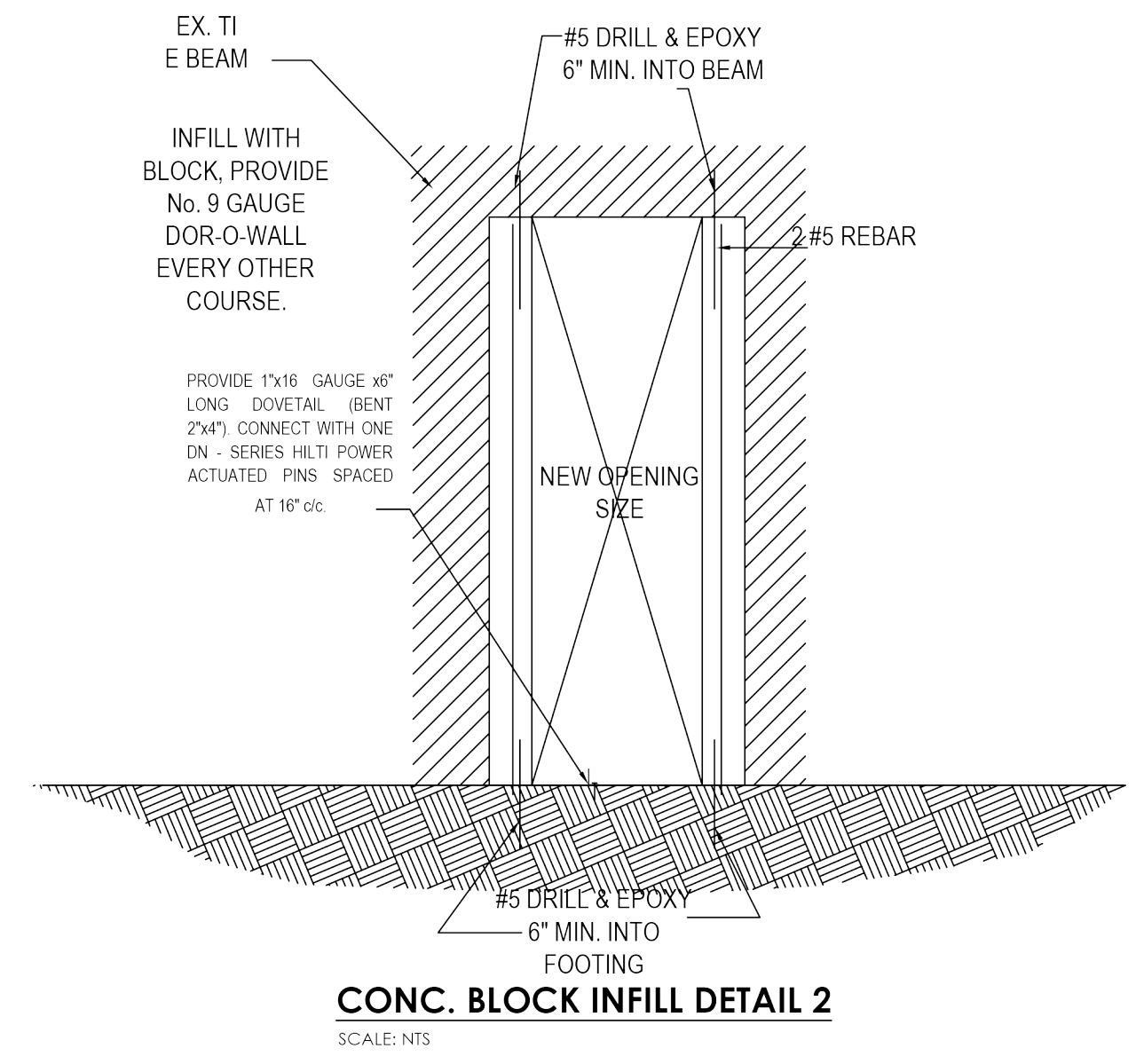


**PROPOSED FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

**LEGEND**

- EXISTING 8" EXTERIOR CMU WALL (BEARING)
- EXISTING 5" INTERIOR STUD WALL
- NEW 5" INTERIOR STUD WALL

ACTUAL AREA : 3,624 SQ.FT.  
TOTAL LOT AREA: 10,000 SQ.FT.  
PERCENTAGE OF LAND USED: 36.24 %



**DOOR SCHEDULE**

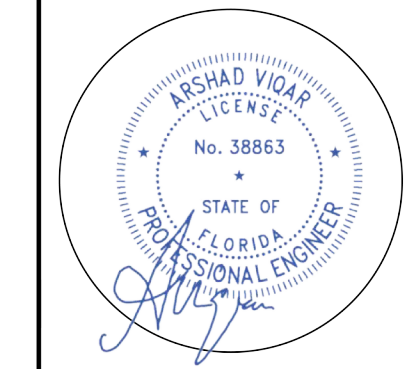
MARK	DESCRIPTION	QTY.	W	H	TYPE	DESIGN PRESSURE	PRODUCT APPROVAL #	REMARKS
1	NEW	2	36"	81"	SWING DOOR	-	-	INTERIOR DOOR
2	NEW	5	34"	81"	SWING DOOR	-	-	INTERIOR DOOR
3	NEW	3	32"	81"	SLIDING DOOR	-	-	INTERIOR DOOR
4	NEW	2	40"	81"	SLIDING DOOR	-	-	INTERIOR DOOR
5	NEW	10	30"	81"	LOUVERED DOOR CLOSET	-	-	INTERIOR DOOR

**WINDOW / DOOR SCHEDULE**

MARK	DESCRIPTION	QTY	DIMENSIONS		MATERIAL	TYPE	ZONE	DESIGN PRESSURE (PSF)	PRODUCT APPROVAL	REMARKS	U	SHGC
			W(IN)	H(IN)								
A	NEW	2	30"	60"	ALUMINUM/GLASS	FIXED WINDOW	5	+39.47 -52.47	NOA # 22-0105.01		1.1	0.5
A	NEW	4	30"	60"	ALUMINUM/GLASS	FIXED WINDOW	4	+39.47 -42.86	NOA # 22-0105.01		1.1	0.5
B	EXISTING	1	60"	48"	ALUMINUM/GLASS	ROLLING WINDOW	4	+38.83 -51.18	NOA #305.256.8085	EGRESS	1.1	0.5
B	EXISTING	3	60"	48"	ALUMINUM/GLASS	ROLLING WINDOW	5	+38.83 -51.18	NOA #305.256.8085	EGRESS	1.1	0.5
C	EXISTING	1	30"	48"	ALUMINUM/GLASS	ROLLING WINDOW	4	+38.83 -51.18	NOA #305.256.8085	EGRESS	1.1	0.5
D	NEW	1	30"	60"	ALUMINUM/GLASS	FIXED WINDOW	4	+39.47 -42.86	NOA # 22-0105.01		1.1	0.5
E	EXISTING	1	48"	24"	ALUMINUM/GLASS	ROLLING WINDOW	4	+46.5 -50.6	NOA #305.256.8085	EGRESS	1.1	0.5
F	NEW	4	48"	96"	ALUMINUM/GLASS	SLIDING DOOR	5	+37.02 -40.42	NOA # 22-0118.05	EGRESS	1.1	0.5
F	NEW	5	48"	96"	ALUMINUM/GLASS	SLIDING DOOR	5	+37.02 -47.57	NOA # 22-0118.05	EGRESS	1.1	0.5
G	NEW	4	48"	96"	ALUMINUM/GLASS	SLIDING DOOR	5	+37.02 -40.42	NOA # 22-0118.05	EGRESS	1.1	0.5
G	NEW	5	48"	96"	ALUMINUM/GLASS	SLIDING DOOR	5	+37.02 -47.57	NOA # 22-0118.05	EGRESS	1.1	0.5
H	NEW	4	48"	96"	ALUMINUM/GLASS	SLIDING DOOR	4	+37.02 -40.42	NOA # 22-0118.05	EGRESS	1.1	0.5
I	EXISTING	2	30"	96"	ALUMINUM/GLASS	SLIDING DOOR	5	+45.9 -50.5	NOA #305.256.8085	EGRESS	1.1	0.5
J	EXISTING	2	36"	96"	ALUMINUM/GLASS	FIXED WINDOW	4	+46.4 -50.5	NOA #305.256.8085		1.1	0.5
K	NEW	2	30"	96"	ALUMINUM/GLASS	OUTSWING DOOR	4	+44.6 -48.7	NOA #305.256.8085	EGRESS	1.1	0.5
L	EXISTING	1	36"	96"	ALUMINUM	OUTSWING DOOR	4	+46.4 -50.5	NOA #305.256.8085	EGRESS	1.1	0.5
M	NEW	1	30"	60"	ALUMINUM	FIXED WINDOW	4	+39.47 -42.86	NOA # 22-0105.01		1.1	0.5
N	NEW	4	36"	96"	ALUMINUM/GLASS	FIXED WINDOW	5	+37.77 -49.07	NOA # 22-0105.01			

REVISION NO.	DATE
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**Arshad Viqar**  
Digitally signed by Arshad Viqar  
Date: 2024.31.10 12:53:22 -04'00'

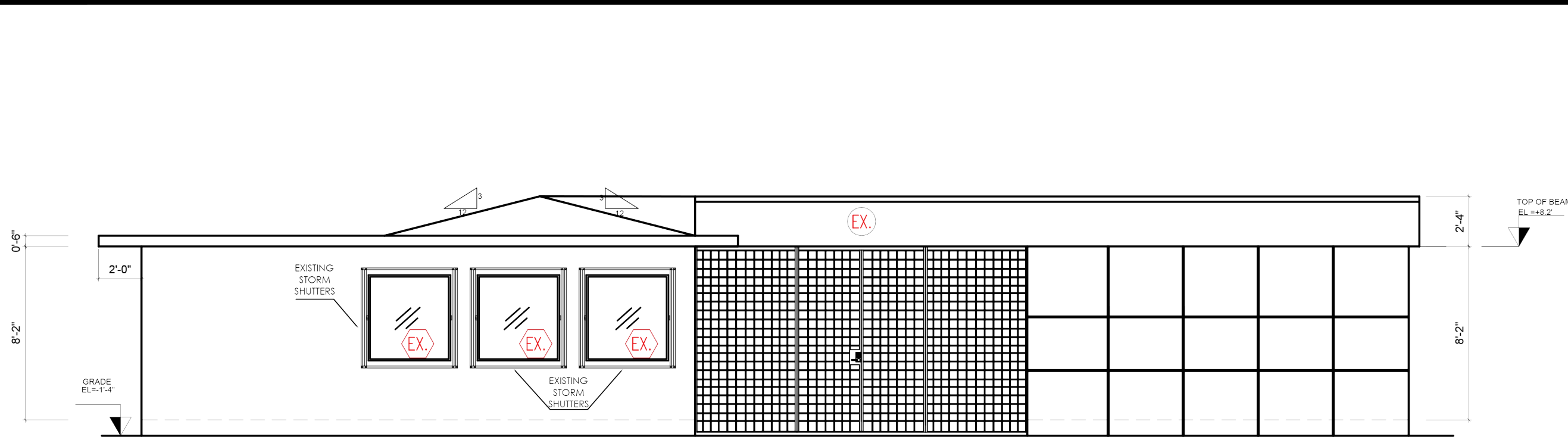


CONSULTING ENGINEER:  
**ARSHAD VIQAR, P.E.**  
FL. LIC. No. 38863  
12260 SW 8th St Suite #224  
MIAMI, FL 33184  
PHONE : (786) 502-2096

**INTERIOR & AMPL. EXTERIOR REMODELING**  
1231 101 ST  
BAY HARBOR ISLANDS, FL 33154

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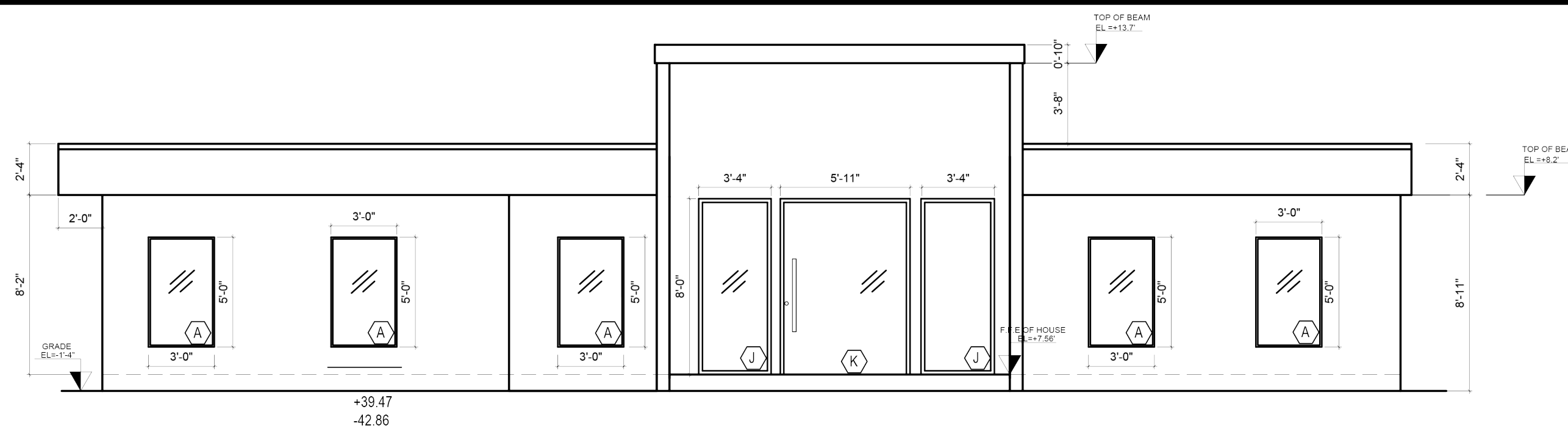
**A2**



**EXISTING FRONT ELEVATION (SOUTH)**

**EXISTING BACK ELEVATION (NORTH)**

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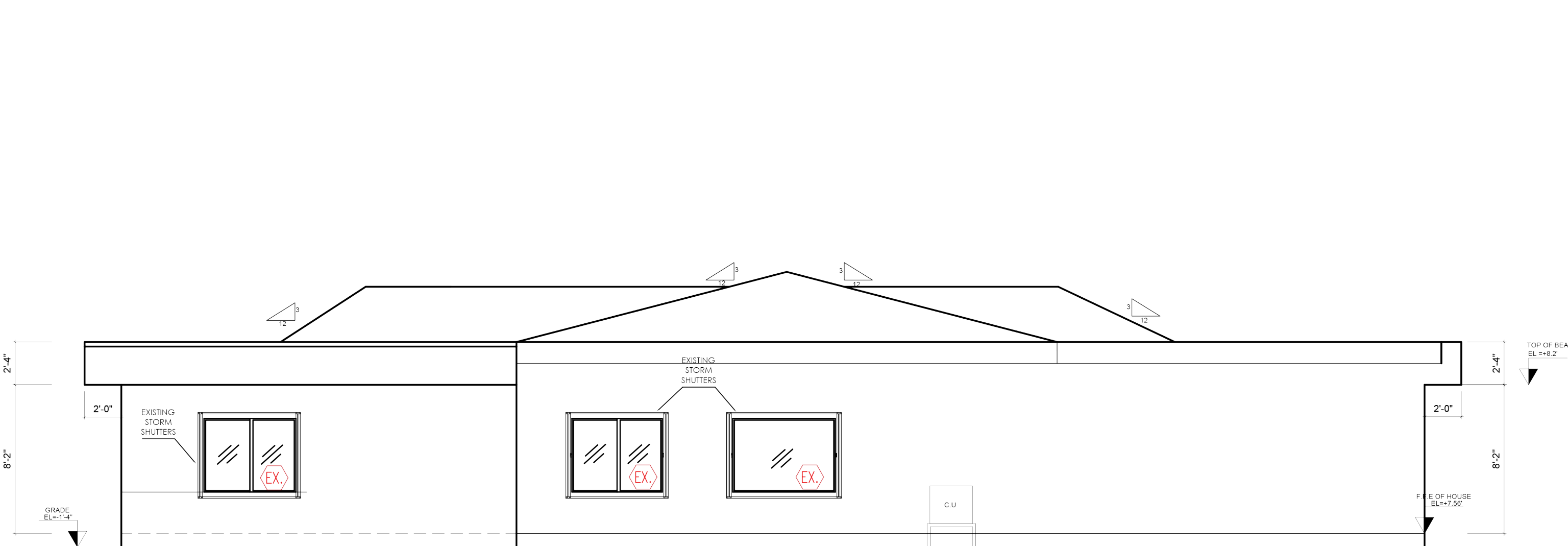


