

NOTE: There is a three-minute time limit on all comments from the public, regardless of the subject matter. A request form is available from the Deputy Town Clerk; please fill it in and return it to her prior to the start of the meeting if you would like to speak during public comment. When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Thank you.

TOWN OF BAY HARBOR ISLANDS

SPECIAL COUNCIL MEETING AGENDA

October 24, 2017

CALL TO ORDER: 7:00 p.m.

PLEDGE OF ALLEGIANCE:

ROLL CALL:

1. **Discussion and direction** requested by Town Manager Wasson regarding the addition and remodel of the Town Hall Building. Enclosed are renderings, estimated costs and some options for discussion.

STAFF RECOMMENDATION: Council Discretion

ADJOURNMENT: Approximately 8:00 p.m.

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Town Council with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AGENDA ITEM REPORT

October 24, 2017

ITEM NUMBER: 1.

ITEM: Discussion and direction requested by Town Manager Wasson regarding the addition and remodel of the Town Hall Building. Enclosed are renderings, estimated costs and some options for discussion.

DESCRIPTION:

The following options will be discussed at the Council Meeting:

- Option 1 Existing interior and exterior building renovations plus a 6,000 SF expansion
- Option 2 New 3-story, 20,000 GSF building
- Option 3 Existing interior building renovation with enclosing the open lobby area.
- Option 4 Existing interior building renovation without enclosing the open lobby area.

RECOMMENDED ACTION:

Council Discretion

FINANCIAL ANALYSIS:

- Option 1 (renovate existing building with new addition)= \$7,000,000
- Option 2 (demolish existing building and construct new 20,000 GSF town hall) = \$11,700,000
- Option 3 (renovate existing building enclose open lobby area) = \$3,000,000
- Option 4 (renovate existing building without enclosing open lobby area) = \$2,500,000

BUDGET IMPACT:

Submitted By: Alba Chang, Deputy Town Clerk
Ronald Wasson, Town Manager

ATTACHMENTS

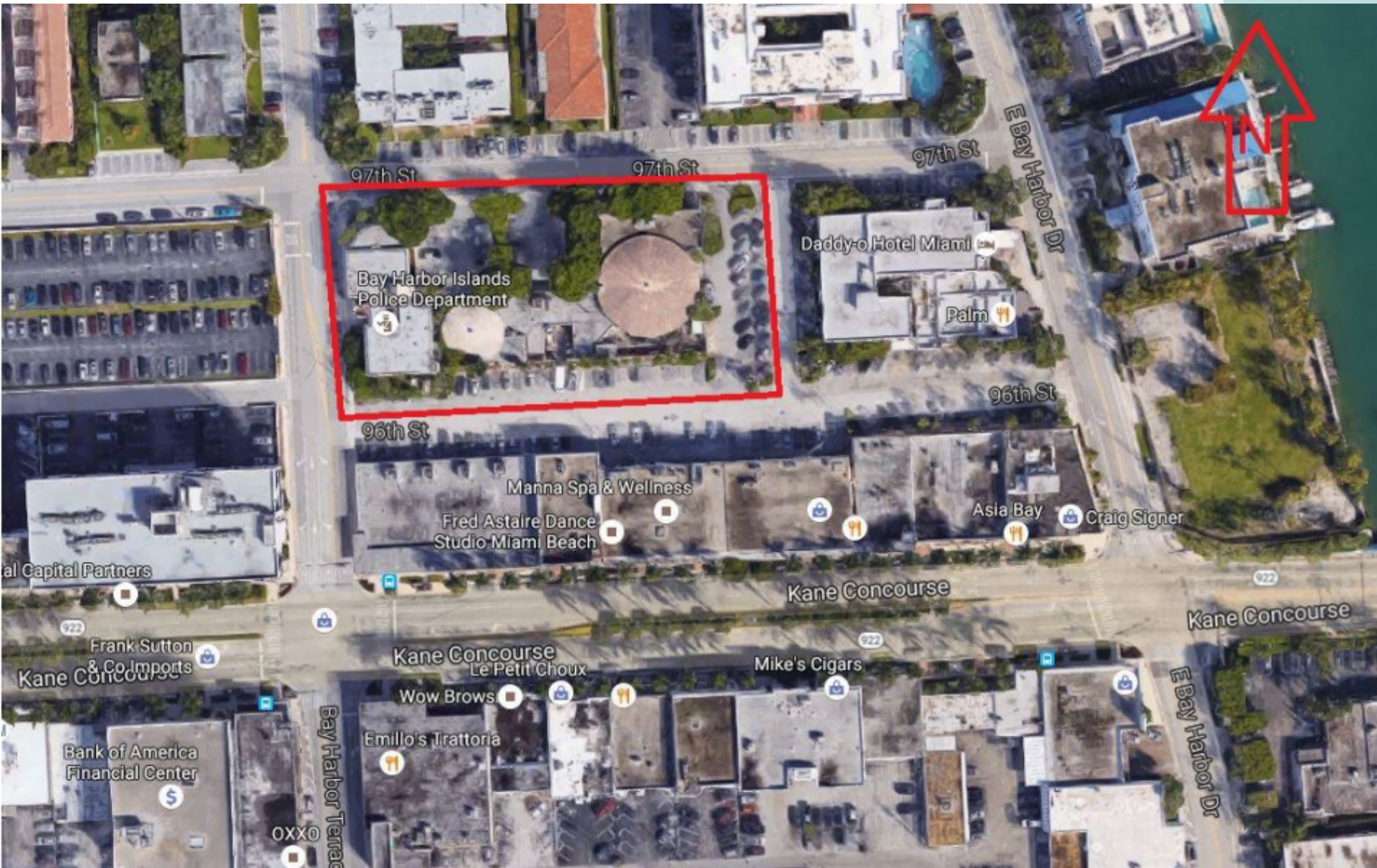
1.	Town Hall Project	BHI Options-rev.pptx
2.	TH Report	Due Diligence Report COMPLETE W. Appendices.pdf