**PROPOSED FRONT ELEVATION (SOUTH)**

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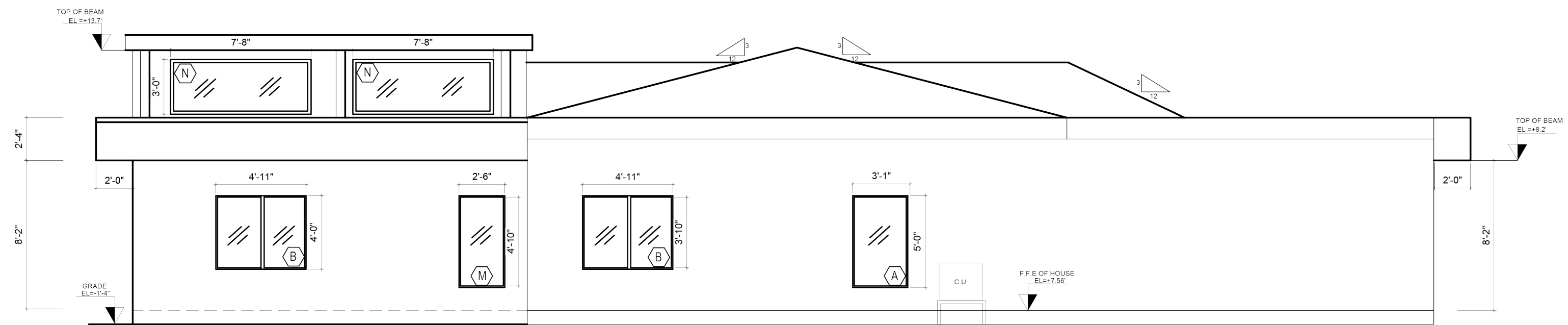
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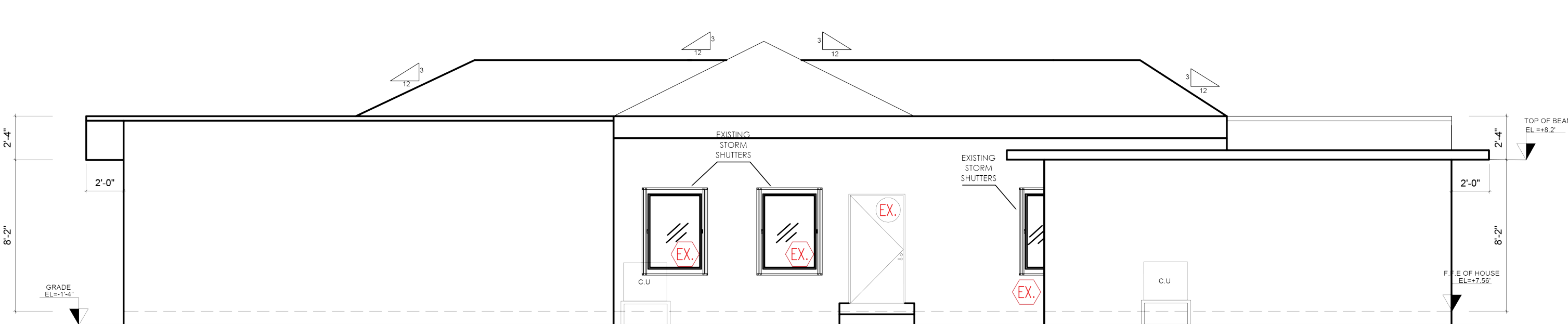
**EXISTING RIGHT ELEVATION (EAST)**

SCALE: 3/16"= 1'-0"



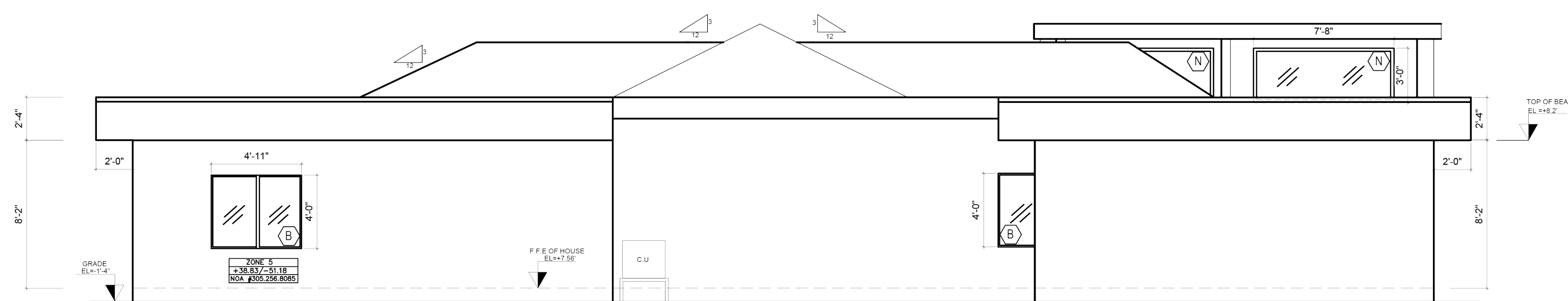
**PROPOSED RIGHT ELEVATION (EAST)**

SCALE: 3/16"= 1'-0"



**EXISTING LEFT ELEVATION (WEST)**

SCALE: 3/16"= 1'-0"



**PROPOSED LEFT ELEVATION (WEST)**

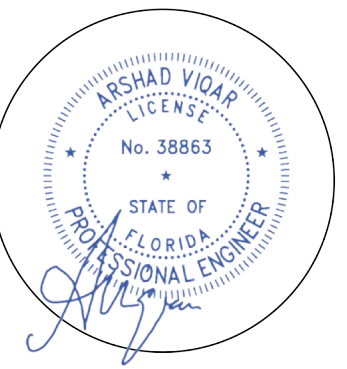
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**Arshad Viqar**

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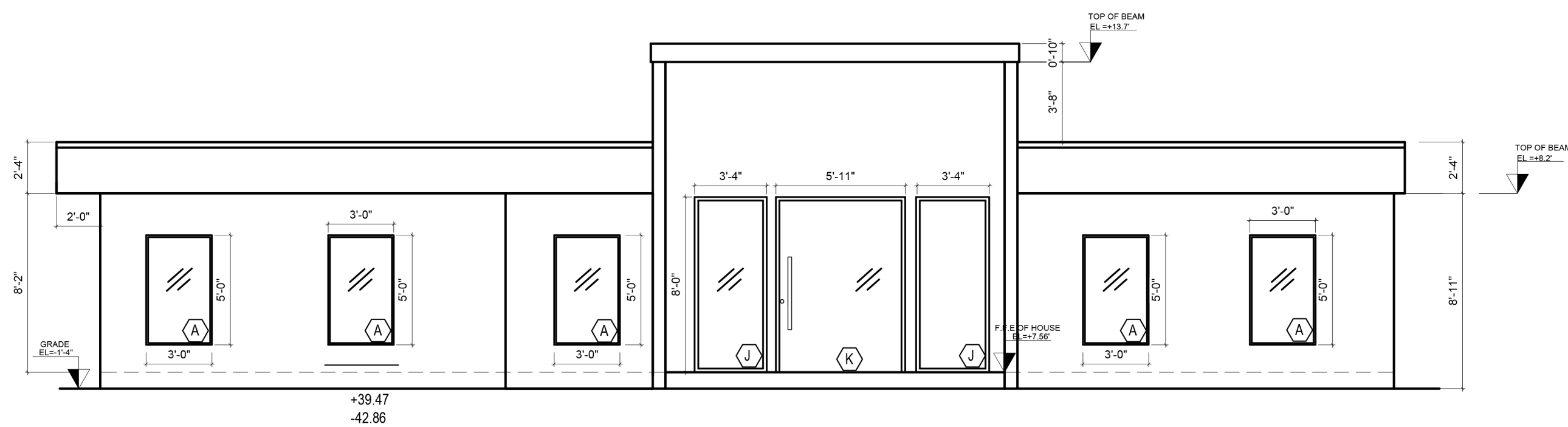


CONSULTING ENGINEER:  
**ARSHAD VIQAR, P.E.**  
FL LIC. No. 38863  
12260 SW 8th St Suite #224  
MIAMI, FL 33184  
PHONE : (786) 502-2096

**INTERIOR & AMPL. EXTERIOR REMODELING**  
1231 101 STREET  
BAY HARBOR ISLANDS, FL 33154

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DATE: 03-18-24  
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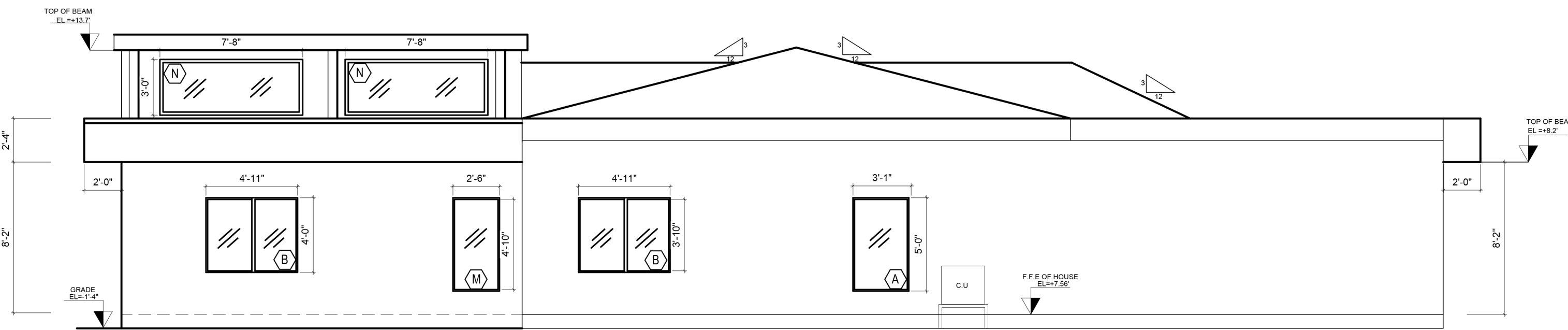
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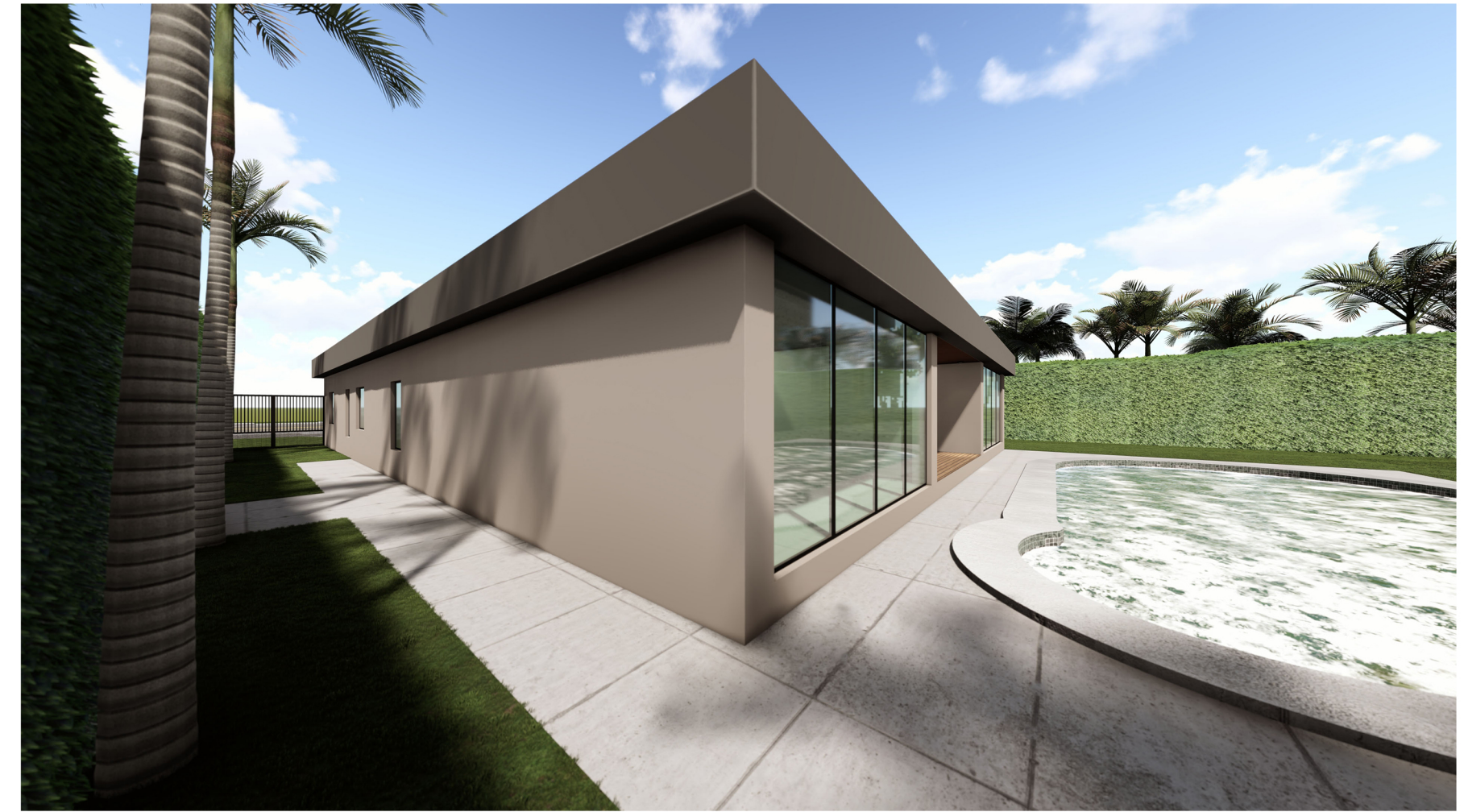
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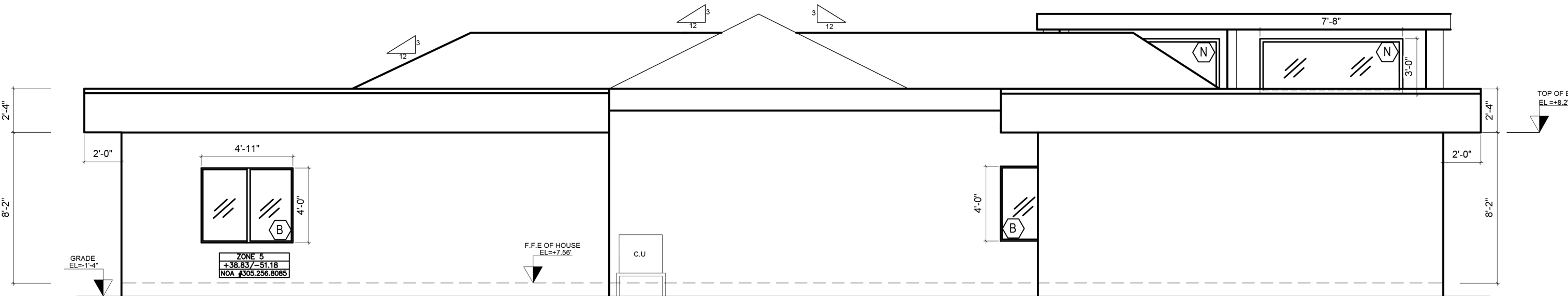
**PROPOSED FRONT ELEVATION (SOUTH)**



**PROPOSED RIGHT ELEVATION (EAST)**  
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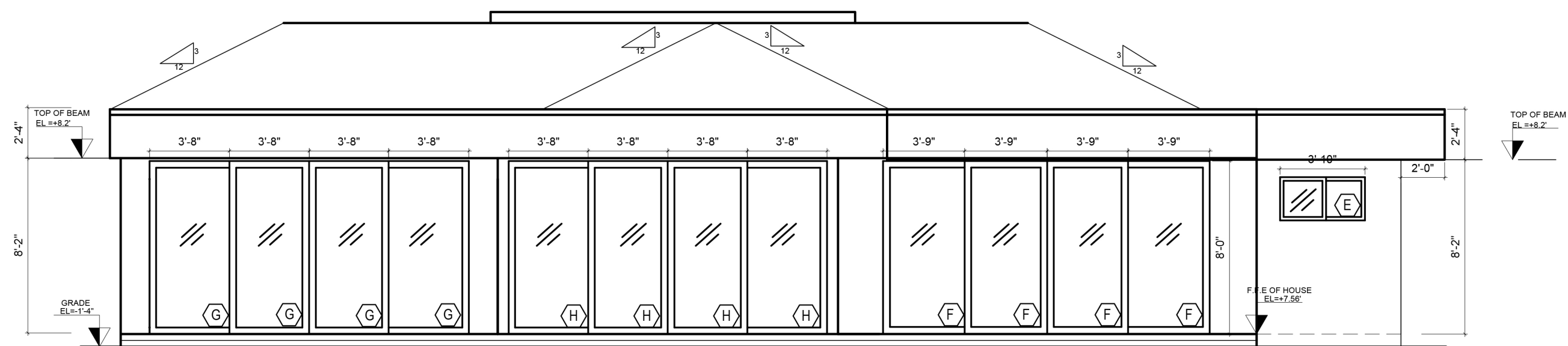
**PROPOSED RIGHT ELEVATION (EAST)**



**PROPOSED LEFT ELEVATION (WEST)**  
SCALE: 3/16"= 1'-0"



**PROPOSED LEFT ELEVATION (WEST)**



**PROPOSED BACK ELEVATION (NORTH)**  
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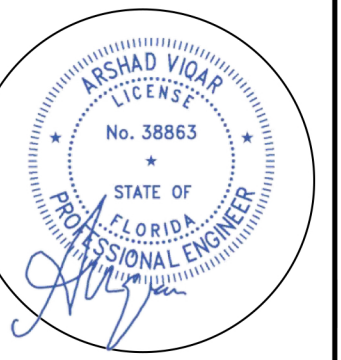


**PROPOSED BACK ELEVATION (NORTH)**

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**Arshad Viqar**

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Date: 2024.31.10 12:54:37 -04'00'



CONSULTING ENGINEER:  
**ARSHAD VIQAR, P.E.**  
FL LIC. No. 38863  
12260 SW 8th ST Suite #224  
MIAMI, FL 33184  
PHONE : (786) 502-2096

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1231 101 STREET  
BAY HARBOR ISLANDS, FL 33154

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**A2.2**



**EXISTING EXTERIOR VIEW IN THE CONTEXT**



**PROPOSED DESIGN EXTERIOR IN THE CONTEXT**



**EXISTING EXTERIOR VIEW IN THE CONTEXT**



**PROPOSED DESIGN EXTERIOR IN THE CONTEXT**



**EXISTING EXTERIOR VIEW IN THE CONTEXT**

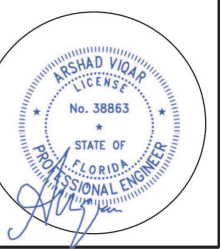


**PROPOSED DESIGN EXTERIOR IN THE CONTEXT**

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**Arshad Viqar**

Digitally signed by Arshad Viqar  
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CONSULTING ENGINEER:  
**ARSHAD VIQAR, P.E.**  
FL. LIC. No. 38863  
12260 SW 8th ST Suite #224  
MIAMI, FL 33184  
PHONE : (786) 502-2096

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**Arshad Viqar**

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Date: 2024.31.10 09:51:21 -04'00'



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**ARSHAD VIQAR, P.E.**  
FL. LIC. No. 38863  
12260 SW 8th ST Suite #224  
MIAMI, FL 33184  
PHONE : (786) 502-2096

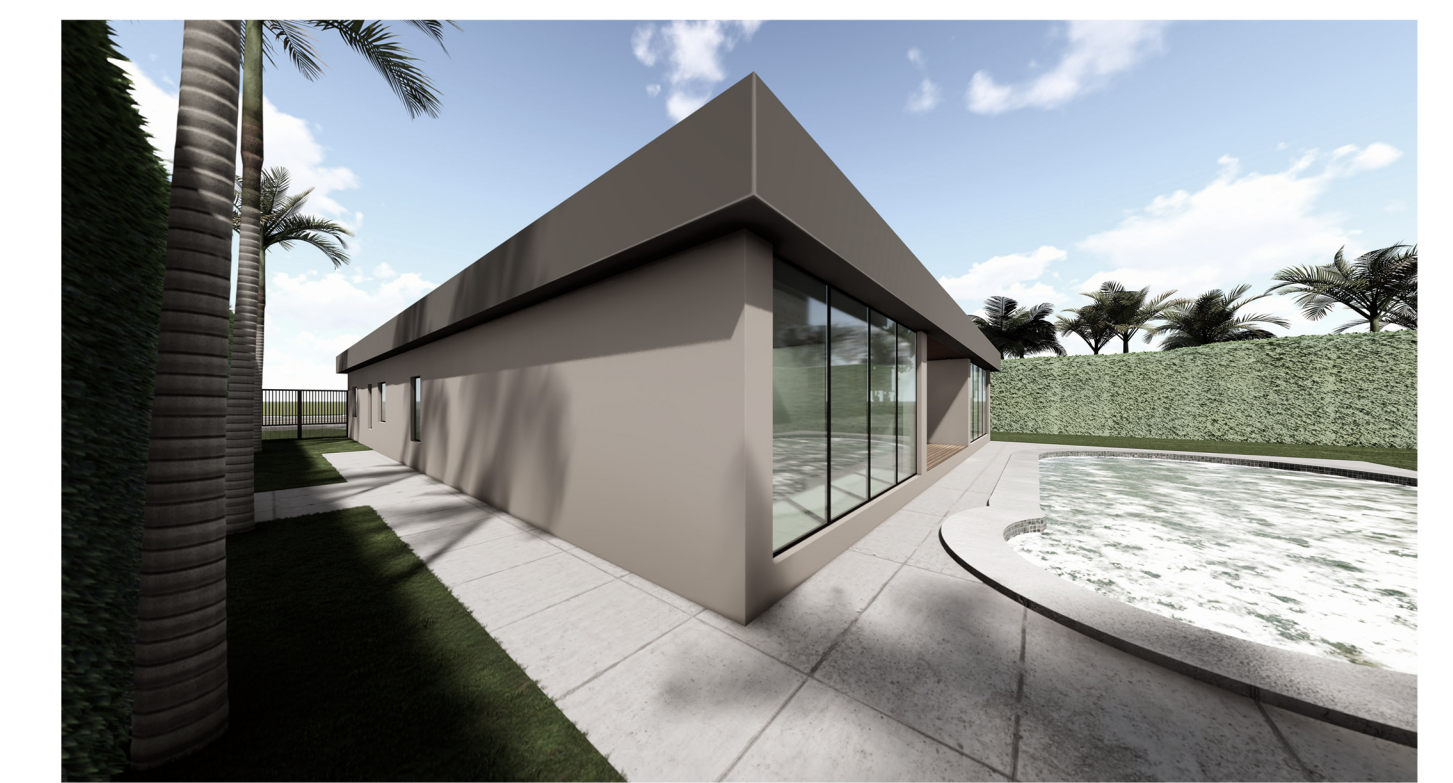
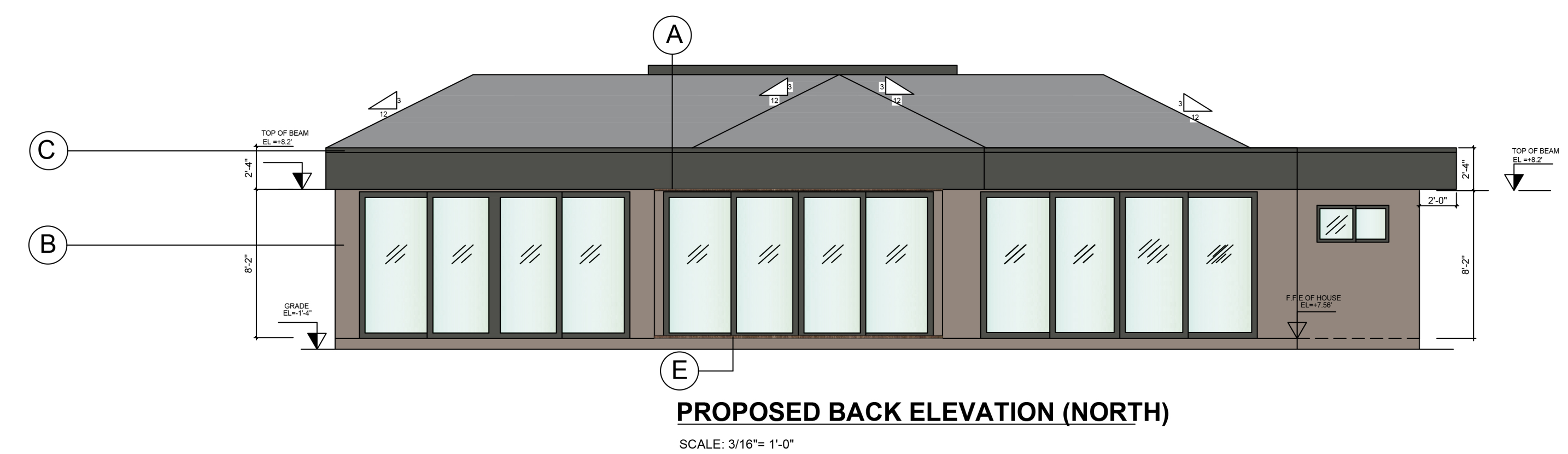
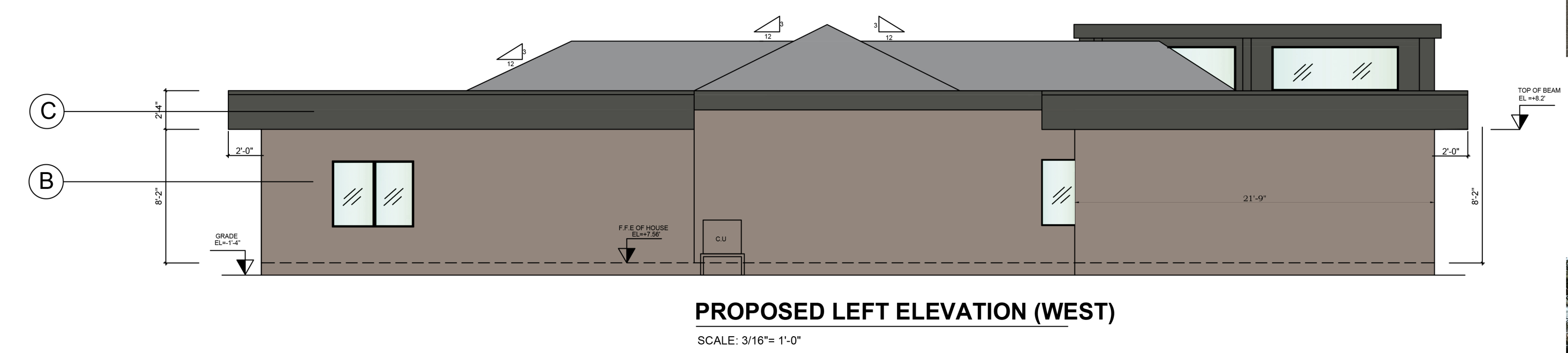
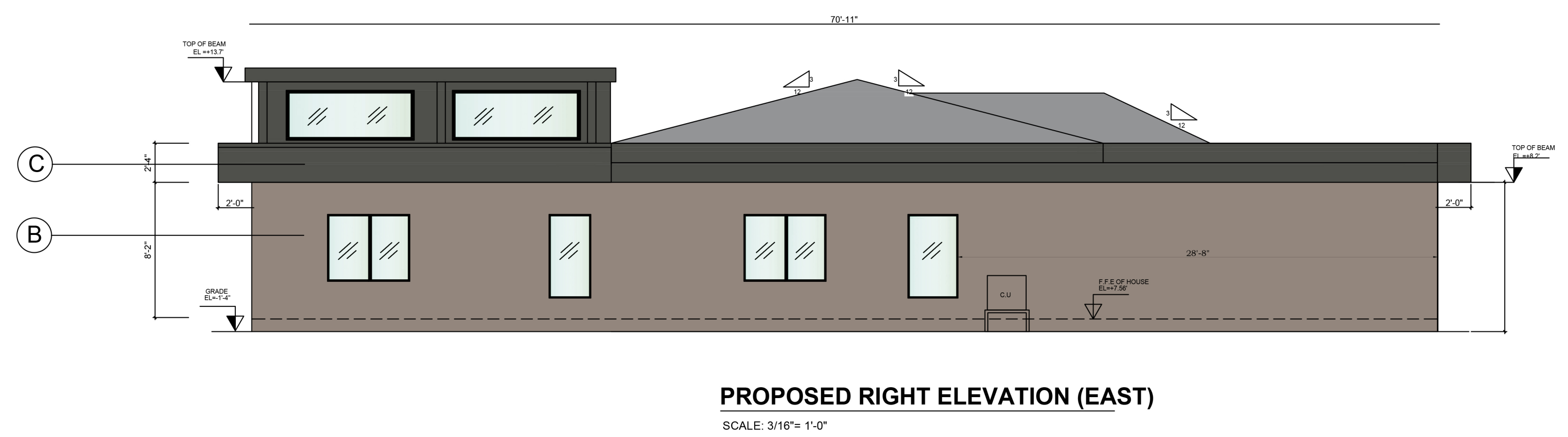
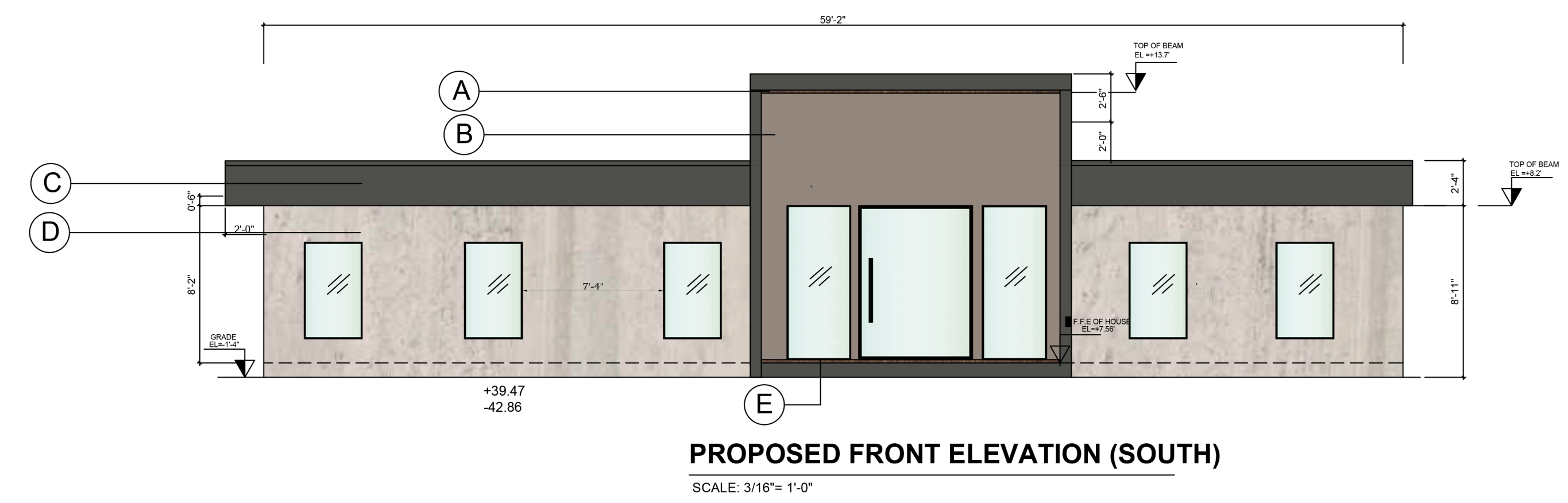
**INTERIOR & AMPL. EXTERIOR REMODELING**  
1231 101 STREET  
BAY HARBOR ISLANDS, FL 33154