Town of Bay Harbor Islands

Town Hall Evaluation



Location Map



Existing Town Hall (9,500 SF)



Existing Town Hall (9,500 SF)



Town Hall Improvement Options

- Option 1
 - Existing interior and exterior building renovations plus a 6,000 SF expansion
- Option 2
 - New 3-story, 20,000 GSF building
- Option 3
 - Existing interior building renovation with enclosing the open lobby area.
- Option 4
 - Existing interior building renovation without enclosing the open lobby area.

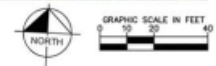
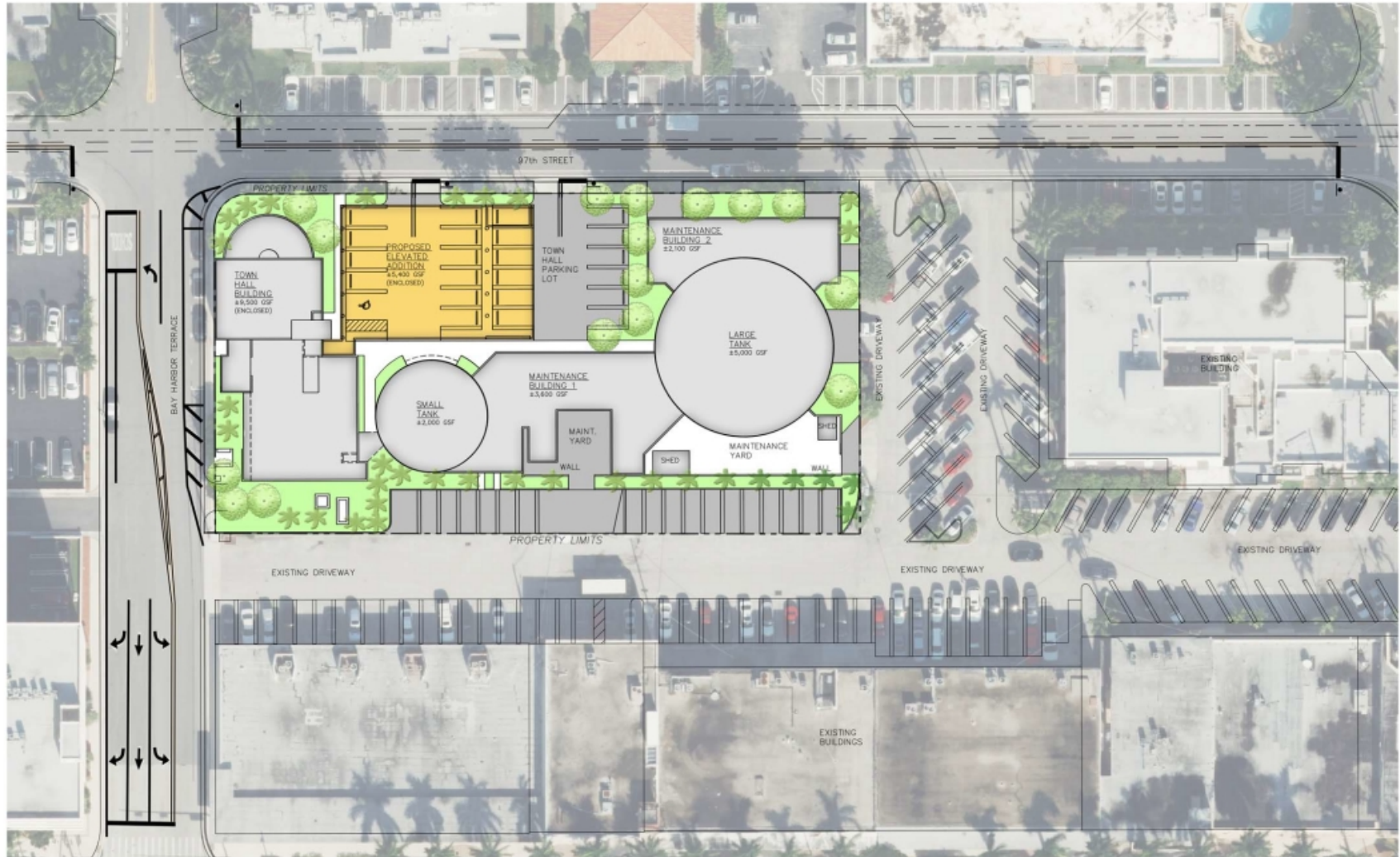
Option 1 - Existing Building Renovation w/ Exterior Improvements