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CHECKED BY:  
DATE: 03-18-24  
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**A3**

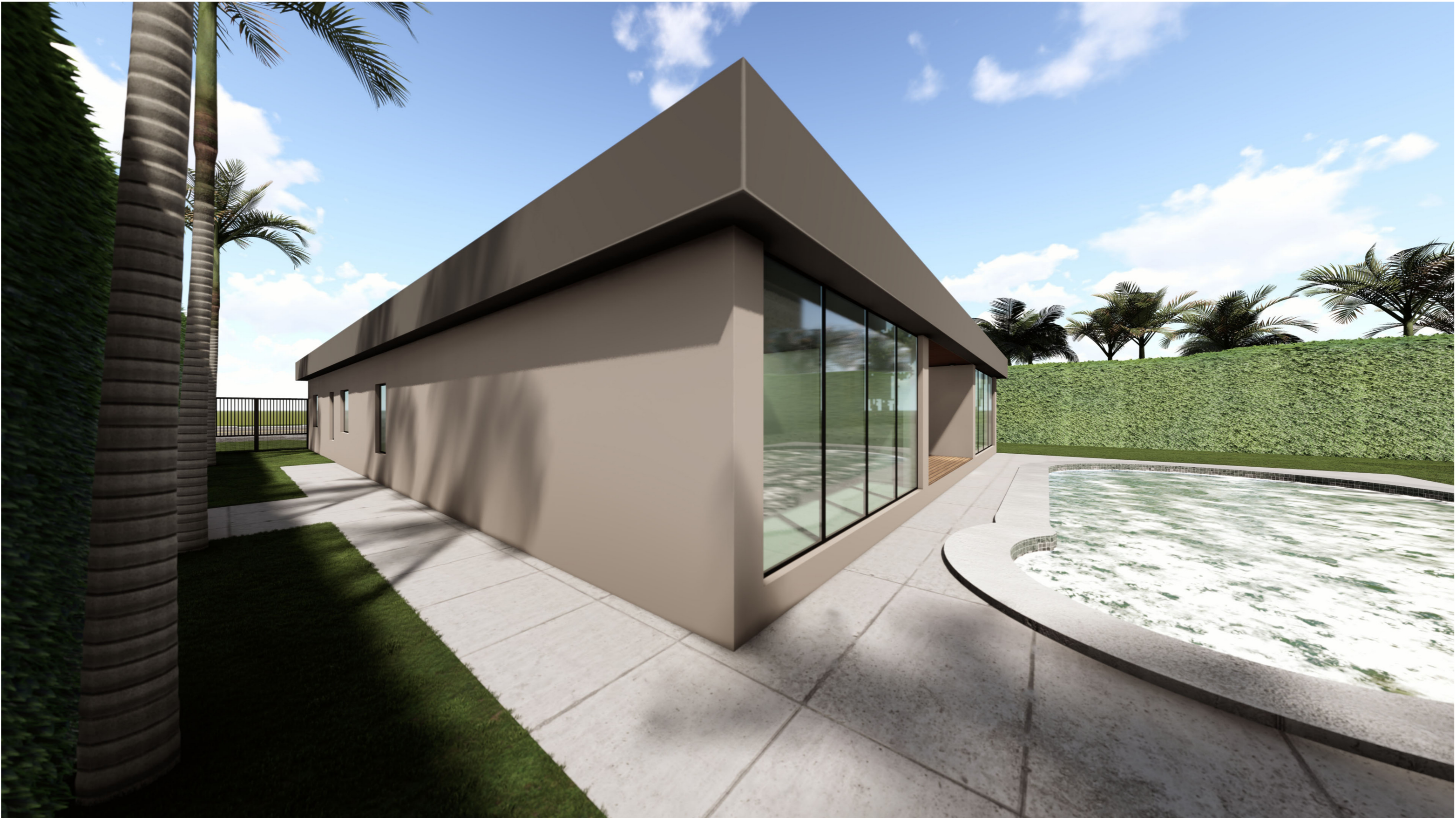
BUILDING ARTICULATION ANALYSIS SOUTH ELEVATION				BUILDING ARTICULATION ANALYSIS EAST ELEVATION						
SOUTH ELEVATION TOTAL AREA= 745.91 SF SOUTH ELEVATION TOTAL LENGTH= 59.2 F UNINTERRUPTED WALL SURFACES= 7.4 F=12.9% < 50% OF TOTAL LENGTH				EAST ELEVATION TOTAL AREA= 904.34 SF EAST ELEVATION TOTAL LENGTH= 70.11 F UNINTERRUPTED WALL SURFACES= 28.8 F= 41.07% < 50% OF TOTAL LENGTH						
MATERIALS	TYPE OF MATERIAL	SF	%	OBSERVATIONS	MATERIALS	TYPE OF MATERIAL	SF	%	OBSERVATIONS	
MATERIALS	GLASS(WINDOWS & DOORS)	174.93	23.45	GLASS PANELS ARE LESS 50% OF THE FACADE AREA	MATERIALS	GLASS (WINDOWS)	112.46	12.4	GLASS PANELS ARE LESS 50% OF THE FACADE AREA	
	BONE VEIN TRAVERTINE TILE	303.59	40.70	TILES 40.70%		MATERIALS	FLAT STUCCO IRON MOUNTAIN	226.38	25.03	STUCCO 87.56 %
	FLAT STUCCO IRON MOUNTAIN	147.74	19.80	STUCCO 35.85 %			FLAT STUCCO DRIFTWOOD	565.5	62.53	
TOTAL		745.91	100		TOTAL		904.34	100		
BUILDING ARTICULATION ANALYSIS WEST ELEVATION				BUILDING ARTICULATION ANALYSIS NORTH ELEVATION						
WEST ELEVATION TOTAL AREA= 865.84 SF WEST ELEVATION TOTAL LENGTH= 70.11 F UNINTERRUPTED WALL SURFACES= 21.9 F= 32.86% < 50% OF TOTAL LENGTH				WEST ELEVATION TOTAL AREA= 665.83 SF SOUTH ELEVATION TOTAL LENGTH= 59.2 F UNINTERRUPTED WALL SURFACES= N/A						
MATERIALS	TYPE OF MATERIAL	SF	%	OBSERVATIONS	MATERIALS	TYPE OF MATERIAL	SF	%	OBSERVATIONS	
MATERIALS	GLASS (WINDOWS)	53.76	6.21	GLASS PANELS ARE LESS 50% OF THE FACADE AREA	MATERIALS	GLASS(WINDOWS & DOORS)	364.11	54.68		
	FLAT STUCCO IRON MOUNTAIN	150.56	17.39	STUCCO 89.26 %		FLAT STUCCO IRON MOUNTAIN	152.3	22.87	STUCCO 45.29%	
	FLAT STUCCO DRIFTWOOD	622.33	71.87			FLAT STUCCO DRIFTWOOD	149.34	22.42		
TOTAL		826.65	100		TOTAL		665.75	100		
TOTAL AREA OF ELEVATIONS: 3142.65 SF = 100%				THE TOTAL AREA OF SURFACES OCCUPIED BY GLASS REPRESENT 22.44% OF THE TOTAL SURFACE OF THE ELEVATIONS.						
TOTAL GLASS SURFACES: 705.26 SF = 22.44%				IN ALL ELEVATIONS THE LENGTH OF UNINTERRUPTED WALLS IS LESS THAN 50% OF THE TOTAL LENGTH OF THE ELEVATION						
TOTAL STUCCO SURFACES: 2133.8 SF = 67.89%										
TOTAL BONE VEIN TRAVERTINE TILE SURFACES: 303.59 SF = 9.67%										

MATERIAL SPECIFICATION		
A		HONEY MAPLE VINYL CEILING 70 SQFT (84.5" X 10.5")
B		FLAT STUCCO DRIFTWOOD (2107-40) BENJAMIN MOORE
C		FLAT STUCCO IRON MOUNTAIN (2134-30) BENJAMIN MOORE
D		BONE VEIN TRAVERTINE TILE 48" x 48"
E		TIGER WOOD (DECK) 1"x 5 1/2"














**TOWN OF BAY HARBOR ISLANDS  
COMMUNITY DEVELOPMENT  
MEMORANDUM**

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**To:** Design Review Board (DRB)  
Town of Bay Harbor Islands

**From:** Michael J. Miller, AICP   
Town Planner  
MMPA - Consultant Town Planner

**Date:** September 16<sup>th</sup>, 2024

**Subject:** Existing Single-Family Residence - Renovation (DRB #3 Review)  
1231 101 Street  
Bay Harbor Islands Acct. No.: SPR2024-000002  
MMPA Acct. No.: 01-0702-1183

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**RECOMMENDED ACTION**

MMPA recommends the Design Review Board review the contents of this staff report, the submitted site plan and architectural plans (last revised dated 09/09/2024) and if felt to be acceptable, **APPROVE** the plans as submitted or with modifications as deemed appropriate and/or with conditions, to allow for renovations to an existing single-family house located at 1231 101 Street.

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**GENERAL PROJECT INFORMATION**

**Land Use Designation:** L – Low Density Residential  
**Zoning District:** RD Single-Family District  
**General Location:** 1231 101 Street  
**Legal Description:** Lot 15 of Block 25, “Bay Harbor Island” according to the Plat thereof, as recorded in Plat Book 46, at Page 5 of the public records of Miami-Dade County.

**PROJECT DESCRIPTION**

The project consulting engineer, Arshad Vigar, P.E, and Chuni Ram, as agents for the property owner, Shani Kagan & Beaujon Davidson, have submitted an application for renovations to an existing single-family residence on an interior dry lot located at 1231 101 Street. The existing one-story home will have approximately 3,239 square feet of A/C living space. The updated residence will have five (5) bedrooms, six (6) full bathrooms, and a study room.

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## **BACKGROUND / PROJECT HISTORY**

In December 2023 the Town received a building permit application for “interior” renovations; however, as staff reviewed the plans considerable exterior renovations were noted that would significantly alter the house facade appearance (raised front entry & foyer / wood appearing stucco siding / door & window location changes). After advising the owner that DRB review / approval was necessary for the “substantial” exterior changes requested, a Site Development Plan application was filed by the owner in January 2024. The applicant submitted an initial set and a revised set of plans that were reviewed by MMPA / Town staff for consistency with the Town Code requirements. Comments were given to the applicant each time and the current submitted plans are reflective of all requested changes.

This project was reviewed by the Design Review Board (DRB) at their meeting on April 16<sup>th</sup>, 2024, and deferred. The DRB expressed some concerns with the proposed exterior façade design and requested the applicant consider the DRB comments and re-study / revise the drawings. The DRB expressed there was not a consistent architectural appearance. In mid-May 2024 a set of revised exterior house façade elevations were resubmitted. Those plans appeared to be similar to the original drawings but with more detail. The majority of the exterior changes involve (1) a new prominent front covered entry, (2) several window location / size changes, and (3) areas of scored stucco (note of plans states “marked”) at various locations. The DRB reviewed the applicant’s revised plans at their meeting on June 17<sup>th</sup>, 2024, but deferred the project again citing similar comments. The DRB again expressed concerns with the proposed exterior façade design. The DRB expressed again there was not a consistent architectural appearance in their opinion. The DRB requested: (1) a full set of plans, (2) renderings of all house elevations, (3) include samples of proposed exterior paint colors & materials, and (4) submit a written narrative explaining the project design and describing details of the proposed revisions. On September 11<sup>th</sup>, 2024, the Town received a revised set of plans and a written 4-page narrative as the DRB requested. MMPA has reviewed the re-submittal package and finds the plans meet minimum Code requirements and appear to include the information requested by the DRB.

The existing one-story house has a sloped / tiled roof, that will remain. The proposed new covered / enclosed entry is box-like over an existing courtyard walkway leading to the front door. The Code allows the top tie beam to be no more than 22’ above BFE + 1’ FBC freeboard – the existing tie beam is about 9’ above that elevation. The proposed raised entry feature top beam is shown at about 13’-7” above BFE + 1’ FBC freeboard, well below the allowed building height. The property has a few non-conforming features, including hardscape setbacks (pool deck / walkways) and landscaping. The plans show the removal of some existing hardscape encroachments to meet current Code requirements and some landscaping improvements (add Street Trees / other). The Miami-Dade County Property Appraiser website lists the structure as being originally built in 1955-56. The Town’s 2006 Historic Structure Survey listed the existing architectural style as Masonry Vernacular with some Post-Modern features. The renovated single-family home will be a contemporary architectural design. The proposed entry feature is flush with the existing front of house setback and the new stucco scoring will be applied to the existing house facades. This will be verified at the time of building permit. At this point the issue to be decided by the DRB is one of “aesthetics / good design”.

## **COMPREHENSIVE PLAN / ZONING**

**Comprehensive Plan** – The property has a Future Land Use Map (FLUM) designation of “Low Density Residential”. The maximum allowable base density is six (6) DUA. The proposed use and density of the property would be consistent with the applicable FLUM designation of the property.

**Land Development Regulations / Zoning Code** –The property has a Zoning Classification of RD Single Family Zoning District. The proposed use and density of the property is consistent with this zoning classification. The following Zoning and Planning sections of the Code apply to this proposal: Section 23-3 (Use Regulations RD Single-Family District), Section 23-9 (Minimum Size of Living Units), Section 23-10 (Minimum Size of Building Lot), Section 23-11(A) (Land Development Regulations RD Single-Family Area) and Section 23-12 (Land Development Regulations General Provisions). In addition, the Town has separate regulations for landscaping, driveways and building material regulations.

## **PLATTING**

The site will not require re-platting, as the site is currently platted as described above under the legal description (single lot).

## **SUMMARY / SUGGESTED CONDITIONS & SITE PLAN COMMENTS**

The latest site plan & architectural plans submitted for renovations (exterior & interior) of an existing single-family house at 1231 101 Street meet or exceed most current Town Land Development and Landscape Code requirements (limited ability to require complete compliance). The applicant previously submitted plans that were reviewed and commented on by MMPA / Town staff and all previous comments and issues have been addressed by the current plans. As stated above, the DRB initially reviewed this application on April 16<sup>th</sup>, 2024, but deferred the matter for some suggested revisions. The DRB reviewed this application a second time on June 17<sup>th</sup>, 2024, but deferred the matter again as they found the submittal incomplete and requested revisions. The following conditions of approval are recommended if the DRB approves the project:

- 1) This approval is based on the latest revised plans prepared by Consulting Engineer Arshad Viqar, P.E., received by the Town on September 11<sup>th</sup>, 2024, with any modifications required by the Design Review Board (DRB). Any modifications to the above plans shall be reviewed by Town staff and may require re-approval by the DRB if felt to be substantial.

**TOWN OF BAY HARBOR ISLANDS  
MINUTES OF A DESIGN REVIEW BOARD MEETING**

A Regular Meeting of the Design Review Board was held on Tuesday, October 1, 2024, at 7:06 p.m. The Meeting was opened with the pledge of Allegiance. Upon roll call, the following Board Members responded:

Chair Steven Hurwitz

Vice Chair Alan Bebchik

Board Member Janet Adler

Board Member Alexander Feldman

Board Member Jed Frankel

Board Members Matthew Barnard and Wesley Kean were absent.