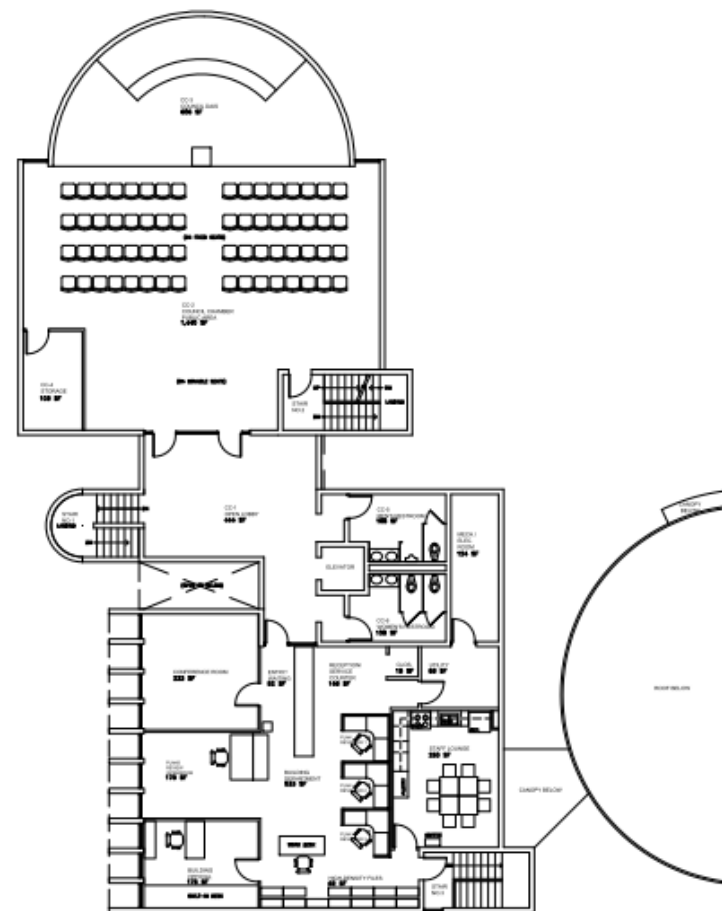