Town Attorney Geller swore in the individuals who addressed the Board.

1. Request for approval for an exterior alteration for “Corey & Eliana Goldman” located at 1260 99 Street, Lot 5 of Block 28. The owners are proposing the removal of two existing windows. One in the primary bedroom and the other in the 2nd bedroom.

Michael Fine, 5055 Collins Avenue, Miami Beach, Florida, was present on behalf of the property owner. He came forward and presented the proposed project for removal of one window from the side of the house that is not visible from the street and one in the back, and close in the area.

There was a brief discussion on the reason the request came before the Board, which was due to a 2008 Town Council resolution that requires the removal of windows to be addressed by the Board. It was noted that the vegetation blocks the neighbors’ view on the east and a new house is being built on the west side.

There were no public comments.

**ACTION:** Board Member Frankel made a motion to approve the request. Board Member Adler seconded the motion, and all voted in favor.

2. Request for approval for an exterior renovation for “Shani Kagan & Beaujon Davidson” located at 1231 101 Street, Lot 15 of Block 25. On April 16, 2024, and June 17, 2024, the Board deferred the project. The owners have submitted the revised plans. The resubmittal package meets minimum code requirements and appears to include the information requested by the DRB. The owners are proposing to renovate the existing exterior house facade with a raised front entry & foyer / wood-appearing stucco siding and new doors and window locations.

Joana Suarez, 1231 101 Street, came forward and presented the changes that were discussed by the Board at the June 17<sup>th</sup> meeting. Sample materials of travertine tiles for use at the front of the house and vinyl ceiling with Tiger wood flooring for the entryway were presented to the Board. Ms. Suarez explained that the side of the house will be painted and will have the same kind of entryway. Previously, the entire house was non-symmetrical, and a soffit will be added to the right side to make the house all symmetrical.

Chair Hurwitz asked about the finished material that would be used on the side of the house. Ms. Suarez said she'll will have to confirm.

Vice Chair Bebchik asked what glazing was being used as the windows in the rendering seem to have some reflection. Ms. Suarez believed it was a clear window but would have to confirm with the contractor. She explained that the last time the project was before the Board, they requested the swatches and to make the whole soffit the same dimensions, which is what was being done as outlined on the right and the left to make the entire house symmetrical. She also noted that the back covered patio will be similar to the front.

Chair Hurwitz asked what material will be used around the front windows. Ms. Suarez responded that there would be travertine tile throughout the whole window. He asked if they were framed as they appear darker. She believed they were brown windows with two lights.

Board Member Adler asked about the trim around the house. Ms. Suarez stated that she brought the swatches for the vinyl ceiling, the floor, the tile, and the paint color for the house to the meeting. Right now, the property has the right soffit, and soffit will be added to the left to make it symmetrical. The contractor will use the framework that is shown in the narrative.

Chair Hurwitz stated that the project has been before the Board several times and great improvements were been made. The suggestion by the Board was to have the left side of the house look like the right side because the soffit levels were not equal. He expressed concern that the proposal looks and feels like a new house. It is not an addition; it is not matching something that is existing, and it has all new finishes. Other than the samples, details are lacking on the windows, which is what the Board is asking about.

Vice Chair Bebchik added that the details were not provided, and Ms. Suarez does not have the answers. The Board, as a team, expects a full submittal package in order to move forward. While the project looks better than the previous one, it needs more details.

Chair Hurwitz stated his concern about the details of how the stone is installed. At the side of the house the stone is slapped on to the front, but it doesn't return around the side, and no details are shown as to what it would look like. It looks as if it hasn't been thought out and not properly installed. He was also interested in knowing the color of the windows and the trim around the house.

Board Member Adler pointed out that the windows on the side of the house look like they are inverted into the house itself and like they are protruding out, the windows in the front look like they are trimmed with something.

Board Member Feldman felt that the house looks nice. It is symmetrical, it matches, and the entryway makes sense. He liked the intent and what was presented, but agreed the window details were needed.

Board Member Adler questioned why a scope would be needed in the front door if it is clear glass.

Board Member Feldman pointed out the window schedule on Page A2 of the plans, which seems like there would be an aluminum glass fixed window. It does seem like all the windows will be the same as per the window schedule.

Ms. Suarez showed a video of the property.

Chair Hurwitz advised that the project is a great improvement, but there were concerns about some of the details. He asked if it was possible to approve the project with conditions.

Regarding the stone on the front, Town Planner Michael Miller, offered the idea of wrapping the corners. Discussion continued regarding the possibility of approving the project with conditions, Town Planner Michael Miller's idea to wrap the corners as it pertains to the stone on the front, the Board not wanting to hold up the project assumption that the bronze color that matches the house would be used on the windows, and the idea that the stone should come around the house and return at least a few feet to give a little bit of structure.

Board Member Frankel asked for a description of the landscaping. Ms. Suarez stated that the landscaping is not on the plans. The idea is to keep the existing landscaping and add some very modern greenery. He asked what is on the sides to buffer from the neighbors. Ms. Suarez said it will be grass. Town Planner Miller explained that the project is an upgrade, because it is an old house. They will be adding some traditional trees and shrubs to meet the current code. Chair Hurwitz asked if there was landscaping along the side of the house. Ms. Suarez said there will be none.

Board Member Frankel asked for details on the fence, whether it would be around the perimeter or just the sides. Ms. Suarez responded that the fence will be metal, and she believes it will be just at the front. She said the landscaping will be as seen in the video that was shown.

**ACTION:** Vice Chair Bebachik made a motion to defer the request and for someone with knowledge of the plans and how to answer the questions of the Board attends the next meeting. Board Member Frankel seconded the motion, and all voted in favor.

Chair Hurwitz informed Ms. Suarez to let the client know that someone who knows all the details on the windows, the landscaping, and fence, and all the things the Board discussed should be present at the meeting.

3. Request for approval for a new multifamily dwelling for "10190 BH 27D LLC" located at 10150 -10190 East Bay Harbor Drive, Lots 1-2 / 19-20 of Block 6. The developer is proposing to construct a twenty (20) dwelling unit townhouse development. The proposed building will be three (3) stories in height with two (2) floors of residential over one-story of garage / foyer / guest suite and bathroom @ 30-feet above BFE + plus 1' FBC. The proposed building will not require any TDR's.

Matt Amster and Michael Annapolis, Bercow Radell Fernandez Larkin & Tapanes, 200 South Biscayne Boulevard, Suite 300, Miami, FL, were present representing the Applicant, Regency Group Development, LLC. Also in attendance were Kobi Karp and Marcos San DeLeon, Kobi Karp Architecture & Interior Design Inc., 571 NW 28<sup>th</sup> St, Miami, FL.

Mr. Amster stated that there are multiple two-story buildings on the property, and they are proposing a three-story multi-family building that would have the feeling of town houses. There are number of existing and approved buildings in the area that are taller. The project is below density for the RM-2 District, 34 units could be built, but 20 is being proposed. At three-stories, the building is below the 65-foot height that can be built.

Chair Hurwitz questioned why the project was so underdeveloped relative to the height. Mr. Karp explained the developer's liking for townhouses that they worked on, which were very successful, plus they wanted something different from the buildings he already has in the town. Additionally, the site provides the opportunity for the townhouses to face the street, which is a better solution for the site. He described the project with private gardens in the front and a unique pedestrian entry. As recommended by town staff, the corner treatments towards 102 Street versus 101 Street look different. There is a stepping back effect along the street, the homes have rooftops with summer kitchens, nice façade treatments, and stones wrapped all the way around. The townhomes have a garden and a rooftop. He submitted material sample boards for the finishes and described the elevations. Mr. Amster added that there will be extensive landscaping throughout the street fronts.

Board Member Adler asked about the absence of a pool. Mr. Karp stated that each individual owner may want to have a plunge pool, jacuzzi, hot plunge, or cold plunge on the roof.

Board Member Frankel asked if the townhouses will be condominiums, and Mr. Amster confirmed the townhouses will be a condominium form of ownership. Mr. Frankel asked if the street that runs through the project is private and does not have to be maintained by the town. Mr. Amster confirmed. He added that it was a way to internalize all the access and parking. The project requires guest spaces, which are on both the north and the south sides to meet that requirement. The two parking spaces per unit is all in the internal garages.

Board Member Frankel expressed concern that people are converting the bottom floor of their townhouses that was originally a garage into another bedroom or a study, and they end up parking their cars out on the street, instead of in the garage that was originally designed for parking. He advised of the importance for the parking to remain dedicated to parking vehicles and are not to be converted for any other purpose. He would like a restriction in the Condominium Documents that the garages are to be maintained as such and not used for any other purpose and be made a part of any condition of approval. Mr. Amster stated that according to the Condominium Documents, the garages are meant to be used only for parking purposes.

Board Member Adler asked if the sidewalk on East Bay Harbor Drive in front of the building will remain. Mr. Amster stated that it is part of the town's right-of-way and likely has some parking spaces there. When projects have to be redeveloped, most of that parking on the street gets removed and turned into the sidewalk, street trees, and landscaping on their property. He also confirmed there will be a sidewalk.

Chair Hurwitz asked if there are dedicated visitor's parking in the project. Mr. Amster stated that there are four (4) guest spaces. Each unit requires two (2) spaces, and every garage has the two (2) spaces, there are 40 spaces for 20 units, four (4) additional guest parking spaces on the private property, one of which is a handicapped parking space.

He stated that not only is the parking required, and the garages would have to stay for parking, but they are below grade and could not be converted legally to habitable space.

Vice Chair Bebachik inquired as to whether this project would have an issue with FPL similar to a previously approved project that had to come back before the Board. Town Planner Miller responded that there was a safety issue involving FPL, requiring them to revisit the project to address the concern. He explained that FPL typically objects to doing underground work in small segments due to potential outages and limited access to backyards, preferring instead to tackle an entire block at once. In this case, they opposed the single-project approach. Therefore, conduits were installed to allow for future undergrounding, which also accounts for setbacks and safety requirements regarding the distance between wires and nearby structures like balconies or the back of the building.

Vice Chair Bebachik asked for an explanation of the four facades and the proposed materials. Mr. Karp explained the materials of stone, bleach wood, and mahogany, and the vertical design for privacy. He stated that as people drive around the public rights-of-way, the unit's step-in, they never align. They took the inspiration of the curve as each one stands on its own, the end units face the street and have their own facades.

Chair Hurwitz asked about the fencing in the front for the private areas and if a hedge was behind the fence. Mr. Karp stated that it's a vertical aluminum picket fence that will have landscaping in front and behind. Chair Hurwitz stated that the wood fencing seems very heavy. Mr. Karp responded that they could study the fencing and lighten it up a bit. Chair Hurwitz suggested adding more spacing, because it seems like a wood wall. He referred to a home on West Broadview Drive that has a wood fence with landscaping behind that is very light, very transparent.

Chair Hurwitz asked for an explanation of how the rooftop is structurally installed. Mr. Karp explained that because they want to have an activity on the roof, it is vertical aluminum, then horizontal and catches on both sides.

Chair Hurwitz asked about the colors for the facades. Mr. Karp described the bleach wood and driftwood colors, light mahogany, light tone, exterior stone, and grey stucco with golden bronze metal around it.

All Board Members commended the beautiful project. Board Member Feldman liked that elevators will be in all of the units and that the project is different than the existing townhomes in the island and are much wider, very useful. Board Member Adler appreciates the sidewalk that is different. Vice Chair Bebachik appreciated that the Applicant did not build to full density.

**ACTION:** Vice Chair Bebachik made a motion to approve the project with the conditions outlined in Town Planner Michael Miller's Staff Report and that information be included in the Condominium Documents that the parking garage must remain and not be used for any other purpose. Board Member Feldman seconded the motion, and all voted in favor.

Mr. Amster clarified that they will work with FPL if they agree not to underground that one pole.

4. Request for approval for a new multifamily dwelling for "9720 West Bay Harbor Drive, LLC" located at 9720 West Bay Harbor Drive, Lot 27 of Block 3. The developer is proposing to construct a new nine (9) dwelling unit mid-rise development. The proposed site design incorporates one rectangular-shaped building positioned east / west on the site. The proposed building will have seven (7) stories in height with six (6) floors of dwelling units on top of a grade level parking garage at 65-feet above BFE plus + 1' FBC. The proposed dwelling units will range from 2,334 to 4,252 square feet of A/C space plus balconies. The proposed building will not require any TDR's.

Marie Mihalik, Studio Design by Gloria, 7600 Coquina Drive, North Bay Village, Florida came forward and presented the project for a 9-unit multifamily building. She referred to Sheet A004 of the renderings to show how the project fits in context and scale with the proposed adjacent developments. She added that the elevator is shifted to the single lot side of the development, which coincides with their tower. On the side with the double lot, the balconies are more in line with each other and stepping back. She referred to the ground floor plans and mentioned the nine (9) 3,000 square foot units of three (3) and four (4) bedrooms, 18 self-parking spaces, one handicapped space, and a semi paved drop off area. The main pedestrian, visitor, entrance lobby are all located directly off the main street, as well as the vehicle entrance drive.

Chair Hurwitz asked if visitor parking is on the outside. Ms. Mihalik stated that the semi permeable pavement area is the drop off area. He asked if there is a garage door, and she confirmed.

Ms. Mihalik stated that at the ground level, one side has the waterfront, the landscaping and amenities for the residents.

Chair Hurwitz asked Town Planner Miller if there are any exceptions that the Board should be looking at. Mr. Miller explained that they are proposing a wall behind another screen against the parking space.

Ms. Mihalik referred to Pages A102 and A103 of the renderings with Levels 2 and 3 where the units starts. Each of the units have both street and water frontages. Levels 2 and 3 have three-bedroom units. Each unit has a private entry with the elevator vestibule, one side into one unit and one side into the other. The setbacks begin at Level 4 from both the north and south sides, and Levels 5 and 6 have two (2) townhouse units per floor. Level 7 has a 4-bedroom unit penthouse, the rooftop level is an amenity deck with the elevator vestibule, accessible restroom, an outdoor entertainment area, outdoor small gym exercise area, and the pool is towards the west side of the site by the water frontage and setback 5 feet from the roof edge. She referred to Page A907 and explained the overall shape of the building.

Landscape Architect Felipe Masquiera came forward and presented the landscape plans.

Ms. Mihalik explained the garage screening element (A401/LA4) to address concerns regarding visibility into the garage from the adjoining properties and controlling light from the cars, as well as the garage lighting. The proposal is to use linear vertical metal elements coming from the ground up and suspended from the balcony below, not quite in line with each other, which would give some ventilation and visibility of the landscaping but block the garage and car lighting. In addition to those vertical louver elements, they are proposing a series of vegetation layers, and the site wall would also be at the perimeter of the property. Discussion took place regarding the number of parking spaces. It was clarified there are 19 spaces.

Discussion took place regarding the uniformity of the curtains, that condominium can allow a certain color shade, the window finish, exterior elevations, and the project as a big change from what's on the street now.

**ACTION:** Board Member Feldman made a motion to approve the project with the proposed screening of the garage and the conditions outlined in Town Planner Michael Miller's Staff Report. Vice Chair Bebchik seconded the motion, and all voted in favor.

**ADJOURNMENT:**

There being no further business to discuss, the meeting was adjourned at 8:26 P.M.

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**CHAIR**

**ATTEST**

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**TOWN CLERK**

**TOWN OF BAY HARBOR ISLANDS  
MINUTES OF A DESIGN REVIEW BOARD MEETING**

A Regular Meeting of the Design Review Board was held on Tuesday, August 6, 2024, at 7:04 p.m. The Meeting was opened with the pledge of Allegiance. Upon roll call, the following Board Members responded:

Chair Steven Hurwitz

Vice Chair Alan Bebchik

Board Member Janet Adler

Board Member Wesley Kean

Board Member Alexander Feldman

Board Member Jed Frankel

Board Member Matthew Barnard was absent.