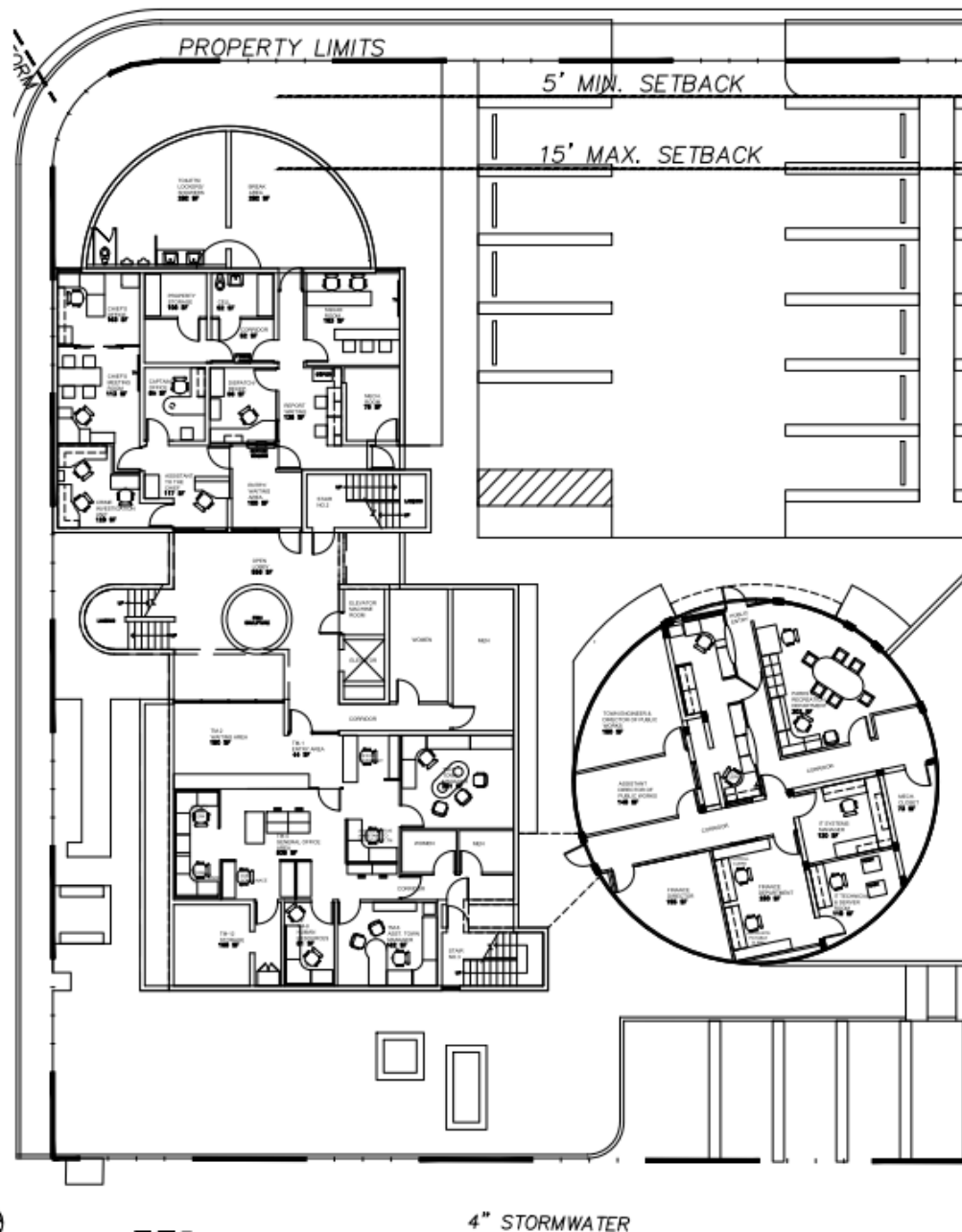