3. **Request for approval for a new multi-family dwelling for "HORIZON AT CASA VERDE, LLC" located at 1130-1150 93 Street, Lots 3-5 of Block 17. On March 5, 2024, the Board deferred the project due to some design considerations. On May 28, 2024, a revised site plan application was submitted for modifications as requested by the Board. The revised plans have reduced the number of dwelling units from 43 DU to 39 DU. They have adjusted the breezeway to be fully open from levels 3 through 7. The entry canopy has been enlarged for a more prominent entry feature. The developer is proposing to construct a new thirty-nine (39) dwelling unit mid-rise development. The proposed building will have seven (7) stories in height with six (6) floors of dwelling units on top of a grade level parking garage. The proposed revised building would require the developer to acquire 1 TDR.**

Markus Frankel, President and Ifhat Benayoun Fishman, Vice President of Frankel Banayoun Architects, Inc., 1166 Kane Concourse, Suite 200, Bay Harbor Islands, Florida, were present on behalf of the request. Mr. Frankel came forward and explained the changes made as a result of the concerns expressed at the May 5<sup>th</sup> Design Review Board (DRB) meeting, regarding the site plan and the density. The units were reduced from 43 to 39, the density for the parking changed from 86 spaces to 78, and one service space was placed in the front yard. Adjustments were made to the atrium breezeway as the Board wanted it to be more powerful, more connecting, and more colorful, and to the site plan, particularly the entry to the site.

Mr. Frankel displayed the renderings and explained the site location on 93<sup>rd</sup> Street across from Ruth K Broad k-8 School. He pointed out the primary access to the site from West Bay Harbor Drive and other accesses to the property.

He described the ground floor with the lobby and the atrium breezeway open to the sky with hanging gardens down from the roof to the second floor, from Level 2 through the rooftop. He stated that more intense landscaping and greenery were added at the ground level of the site, continuing up the atrium breezeway, as expressed by the Board.

Chair Hurwitz asked if the trees in the rendering will remain. Mr. Frankel responded that there will be eight gumbo limbo trees. He asked if they were going to be installed at the proportion indicated on the rendering. Mr. Frankel didn't think so.

Mr. Frankel continued with an explanation of the direct entrance from the street through the portico into the building. He added that the rest of the site is heavily landscaped as outlined in the landscape plan. The second floor of the breezeway is the courtyard. The site plan shows greenery on all four sides of the site, 24% is landscaped. Almost all of the parking is in the garage. Two (2) spaces are in the southwest corner of the site and will be screened by 14 feet of landscaping on both sides. Three (3) guest parking spaces are in the front yard, with a total of 78 spaces, plus the drop-off loading space. There is an entry drive on the right side of the site going directly into the parking and an exit drive coming out of the parking at the east part of the site. The second floor has a two-story lobby in the foreground, an atrium courtyard which starts on Level 2, two amenity spaces, and a multi-purpose space on the right with a small area for children. The rest of Level 2 has six (6) apartments that vary in unit types-2 bedrooms, 2 bedrooms plus den, and 3-bedroom units. Level 3 shows how the atrium cuts through the building in half from north to south, then the corridor picks it up from east to west. There are a variety of unit types of 2 bedrooms, 2 bedrooms with den, and 3 bedrooms on the typical Levels 2 through 5, 8 units per floor. The units are smaller as a result of the increased setbacks in the recesses in the perimeter of the units. Some units on Level 6 were combined to large 4 bedrooms with 2 smaller units in the back. The top floor has four penthouse units with the same characteristics, with stairways directly to the rooftop. The rooftop has seven (7) private roof terraces flanking around the central pool terrace, four (4) of which are corner units that link directly to the penthouse units below.

Mr. Frankel described the landscape plans with street trees, Royal Palms and Christmas Palms in the front, the same characteristics as the side yard so the parking is not seen on the first level. There are also hedges, trees, fencing, and walls around the parking garage with an abundance of landscaping on the south side.

## **PUBLIC COMMENT**

Council Member Stephanie Bruder, 1281 94<sup>th</sup> Street, came forward and stated that she was present because of the many calls she received regarding the project that is across the street from the school. Due to her concerns about safety for the children, most of whom walk and ride their bicycles to school, she proposed that speed bumps be installed near the property at cost to the developer. When the cars exit from the property right or left, the speed bumps will slow them down.

David Marom, developer of the project, came forward and stated that he wanted to make sure it is legal to install the speed bumps. Town Attorney Geller advised that the developer could agree on the record to accept the condition subject to its legality being determined by people with jurisdiction over the street. Mr. Marom agreed to have the speed bumps installed.

Board Member Kean asked why the municipality allows for this type of density in that location. Council Member Bruder explained that it would be spot zoning to have a different density for this property. The town has to be fair. There is density for the interior properties and for those around the water. Mr. Kean asked about having a comprehensive review of the zoning to allow lower density for streets along the school.

Town Attorney Geller advised that the speed bumps can be done, as the town owns the streets and has control over what speed bumps can be approved. Absent a determination of illegality, the developer agreed on the record that he would place the speed bumps, subject to control and approval of the town. The town would decide what type of speed bumps, as there are different kinds. He stated that there are restrictions, but it would not be illegal to approve the project without the installation of speed bumps. Where the request is made, the developer can voluntarily agree that absent any condition of illegality, he would voluntarily install town compliant speed bumps. This is not the only measure, and the project could be approved without it.

Board Member Kean expressed concern that the bigger picture is often times projects come before the Board that meet the zoning, but their jurisdiction is design. They may disagree on the massing, scale, and the density of the project that generate the traffic and the issue that is trying to be addressed with the speed bumps, which is a bigger picture in his view. As a Board, they are put in the position to try and be the roadblock to this development based on design, when it is a fundamental problem with the zoning.

Town Attorney Geller advised that it is within the jurisdiction of the Board, under appropriate circumstance, to make a recommendation to the Town Council for possible changes in the Zoning Code that they think are appropriate, the things they consider a bigger picture.

Council Member Bruder informed the Board they would need to inform the Town Council if the code is not working, as these types of projects only come before the Town Council for TDRs and variances. She mentioned hosting a session with the DRB and the Town Planner to review areas of concern, with a recommendation to the Town Council.

Board Member Adler suggested use of working speed bumps similar to those in Key Stone, as the ones on West Bay Harbor Drive do not work. Council Member Bruder stated that when speed bumps were being considered, there was a fear, because certain cars are very low to the ground. She has already spoken to the Town Manager about changing the speed bumps. Chair Hurwitz stated that he, too, is concerned about safety. He added that while he does not disagree with speed bumps in general, there are a lot of other ways to control speed without the proliferation of speed bumps (signs, enforcement, shade-things that interrupt the eye and cause it to be light and dark which has proven it causes people to slow down, narrowing of streets, bump outs, installation of more interesting aesthetic pavers that interrupt the flow of traffic and generally slow traffic).

Regarding Board Member Adler's comments that the speed bumps on West Bay Harbor Drive are ineffective, Town Attorney Geller stated that current staff should be relied on to ensure that any speed bumps installed, or the various things mentioned by Chair Hurwitz, are more effective than those speed bumps that were installed without much forethought.

Council Member Bruder stated that one of the other ideas is to have a right turn from the project. She added that the town is looking at installing speed bumps near the school with new technology where tickets will be issued for speeding.

#### **PUBLIC COMMENT**

Frances Neuhut, 1060 Kane Concourse, came forward and spoke about how dangerous the areas is, speeding in the area, and opposed placing the project in that area.

#### **PUBLIC COMMENT CLOSED**

Board Member Adler asked if the width of the breezeway was changed, because it was a concern at the last meeting. Mr. Frankel said the breezeway was aligned differently, but it's the same width of 20 feet, and it's vertical all the way up.

Ms. Fishman stated that the major change is that instead of the breezeway being enclosed by glass, it's truly a breezeway with glass railings at the edge. It's open air north to south on every floor from Levels 2 to the roof. Before, there was glass wall interrupting the breezeway on both sides.

Chair Hurwitz questioned the change in the units to accomplish the total. Ms. Fishman explained that units were combined on the upper floors. The total project went from 43 units to 39 units, which was achieved by combining larger units into smaller ones. At the last DRB meeting, one of the main objections was the number of parking spaces in the side setbacks. Architect Frankel explained that previously there were 10 spaces in the side setbacks, five on each side. The Board thought it was too congested and there was not enough greenery. The 10 spaces were reduced to four, with two on each side.

Board Member Kean mentioned the possibility of leaving the double height portion of the lobby. Architect Frankel stated that it is a possibility as they had thought about it as well. By making the central portion where the access is with the portico directly into the lobby at one level, then going to the two-story lobby as it continues back to the elevators. Ms. Fishman suggested elimination of the trellis on Levels 2 and 3, and the little terraces that will lower that, and bring the greenery right to the front.

Chair Hurwitz felt that there needs to be further reduction so that all the parking can be in the envelope of the building, and they can be more creative to control the scale of the project. He asked if they could combine two more units to eliminate the spaces in the setbacks. It would have less density, less people, less cars, and fit the parking in the building. Board Member Feldman stated that an alternative is to find a way to fit those four parking spots somewhere inside the building. There was a brief discussion about accessing the parking spaces. It was noted there will be tandem parking and no valet parking. Discussion ensued regarding planting of higher trees in the project.

Board Member Feldman asked if there was a way that would make more sense to incorporate the parking spaces that are in the setback inside the building. Architect Frankel stated that it is not much to have two trees in the southwest and southeast sides. He stated that there is significant landscaping, more than is shown, but those trees could clearly be screening, in addition to the fencing. The fence can be moved closer to the spaces and still have a perimeter fence on the property line. Town Planner Michael Miller explained that the parking spaces meet the code, but it is up to the Board to decide if the tandem parking is acceptable as an alternative parking.

Discussion ensued regarding the parking outside the envelope of the building and the breezeway.

Mr. Morom came forward and explained that the first two lots (1140/1150) were purchased with the approved plans for 30 units with all of the TDRs. They purchased the 1160 property and received the nine extra TDRs. They thought it would be nice to combine the lots and bought the 1160 lot.

Wesley Kean hoped that like the lower floors, the master bedroom at the front façade facing the school on Levels 6 & 7 could be revisited so that it is recessed from the frontage (Sheets A.106/A.107). He asked if any thought design wise was given to not have this sort of repetitive use of the Miami module, the five by ten, established by all the Enoway products, glass module, but maybe breaking down the massing to material usage to make the project more feasible from a development standpoint, as there is a lot of glass. If the concern is about cost analysis, it would help to reduce the cost. He commended the project with use of more linear elements. Ms. Fishman said they can revisit that idea.

**ACTION:** Vice Chair Bebchik made a motion to defer the project. He outlined feedback that was provided with the developer agreeing to pay for speed bumps, turning right from the property only during school hours, all the parking to be enclosed inside the building, providing taller trees, and revisiting the issue with the master bedroom recessed from the frontage. Wesley Kean seconded the motion, and all voted in favor.

1. **Request for a revision for a new multi-family dwelling for "LDC WBHD Property Owner LLC" located at 9110 W. Bay Harbor Drive, Lot 29 of Block 2. On May 3, 2023, the Board approved the site development plan. The developer is proposing to construct a new nine (9) dwelling unit mid-rise development. On July 3, 2024, a revised site plan application was submitted for the removal of the duplex units indicating that the dwelling units will now be ranging from 3,218 to 5,984 square feet of AC space. With the proposed modified design of the units, the exterior facade facing the waterfront has been improved.**

Marissa Amuial, Akerman LLP, 98 Southeast 7<sup>th</sup> Street, Suite 1100, Miami, Florida came forward and presented the request. She described the project that is located on the southeast tip of the east island, that is currently under construction. She added that the project was approved by the Design Review Board in May 2023, and the revised site plan is generally consistent with the previously approved plans. They are back with changes including revisions to Levels 5 and 6, what used to be two level units are now single-level units. The addition of the balcony to Level 6 changed the façade of the building. The exterior façade facing the waterfront has been improved. She asked for approval of the design change along with the other minor modifications.

Koby Karp, Kobi Karp Architecture & Interior Design Inc., came forward and explained that they are looking to introduce an additional balcony on the façade facing the water in the building that is currently under construction. Mr. Karp pointed out the previously approved and the new changes on the renderings. He noted that he met with staff and all the comments have been addressed.

Board Member Frankel asked if the louvered screening materials proposed for the garage level elevation require the Board's approval, if it was different than before, and for Mr. Karp to point out the proposed screening area and location. Mr. Karp referred to the permitted set of plans and described the tropical landscaped drop-off area in the front and the garage that is fully screened and protected from the exterior, which is one of the conditions of the previous approval. The proposed screening is the vertical louvers that are angled. They wanted to have the ventilation, so they have a profile that does not let the light out, but let the ventilation be at the 50%. Mr. Frankel wanted to ensure that the neighbors will not see any cars, car lights, or anything like that. Mr. Karp stated that's part of the condition and part of the permit set reviewed by Town Planner Miller and his team.

Chair Hurwitz asked if additional landscaping will be on the outside. Mr. Karp confirmed. He added that the plant material and the specimen are bigger.

Ms. Amual requested that the conditions outlined in the Town Planner's report be modified as shown by strike through and underlining below:

- 1) This approval is based on the latest revised Site Development Plans prepared by Kobi Karp Architecture Interior Design Planning, dated received by the Town July 3, 2024, ~~as well as any required modifications stated herein, and modifications required by the Design Review Board (DRB).~~ Any substantial changes desired after the DRB's approval may require separate approvals from the Town staff and/or DRB as specified by Code.
- 2) All of the original waivers (parking space tandem layout/closed-in garage design/ landscape strip width) and conditions of approval listed in the Town's 2022 Site Development Plan approval (Resolution No. 2281) and Town's 2023 Site Development Plan approval (Resolution No. 2303) remain in full force and affect, ~~unless~~ except as modified herein.
- 3) ~~If the Town's DRB approves this modified~~ The revisions noted in this modified Site Development Plan, received by the Town on ~~the new~~ July 3, 2024 ~~plans~~ will supersede the previous Town approval (so there are not 2 different Site Development Plans approved for this site).

**PUBLIC COMMENT:**

Frances Neuhut, 1060 Kane Concourse, came forward and spoke about the lack elevations to prevent flooding, the lack of green space, parks, and sidewalks, the community becoming crowded rather than improvement to the neighborhood, and horrible telephone poles and traffic.

### **PUBLIC COMMENT CLOSED**

**ACTION:** Board Member Kean made a motion to approve the project with the conditions as revised and proposed. Board Member Feldman seconded the motion, and all voted in favor.

2. **Request for a revision for a new multi-family dwelling for "BH Investments, LLC." located at 1135 103 Street, Tract F. On May 7, 2019, the Board approved the site development plan. The developer has built a new forty-one (41) dwelling unit mid-rise development. On May 23, 2024, an inspection was requested in anticipation of a temporary Certificate of Occupancy. During the inspection some issues were observed. On July 15, 2024, a revised site plan application was submitted for "substantial" modifications. The original site plan approval included a fully enclosed garage. To comply with the Florida Building Code (FBC), the Federal Emergency Management Agency (FEMA), the garage must be naturally ventilated, meaning the garage cannot be fully enclosed. One side of the garage has been opened for natural ventilation. They propose installing a screen panel to cover the opening. In addition, on the underside of each balcony they are requesting the change of the previously approved material from a light brown "Engineered Wood" to a white stucco finish.**

Marissa Amuial, Akerman LLP, 98 Southeast Seventh Street, Suite 1100, Miami, FL, came forward, on behalf of the property owner, and described the residential building known as Onda, that is located on the north tip of the east island consisting of 41 residential units. In May 2019, the Planning & Zoning Board (now Design Review Board) approved the project. The project has since received a Temporary Certificate of Occupancy and is nearing completion. Issuance of the Final Certificate of Occupancy is pending the Board's review and approval of a couple modifications that is being addressed by the Board tonight. The original Planning & Zoning Board approval included a fully enclosed garage which entails dry flood proofing. The previous Building Official indicated that dry flood proofing of residential structures was not permitted, and because the garage design is below the garage flood elevation, mechanical ventilation is also prohibited. In order to comply with FEMA and other requirements, it was determined that the garage must be naturally ventilated. Therefore, it cannot be fully enclosed. They are back before the Board to request approval of the garage screening. The Staff Report indicates that the proposed ventilation design would be an acceptable solution.

Ms. Amuial requested approval of the modifications based on Town Planner Michael Miller's recommendation.

Ms. Amuial continued to present stating that the utility pad on the southeast corner was constructed, which was less intense than what the Planning & Zoning Board approved. The trash enclosures and transformers were not installed. Instead, the utility area contains a simple concrete pad with a manhole cover for a below ground lift station, relatively more above ground backflow prevention pipes. As staff recommended, the proposed plans show artificial turf on a portion of the utility pad. They would have preferred to maintain the existing condition as is. Regarding the balcony materials, ownership chose the balcony materials because they had serious concerns about durability, weather resistance of the previously proposed materials, given proximity to the water. As mentioned in the Town Code, one of the criteria for consideration by this Board is choice of material and their usage, which shall be conducive to regular maintenance and durability given the town's location to surrounding salt water body. They did not see the balcony change as a major modification and believe it's true to the original intent of the project. Ms. Amuial requested the Board approve the balcony designed as modified.

Ms. Amuial informed the Board that staff requested they address three additional elements of the as built conditions. The five pitch apple trees along the waterfront were not eliminated. They were moved to the other side of the walkway because they were too close to the seawall and were more vulnerable to salt water intrusion. A couple of benches were in the 2019 approval, and the original plans show the dock projecting further out into the bay. They were unable to obtain a variance for that design. Because the marina and dock are much closer than originally envisioned, the view would not be as expansive and the space feels more cramped with the benches there, ownership preferred to maintain the condition as is in order to prioritize the landscaping. If the Board feels strongly about the benches, ownership has agreed to install them. The fire staging area in the southeast corner in the original Planning & Zoning Board approval had a walkway going around the perimeter of the property. The fire department required that they design the area as a fire staging area in the southeast corner. If the area is required for a fire truck, there must be an area to be able to stage them. There is sole connectivity and ability to walk the perimeter of the property. The Staff Report mentioned a designated route to guide users. Ms. Amuial stated that if concern is about signage and connectivity, they can add signage to guide residents back to the marina. She requested that the Board approve the as-built conditions and not require the modifications, so that the trees and the benches are part of the staging area.

Bernardo Fort Brescia, Arquitectonica, 2900 Oak Ave, Miami, FL 33133, came forward and stated that in order to comply with the request to open the garage and keep the look of the original screening with slats, the screening was moved a couple feet away and was installed free standing instead of attached to the garage.

Chair Hurwitz asked about the change to the garage that was fully enclosed and ventilated mechanically, when it was originally permitted.

Ms. Amuial explained that it was then indicated to the team that the dry flood proofing couldn't be done for a residential structure, and it couldn't be mechanically ventilated, because it was below the design flood elevation. The only way to do it was to naturally ventilate.

Board Member Frankel recalled a lot of time was spent on the garage issue, because the Board did not want the neighbors to be adversely affected by headlights, noises, and fumes. He wanted to ensure that the neighbors would not endure any of these issues with the screening materials. Ms. Amuial explained that the reason for the screening is to be a buffer for neighbors, so there is no visibility into the cars and the mechanical equipment. Mr. Fort Brescia added that the landscaping remains and blocks the view in addition to the screening.

Discussion ensued regarding the utility area and the wood portion of the balcony.

Board Member Adler asked how a disabled person without a car would access the building and about the street level entrance to the building. Mr. Fort Brescia explained that one can stay on grade, make a left turn and go into the elevator. Ms. Adler pointed out that the entrance is not seen from the front. Mr. Fort Brescia described the plaza, and the pedestrian walk on Page A101.1 of the renderings. In front of the pedestrian walk on the side, entrance to the elevator and to the lobby is provided. It was noted the main ramp can be accessed as well.

Board Member Frankel asked if the benches are for residents of the building or of the town. Ms. Amuial stated that it's a private bay walk just for the building. Mr. Frankel stated that the Staff Report mentioned that the revised plans were submitted without trees. He asked about the trees that were relocated. Jovany Chediak, Enea, Landscape Architect, stated that the trees proposed along the bay walk were relocated to the opposite side of the bay walk. With the construction of the seawall, part of the engineering required drainage walk for four feet on the back side which impedes, there is also some saltwater intrusion. The tree is salt water tolerant but not capable to thrive in wet and salty soil, so they relocated the trees which were originally along the bay walk to the opposite side, without changing the geometry of the meandering form of the walkway.

In the front area the satin leaf trees will be at 16 feet overall, along the south and west sides they vary between 18 and 22-feet (canopy trees Bulnesia, Verawood, and wild tamarinds) tall in height. Thatch palms that vary between 12 to 18 feet will be on the sides.

Ms. Amual requested that the conditions of approval in the Town Planner’s Staff report be modified as follows:

Town Planner Michael Miller’s Staff Report was entered into the record.

**PUBLIC COMMENT**

Frances Neuhut, 1060 Kane Concourse, came forward and stated that originally the area around the seawalls was to be a sidewalk open to the public. She also spoke about lack of access to the bay. She stated that this project is putting benches that the public cannot use.

**PUBLIC COMMENT CLOSED**

**ACTION:** Board Member Feldman made a motion to approve the project with the conditions outlined in Town Planner Michael Miller’s Staff Report as proposed and modified by the Applicant. Board Member Kean seconded the motion, and all voted in favor.

**ADJOURNMENT:**

There being no further business to discuss, the meeting was adjourned at 8:43 P.M.

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**CHAIR**

**ATTEST**

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**TOWN CLERK**

**TOWN OF BAY HARBOR ISLANDS  
MINUTES OF A DESIGN REVIEW BOARD MEETING**

A Regular Meeting of the Design Review Board was held on Monday, June 17, 2024, at 7:06 p.m. The Meeting was opened with the pledge of Allegiance. Upon roll call, the following Board Members responded:

Vice Chair Alan Bebchik  
Board Member Jed Frankel

Chair Steven Hurwitz  
Board Member Janet Adler

Board Members Matthew Barnard, Alexander Feldman, and Wesley Kean were absent.

Town Attorney Geller swore in those individuals who provided testimony. He introduced his assistant Joseph Elberg from the law firm of Greenspoon Marder LLP.

- 1. Request for approval for an exterior modification for a single-family home of "Jeffrey & Carolyn Horowitz" located at 1231 98 Street, Lot 12 of Block 28. The owners are applying for an "after the fact" proposal for the front facade modification to their existing home. The portion of the eastern exterior front facade was altered from a faux brick material to a vertical "wood" composite material.**

Dean Kotzen, 5000 N 31<sup>st</sup> Court, Hollywood, FL 33021, came forward and presented the project on behalf of the Applicant. He stated that an interior renovation and some other modifications were made to the house. During that time the homeowner did not realize she had to get special approval for pulling the brick off of a portion of the front façade, she had some vertical composite materials installed on the house. She indicated to him that other homes in the neighborhood have the same material on them. It was noted the request is being made after the fact.

Chair Hurwitz asked if the planter was removed. Mr. Kotzen stated that the planters had some cracks and were removed. Mr. Hurwitz asked what was in front of the window addition. Mr. Kotzen stated there was an applique brick, like a stucco pattern. He referred to Photo 1 of the submittals which showed the exposed version. There is a 4-foot section the full height of the horizontal brick pattern and a stucco pattern that extends under the window and through the corner, which is fully installed. Code Enforcement issued a violation for work that was being done without a building permit.

Board Member Frankel asked about the garage door. Mr. Kotzen responded that part of the original permit was to replace the garage door. He noted that a permit was issued for the modification of the house.

Mr. Kotzen clarified that he worked on the windows and the rear of the house. Some modifications were made to the interior that caused some exterior modifications, that were not visible from the street. When they worked with Town Planner Michael Miller as part of that permit process, he opined that they were not required to go to the Board for these items. The only thing visible from the street is the vertical slats. He added that the front of the house was painted.

Additionally, there was an attempt to change the front steps (the walkway leading up to the house) because it was damaged during demolition and construction, but the property owner abandoned that idea, and it will be repaired back to its original condition.

Chair Hurwitz asked if the left side ends at the wall in the front, like the front of the wall goes out or if it just sits flat. Mr. Kotzen stated that there is an actual extension of the original house which goes in. On the other side is a little wing extension of the wall, but he wasn't sure if it wraps the side and then turns around where it would not be seen.

Board Member Frankel noted some other changes in addition to the garage door. He asked if the Board had to approve the sconce-type things and the address over the garage door, or if they were already approved. Town Planner Michael Miller came forward and explained a 2008 Town Council Resolution which gives staff the authority to administratively approve certain things like exact window replacement, painting, and interior work. The resolution also authorizes staff to make the determination as to what are substantial changes, which are required to go before the Board. The change from brick to wood was considered a significant change.

Board Member Frankel pointed out a concrete wall on the west side of the building that is visible from the street, that was not in the prior pictures. He asked if there is a plan to install landscaping to hide the wall. Town Planner Miller explained that the town requires screening of mechanical equipment in side yards from the street and from the neighbor. In this case, the solid wall would screen anything from the neighbor. When the inspection is done, if the air conditioning unit or the pool pump is visible from down the street, they will be required to screen it. It was noted the construction is still ongoing.

Board Member Frankel commented that three or four after the fact requests came to the Board recently. He wondered if additional advertisements or an informational sheet should be distributed when permits are applied for, stating that exterior work requires review by the Design Review Board. Town Attorney Geller commented that it does not set a precedent when the Board does something. The purpose of the Board is to make sure the rules are followed, and that things are consistent in the community, and something doesn't constitute an eyesore. If somebody presents to the Board and they didn't comply initially, the double permit fee will address that. Unless they are doing something odd or bizarre that is a real departure from community standards, they should not be denied. There is a process, and if it is not enough of a penalty to fine them and charge a double permit fee, the code can be changed to provide for stiffer penalties.

**ACTION:** Vice Chair Bebchik made a motion to approve the exterior modifications with the conditions in Town Planner Michael Miller' Staff Report and to ensure all of the proper landscaping is installed before the construction, so there is proper hedging, particularly on the fence on the west side. Board Member Adler seconded the motion, and all voted in favor.

2. Request for approval for an exterior renovation for “Shani Kagan & Beaujon Davidson” located at 1231 101 Street, Lot 15 of Block 25. On April 16, 2024, the Board deferred the project. The owners have submitted the revised plan. The owners are proposing to renovate the existing exterior house facade with a raised front entry & foyer / wood-appearing stucco siding and new doors and window locations.

Harel Bitton came forward on behalf of the property owner and Applicant Shani Kagan. He stated that at the last meeting, the Board expressed concern that the two front flat roofs did not match the height of each other. Chair Hurwitz recalled that one of the specific comments was that the left- and right-hand roof lines was thinner or thicker. He stated that the roof line on the right-hand side looks like it’s double or triple as thick than on the left-hand side. Mr. Bitton presented the new proposal and explained that the soffit lines are now matching. He mentioned that the Board had put forth the idea of raising the roof, but it would be a costly change for the owners.

Chair Hurwitz asked about the information in Pages A2.3 and A3 of the plans as the isometrics do not match. Mr. Bitton stated that they match.

Discussion took place regarding the new and old proposals to differentiate the changes. Chair Hurwitz asked staff to make certain that proper information is provided to the Board so that there is no ambiguity in what is being reviewed or approved.

It was noted that this project commenced without a building permit.

Mr. Bitton stated that he was present when the project previously came before the Board, and he is present on behalf of the property owner who is sick.

Vice Chair Bebchik stated that he did not understand the proposal as to what they were trying to get approved and how the old and new modifications will fit together. He advised that the Board expects a high quality of deliverables that are not seen in this project.

Chair Hurwitz questioned the addition of wood elements in between the windows on the left and the right-hand side. He didn’t understand the purpose of the wood on the door and the one additional section of wood on the left-hand side. Mr. Bitton stated that the left side has three windows, and the right side has two, it’s like a separation between the windows. Chair Hurwitz asked for samples of the material for the wood. Mr. Bitton didn’t have samples. Chair Hurwitz requested to see samples of the wood and how it will be installed. He pointed out that the submittal consists of three pages and the majority of it is from the old set of plans. He asked that a complete packet be provided to the Board as there is no indication of the wood material and how it would be installed. Mr. Bitton said it would be hard stucco or flat stucco.

Board Member Adler referred to Page A2.2 of the drawings and asked about the purpose of the small window on the left elevation. Mr. Bitton said it’s a bathroom window.

Board Member Frankel requested that the Applicant provide a picture showing what the house looked like before and after, prior to resubmitting to the Board.

Chair Hurwitz pointed out that the notes on the stucco show two completely different colors that are not in the same range. The information in the pages are inconsistent, one of them says antiquarian brown for the marked stucco and the next page has a different color. He asked Mr. Bitton to provide a swatch or a sample board.

**ACTION:** Vice Chair Bechik made a motion to defer the request. He suggested the applicant have a plan of the materials that will be used, how everything is going to tie together, put a little more thought and effort into the proposal, and submit the package that they want the Board to approve. Board Member Adler seconded the motion, and all voted in favor.

3. Request for approval for a new single-family home for "Yonaton Almagor & Ahuva Greisman" located at 1280 95 Street, Lot 7 of Block 28. The owners are proposing to construct a new two-story single-family home. The proposed new two-story home has approximately 6,593 sq. ft. of a/c living space. The residence will have 7 bedrooms, 7 full bathrooms, and two half bathrooms. The applicant is proposing a pool, pool deck, Jacuzzi, an outdoor kitchen and a covered terrace in the rear of the property.

Fiola Salamanka, 16979 S.W. 290<sup>th</sup> Terrace, came forward on behalf of the property owner and Applicant. She presented the project and explained that the house meets all setback requirements and is pushed back in the front two feet more than the required setback. The proposal is for a modern home with a lot of colors, light, and greenery.

The house consists of seven bedrooms and seven and one-half bathrooms with living room, family room, kitchen, dining room, a gym, and a small sauna. The project will not exceed the 80% volume for the second floor. They have complied with all the rules, and the owner wants to have as much landscaping as possible, which is the reason for the different type of trees and overhangs. For the materials, they are proposing aluminum vertical louvers on the front and are considering some type of coral stone or some type of terrazzo. The front first floor will have the grey porcelain terrazzo, and the second floor will have the powder quarter aluminum in a wood-like color. The house meets the required elevation. After the concrete is finished, the overhangs will be painted with lime plaster to look a lot nicer with a high-end finish.

Board Member Frankel stated that color renderings should have been submitted, instead of black and white. Chief Building Official Mike Mesa stated that, except for the front page, plans were submitted to the building department in that format.

Chair Hurwitz asked staff not to submit packages to the Board that are incomplete, inconsistent, and without the proper information. He spoke of the difficulty in reviewing the plans in black and white, especially when materials are not provided.

Board Member Frankel asked about the location of the retaining wall and what materials would be visible to the neighbor's side. Ms. Salamanka stated that the retaining wall with landscaping will be painted for the neighbors and the property owner has agreed for the wall to be maintained. The wall will run on all sides of the property, as it will be raised two and a half feet. Board Member Frankel asked if landscaping will be on the neighbor's side or if it would be a bare wall. Ms. Salamanka stated that landscaping of shrubs and trees have been proposed for the neighbor's side. He then asked if the fence will not be seen by neighbor once it is installed. Ms. Salamanka confirmed that the fence will not be seen by the neighbor.

Board Member Adler mentioned that there was no closet in bedroom number 3. Ms. Salamanka stated that there will be a wall closet next to the bedroom, because there isn't enough space for a walking closet.