Option 1 - Existing Building Renovation w/ Exterior Improvements



Option 1



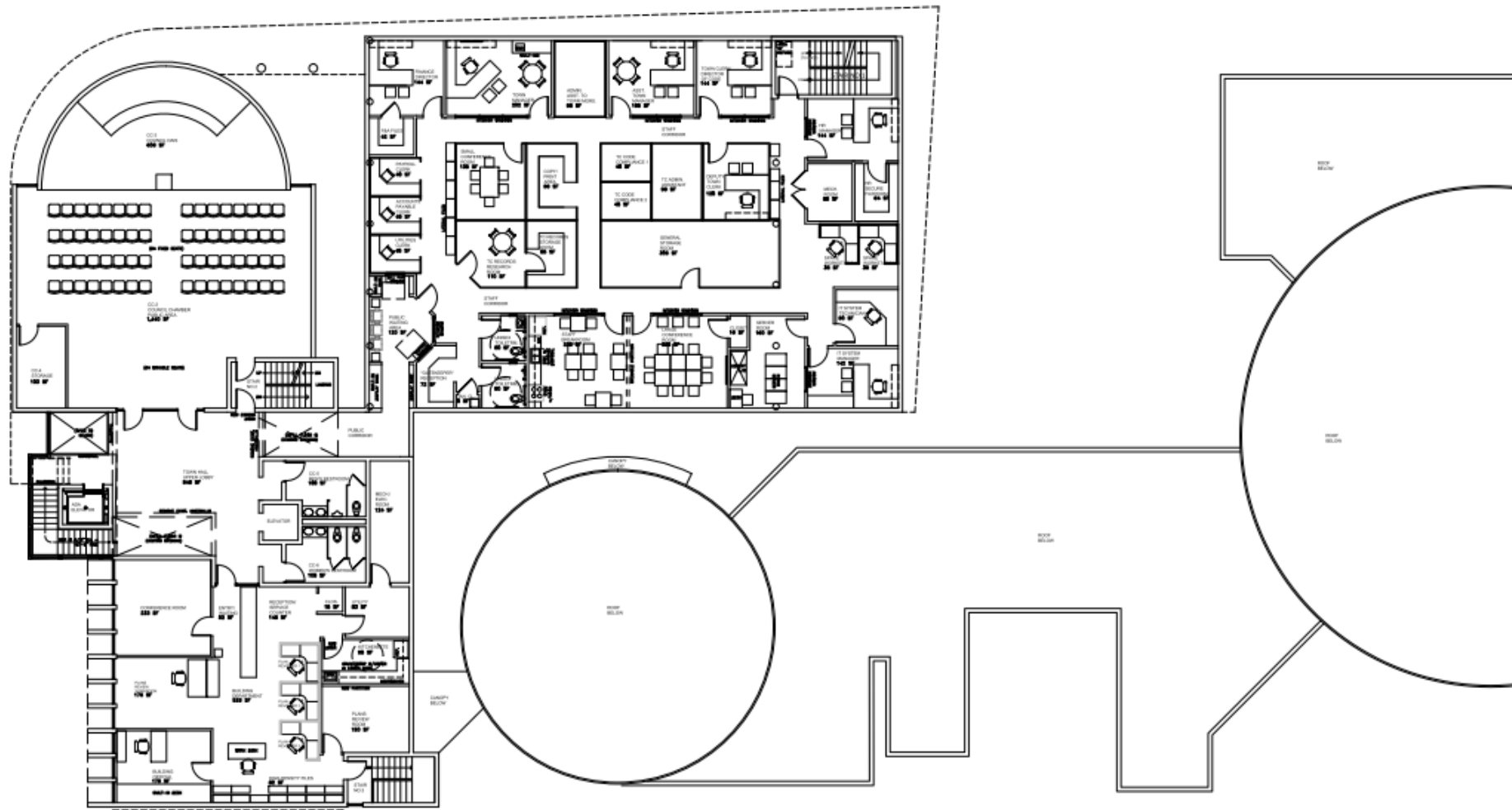


1 EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

2 EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



1

PROPOSED SECOND FLOOR PLAN - BUILDING DEPARTMENT & TOWN COUNCIL CHAMBERS IMPROVEMENTS, AND NEW ADDITION

SCALE: 1/8" = 1'-0"