Town Planner Michael Miller's Staff Report was entered into the record.

Chair Hurwitz asked for an explanation of the driveway design as it seems inconsistent on the left and right. Ms. Salamanka explained that the property owner was specific on the design, she didn't want any symmetry.

### **PUBLIC COMMENT**

Frances Neuhut, 1060 Kane Concourse, came forward and thanked the presenter for having the retaining wall. She stated that other projects do not have them, which creates a problem for the neighbors. She advised of the importance of these walls to avoid flooding.

### **PUBLIC COMMENT CLOSED**

Chair Hurwitz mentioned a house in the town under construction that is causing flooding in the back of the property and asked if a retaining wall is required. Chief Building Official Mike Mesa stated that they are required to comply with the drainage requirement of the Town Code and will most likely need a retaining wall.

**ACTION:** Vice Chair Bebchik made a motion to approve the project with the conditions outlined in Town Planner Michael Miller's Staff Report. Board Member Wesley Kean seconded the motion, and all voted in favor.

4. Request for a revision for a new multi-family dwelling for "PPG BHT Owner, LLC" located at 10141-10143 E. Bay Harbor Drive, Lots 9-12 of Block 4. On December 6, 2022, the Board approved the site development plan. The developer is proposing to construct a new forty-four (44) dwelling unit mid-rise development. On March 27, 2024, a revised site plan application was submitted for several revisions to the previously approved plans. The developer is proposing several revisions to include the following. Revisions to the size of some of the dwelling units. Modification to the Breezeway Garden. Some exterior balconies have been enlarged for better circulation. The parking garage has been modified to accommodate a large (700 sq. ft.) FPL vault room, causing a parallel space to be removed due to a column and 8 lifts being added.

Matt Amster, Bercow Radell Fernandez Larkin & Tapanes, 200 S. Biscayne Boulevard, Suite 200, Miami, Florida represented the request on behalf of the owner. He stated that the project was originally approved in December 2022 and the building permit was applied for last November. He described the 44 unit, 7 story proposed building with ground level parking, and amenities for the residents of the building. He added that the FPL vault needs to be reorganized which led to some changes on the ground level, which is part of the reason the traffic statement was redone to show those changes at ground level, which will not negatively affect the neighborhood. The parking is a valet only operation with a variety of different types of parking.

Changes were made to the balconies throughout the building as well as modest changes to the units to make them more workable. The breezeway that goes from the third level up to the covered roof area remains, and the building is code compliant. Some changes were made on the amenity level at the rooftop. He explained the changes with the addition of some stairway corridors at the ground level for the appropriate life safety, and the FPL vault which led to reorganization of the parking. The same entrances and circulation throughout the building remain. There are a few more lifts than was originally approved but is code compliant regarding the number. He showed a layout of the design. A spa and lap pool were added in the center of the building, and minor tweaks were made to the units to make them more efficient. He pointed out changes to the upper floors and balconies to make the balcony more workable, the top of the pool level that is heavily landscaped, opening of the breezeway from floors 3-7, modest changes to units, reorganization and more workable balcony levels. At the roof level, the orientation of some things have changed to provide the appropriate fire, life safety, stairway bulkheads and things of that nature, as well as improvement to the landscaping.

Kobi Karp, Kobi Karp Architecture & Interior Design, 571 NW 28<sup>th</sup> Street, Miami, Florida, came forward and explained the changes outlined by Mr. Amster. He stated that more landscaping was added on the rooftop, the units were made bigger, changes were made to the balconies, improvement to the breezeway, and addition of a lap pool in the space that was previously a sitting area. He noted that half of the units in the building is sold, and the financing is in place to start the construction.

Board Member Frankel asked about the increase to the elevation on Level 2. Mr. Karp explained the elevation referencing Page A4.03 of the renderings. He noted that all material finish are the same. He also referred to Page A5.00 and described the section for the pool with the glass atrium. He indicated that the project has a rooftop community pool, rooftop pools for the penthouses, ground level pools for the units at the lowest levels, and an enclosed pool.

Board Member Frankel asked if the breezeway is going to look the same with no visual changes. Mr. Karp confirmed. He then asked why the driveway was modified from 23 feet wide to 12 feet wide. Mr. Karp referred to Page A3.00 and explained the driveway layout. He mentioned FPL's denial of their request for a transformer on the property and direction for a vault inside of the property, which resulted in having a one way in and two ways out at the other side, instead of a two-way in. Board Member Frankel stated that the Town Planner's Staff Report was critical of the location of the FPL vault and the revisions to the parking area. Mr. Karp mentioned FPL's requirement for the vault on the property. Board Member Frankel stated that staff recommended a portion of the second level could be turned into a parking garage to avoid this issue which would have required loss of space and units. Mr. Karp stated that they wanted to have the residential closer to the street, rather than the parking podium.

Board Member Adler asked about preparation of the outside of the property for the possibility of future FPL utilities undergrounding. Mr. Amster stated that it is a condition for all projects to install a conduit underground for future undergrounding.

Board Member Frankel indicated that the changes to the project are substantial, not minor.

**PUBLIC COMMENT**

Frances Neuhut, 1060 Kane Concourse, came forward and mentioned the lack of notice and participation in this meeting by residents who live near to the project. She spoke about super majority vote for approval of projects in other municipalities, and rusted lifts. She opposed the approval of parking lifts, and suggested the town look at how they are being used.

**PUBLIC COMMENT CLOSED**

Town Planner Michael Miller’s Staff Report was entered into the record.

**ACTION:** Board Member Frankel made a motion to approve the project with the conditions outlined in Town Planner Michael Miller’s Staff Report and that there be valet only parking setup consistent with the site plans. Vice Chair Bebchik seconded the motion, and all voted in favor.

- 5. Approval of the minutes of the Design Review Board meeting held on August 15, 2023.

Vice Chair Bebchik made a motion to approve the Minutes. Board Member Feldman seconded the motion, and all voted in favor.

**ADJOURNMENT:**

There being no further business to discuss, the meeting was adjourned at 8:16 P.M.

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**MAYOR**

**ATTEST:**

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**TOWN CLERK**

**TOWN OF BAY HARBOR ISLANDS  
MINUTES OF A DESIGN REVIEW BOARD MEETING**

A Regular Meeting of the Design Review Board was held on Tuesday, May 7, 2024, at 7:05 p.m. The Meeting was opened with the pledge of Allegiance. Upon roll call, the following Board Members responded:

Chair Steven Hurwitz

Vice Chair Alan Bebchik

Board Member Janet Adler

Board Member Matthew Barnard

Board Member Alexander Feldman

Board Members Jed Frankel and Wesley Kean were absent.

Town Attorney Geller swore in those individuals who provided testimony.

1. Request for approval for replacement of railings for the "Guilford House Condominium" located at 9800 West Bay Harbor Drive, Lots 21-24 of Block 3. The Association is proposing to replace the existing horizontal metal railings across the front of the complex's balconies with glass / metal framed railings.

Claudia Theilkuhl, 20824 San Simeon Way, #102, Miami, FL 33179, came forward and presented the renovation project which includes changing the railing system of the entire building from the old louver type system to an impact glass railing system, making other repairs, painting the entire building, and replacement of exterior windows and doors.

Board Member Frankel asked about the outside columns. Ms. Theilkuhl explained that the bigger balconies will have two metal posts in the middle and one at the end; the smaller balconies will have one post in the middle and one end post.

The Board Members welcomed the changes as a tremendous improvement to the property.

There was no public comments.

**ACTION:** Board Member Barnard made a motion to approve the request. Board Member Feldman seconded the motion, and all voted in favor.

2. Request for approval for exterior modification for a multi-family building "Bay Harbor 1080 Partners, LLC" located at 1060 95 Street, Lot 7 of Block 13. The owners have submitted an application to allow for exterior building / landscaping renovations deemed substantial for an existing 9-unit, two-story garden apartment complex.

Erica Figueroa, 2935 NE 163<sup>rd</sup> Street, North Miami Beach, Florida, presented the project to the Board. She explained the current status of the site with an abandoned building that is in terrible condition. The applicant proposes to refresh the building, keeping the same idea. She described the project of a modern look with glass railings, wood sidings, substantial improvements to raise the finish floor elevation as necessary, since it is below the finish floor elevation. The shell of the building will remain the same. The changes will be to the level of the floors, change out a/c in each unit, keep existing parking lot. She referred to Page DRB 7 and described the elevations for the façade, changes to inside of the units changing

the layout but keeping the same number of bedrooms and bathrooms per unit and changing the roof.

Vice Chair Bechik asked about the materials for the project. Ms. Figueroa explained the materials of stucco for the finish of the building, wood siding finish in certain areas of the façade, elevations will have the same amount of wood siding, all windows and doors will be changed to hurricane impact, pvc roof member, corners will be concrete finish, and composite Belgium board siding.

Board Member Frankel referred to information in Town Planner Michael Miller's Staff Report that some windows and door openings were going to be closed off. Ms. --- referred to Page DRB 4.1 of the Plans and explained that the entire layout of the inside of the units will be changes; and pointed out the changes. She referred to Page DRB.7 and the east elevation, windows,

Board Member Frankel referred to information in Town Planner Michael Miller's Staff Report that some windows and doors openings were going to be closed. Ms. Figueroa provided an explanation from Page DRB 4.1 of the Plans; the entire layout of the inside of the units will not change. From Page DRB.7 she explained the proposal to keep the same open as before

DRB.7 – east elevation, windows and doors- existing windows that is blocked up – keeping same opening as previously (removing and replacing) DRB8 – Closing and changing for new opening for the bathroom. Removing secondary door and adding a windows

### **PUBLIC COMMENTS**

Frances Neuhut, 1060 Kane Concourse, came forward and stated that residents from the building were taken to Camillus House; she spoke about the history of the building, and indicated the property had fines over \$500,000. She owned property across the street and parking was not available; delivery truck parking was eliminated from the alley.

Frances Neuhut, 1060 Kane Concourse, came forward and stated residents from the building were taken to Camilla House, spoke about history of property, had fines over \$500,000, own property across the street and parking is not available; elimination of delivery truck parking in the alley,

Frances Neuhut, 1060 Kane Concourse, came forward and spoke about the history of the building. She mentioned that over \$500,000 was accessed against the building; that she owns property

### **PUBLIC COMMENT CLOSED**

Board Member Frankel inquired of Town Planner Michael Miller if the parking would be considered non-conforming. Mr. Miller explained that there was no requirement in the past to provide off-street parking. There are nine (9) parking spaces in front of the property, which will not change.

**ACTION:** Board Member Feldman moved Town Planner Michael Miller's Staff Report into

the record and made a motion to approve the request. Board Member Feldman seconded the motion, and all voted in favor.

3. Request for approval for an exterior renovation to a single-family home for “Ian Perchik & Nicole Birmaher” located at 10240 East Broadview Drive, Lot 1 of Block 24. The owners are proposing to remodel the exterior and interior of an existing single-family home. The proposed renovations will consist of removing the existing circular driveway with a new rectangular 2 car driveway. As to the facade changes, all windows & doors will be changed to a modern impact design. The existing veneer cladding on the eastern facade (front elevation) will be removed with a new stucco finish.

Brandon Rocky Taylor, Kaylor Architecture, 2417 Hollywood Boulevard, Hollywood, Florida, came forward and presented the project. He described the plan to improve the existing house on the lot; the exterior of the house will remain with the same paint color, look, and feel. The intent is to renovate the interior of the home with new windows and door openings to create more natural light for the space. The driveway in front of the house will be redone for a concrete paver and turf look to provide a more contemporary look. Additional drainage, different landscaping as per code requirements, and fencing will be provided.

Board Member Frankel asked Mr. Taylor to point out the exterior changes. He pointed out the changes on the rendering referring to the east façade, creating additional window openings as a more expansive sliders and windows to the north; on the west side continuing the existing slab out and enclosing it under the house, which will maintain the same look and feel of the rest of the house’s exterior, as well as proving glazing.

Board Member Frankel asked if the dense landscaping on the north side will remain. Mr. Taylor confirmed; he said the only landscaping done in the proposed concept was the turf as part of the driveway and the landscaping to shade the a/c unit from public view. All existing stucco, paint color, roof, and red door will remain the same.

Board Member Adler referred to conversion of the garage into a maids’ room several years ago, and asked if that room will be maintained. Mr. Taylor pointed out the area on the plans and explained that it was built at a different level; maintain the house with the same general intent, raising the floor and maintain the area as a form of an office bedroom. There will be no garage; providing required parking in front of the home on the east side on the driveway.

There was no public comment.

**ACTION:** Board Member Feldman move Town Planner Michael Miller Staff Report into the record and make a motion to approve the request. Board Member Adler seconded the motion, and all voted in favor.

#### **ADJOURNMENT:**

There being no further business to discuss, the meeting was adjourned at 7:41 P.M.

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**CHAIR**

**ATTEST**

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**TOWN CLERK**

DRAFT

**TOWN OF BAY HARBOR ISLANDS  
MINUTES OF A DESIGN REVIEW BOARD MEETING**

A Regular Meeting of the Design Review Board was held on Tuesday, February 12, 2024, at 7:06 p.m. The Meeting was opened with the pledge of Allegiance. Upon roll call, the following Board Members responded:

Chair Steven Hurwitz	
Vice Chair Alan Bebchik	Board Member Janet Adler
Board Member Matthew Barnard	Board Member Alexander Feldman

Board Members Jed Frankel and Wesley Kean were absent.

1. Request for approval of a roof material for “Jacobso Minski” located at 9700 East Broadview Drive, Lot 14 of Block 29. The owner is proposing to replace his existing "S" barrel concrete tile with a Standing Seam Metal Roof (medium bronze color) on their existing single-family home.

The Applicant did not attend the meeting.

Individuals providing testimony was sworn in by Town Clerk Yvonne P. Hamilton.

Town Planner Miller came forward and explained that the existing house is being renovated, and the owner is seeking permission to use a roofing metal that is not specified in the Town Code as one of the normal roof materials. The existing home has a Barrel S Tile Roof, and the Applicant is requesting to install a standing seam metal roof.

**ACTIONS:** Vice Chair Bebchik made a motion to approve the project. Board Member Adler seconded the motion, and all voted in favor.

Vice Chair Bebchik made a motion for the Town Council to consider approving metal roofs as a permitted material to be used in the town. Board Member Feldman seconded the motion, and all voted in favor.

- ~~2. Request for approval for exterior modification for a multifamily building “BAY HARBOR 1080 PARTNERS LLC” located at 1060 95 Street, Lot 7 of Block 13. The owners have submitted an application to allow for exterior building / landscaping renovations deemed substantial for an existing 9-unit, two-story garden apartment type complex. Enclosed please find the elevations and site plan. (Item #2)~~

**PUBLIC COMMENT**

Frances Neuhut, 1060 Kane Concourse, came forward and commented that the Board’s job of reviewing the Causeway Bridge and Town Hall projects was being taken away.

**PUBLIC COMMENT CLOSED**

Town Attorney Geller explained that the ordinance that was passed on first reading states that town projects do not have to go through the Design Review Board. The Town Council has the option to refer projects to the DRB or the Parks & Recreation Committee for comments and to obtain further information. The objective of the ordinance is to not require that something go before the DRB.

Board Member Feldman made a motion that the Town Council be informed of the Board's opinion that Town projects such as the building of a community center and anything related to design of the bridges should be submitted to the Design Review Board for review. Board Member Barnard seconded the motion, and all voted in favor.

Chair Hurwitz explained that the DRB should be used as a resource on such projects, not necessarily for the approval process, but to provide experiential input. Board Member Barnard stated that there is precedent in adjacent municipalities.

3. Approval of the Minutes of the meeting held on January 16, 2024.

Board Member Matthew Barnard made a motion to approve the Minutes. Board Member Feldman seconded the motion, and all voted in favor.

**ADJOURNMENT:**

There being no further business to discuss, the meeting was adjourned at 8:26 P.M.

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**CHAIR**

**ATTEST**

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**TOWN CLERK**