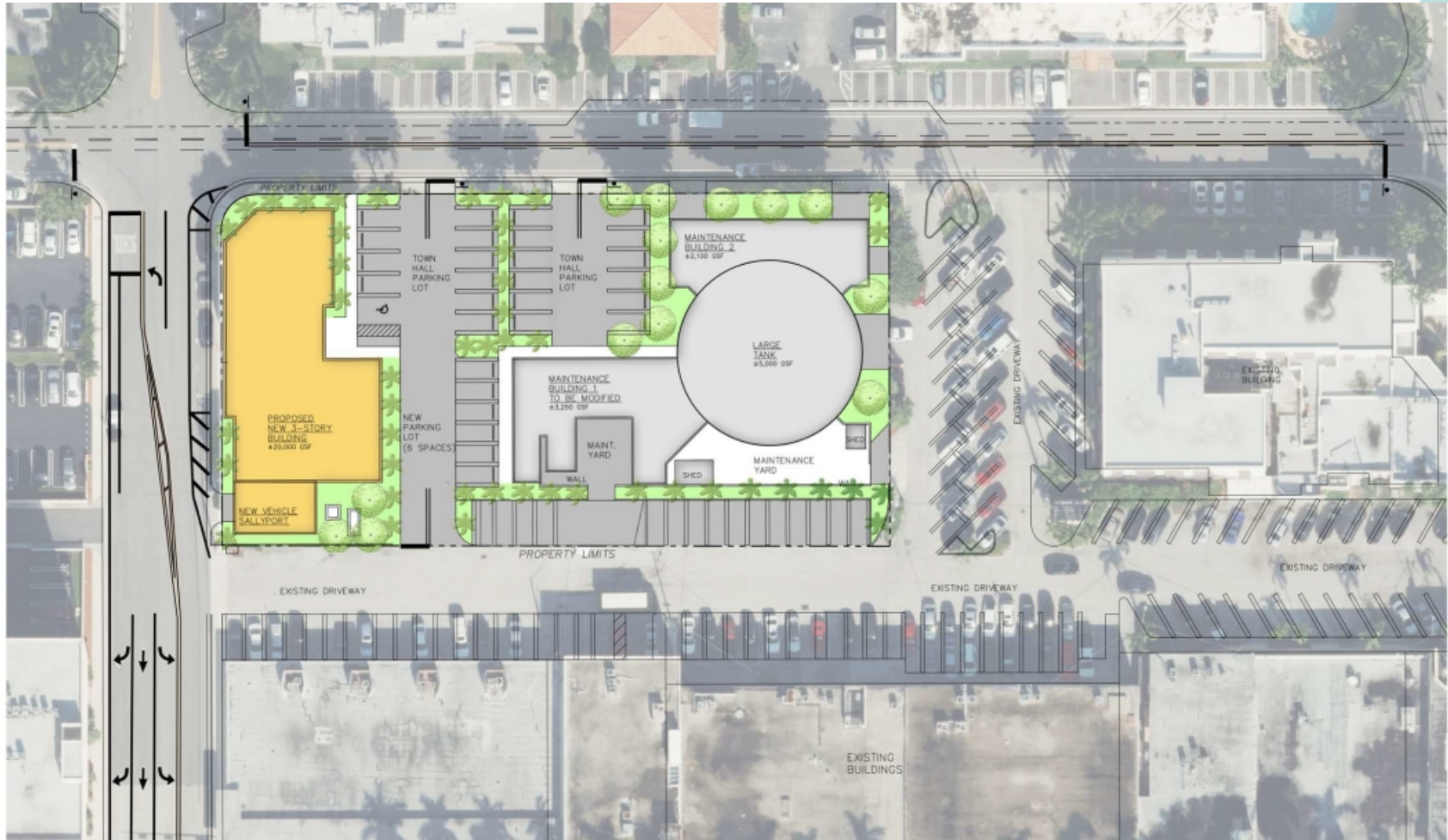
Option 1 – Cost Estimate

Item #	Description	
01	Site Improvements	\$460,032.00
02	New Building Addition	\$2,702,284.80
03	Interior Improvements - Police Department Areas	\$1,066,425.60
04	Interior Improvements - Town Council Chambers and Building Department Areas	\$536,064.00
05	Exterior Improvements	\$744,960.00
06	Small Tank Building - Interior and Exterior Improvements	\$247,040.00
	Construction Costs - Option 1	\$5,756,806.40
	10% Design Fees	\$575,680.64
	10% Contingency	\$633,248.70
	Total Project Costs - Option 1	\$6,965,735.74

Option 2

- Complete demolition of existing building (9,500 SF) and small tank (2,500 SF)
- Construction of new 3-story, 20,000 GSF building

Option 2



Option 2 – Cost Estimate

Item #	Description	
01	Site Improvements	\$850,752.00
02	New Building Construction	\$7,872,128.00
03	New Building FF&E	\$588,800.00
04	Maintenance Buildings - Exterior Improvements	\$337,201.92
	Construction Costs - Option 2	\$9,648,881.92
	10% Design Fees	\$964,888.19
	10% Contingency	\$1,061,377.01
	Total Project Costs - Option 2	\$11,675,147.12

Cost Estimates

- Option 1 (renovate existing building with new addition)= \$7,000,000
- Option 2 (demolish existing building and construct new 20,000 GSF town hall) = \$11,700,000
- Option 3 (renovate existing building enclose open lobby area) = \$3,000,000
- Option 4 (renovate existing building without enclosing open lobby area) = \$2,500,000



Questions?

Existing Building Elevations



July 31, 2017

Due Diligence Report

Bay Harbor Islands Town Hall

Bay Harbor Islands, Florida

Prepared for:

Town of Bay Harbor Islands
9665 Bay Harbor Terrace, Miami Beach, FL 33154

Prepared by:

Kimley-Horn and Associates, Inc.
600 North Pine Island Road, Suite 450
Plantation, FL 33324

Kimley-Horn Project Number: 044053056

Kimley-Horn was retained to perform a limited Due Diligence Report, and we performed only those tasks specifically stated in our scope of services. This report may be relied upon only by Kimley-Horn's Client. It is not intended for use by any other party.

The Client may use this report as part of its due diligence, but this report should not be used as the sole basis for the Client's decision making. We endeavored to research site development issues and constraints to the extent practical given the scope, budget, and schedule agreed to with the Client. Our assessment is based in large part on information provided to us by others (city staff, DOT staff, Utility Company Representatives, etc.) and therefore is only as accurate and complete as the information provided to us. This report is based on our knowledge as of **July 31, 2017** and is based on the desires of the Client that have been specifically disclosed to us. New issues may arise during development because of changes in governmental rules and policy, changed circumstances, or unforeseen conditions.

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Due Diligence Report

I. INTRODUCTION

Kimley-Horn and Associates, Inc. (Kimley-Horn) has prepared a site due diligence report at the request of the Town of Bay Harbor Islands (Town). The subject property (Site) is located at 9665 Bay Harbor Terrace, Miami Beach, FL 33154 (Township 52, Range 42, Section 27). The Site is a 1.30-acre developed parcel bounded by 97th Street to the North, Bay Harbor Terrace to the west, 96th Street to the South, and commercial retail to the east. The Site has four (4) access points via 97th Street, 96th Street, Bay Harbor Terrace, and the adjacent parking lot to the east of the Site, as illustrated in the Site Location Map (Appendix A).

The proposed renovation of the Site is expected to consist of one (1) buildout (approximately 6,000 SF) over the existing Town Hall surface parking lot. This would be a second-floor addition with adequate lower level parking.

II. SITE LOCATION AND DESCRIPTION

The subject property (Parcel Id: 1322270012210) is located in the Town of Bay Harbor Islands, Miami-Dade County, Florida. The parcel is located on the southeast corner of the Bay Harbor Terrace and 97th Street intersection. The Daddy-O Hotel and Palm Restaurant are directly east of the Site, while several multifamily residential units lie directly north. The Site is located on the eastern landmass of Bay Harbor Island, surrounded by ocean water on all sides. Indian Creek flows on the southern and eastern boundaries of the Site, while the Biscayne Bay flows adjacent to the northern boundary. As illustrated in the aerial Site Location Map (See Appendix A), the Site is currently developed as the Bay Harbor Islands Town Hall. The Site appraisal information can be found in the Miami-Dade County Property Appraiser Information included in Appendix B.

III. LAND USE/ZONING

Per the Town of Bay Harbor Islands' - Official Zoning Map, the property is currently zoned B-1 (Business District) as illustrated in Appendix C. This correlates with the proposed use indicated by the Town, therefore, rezoning of the parcel is not anticipated.

Due Diligence Report

IV. PARKING/OPEN SPACE

Based on a review of the Town of Bay Harbor Code of Ordinances for Business District Development Zones (B-1), the Site is required to provide one parking space for each 300 SQFT of net floor area. The Town of Bay Harbor Islands – Code of Ordinance Chapter 23, Article II, Sec. 23-24(c)(6) has been provided under Appendix D for reference purposes. Both Bay Harbor Terrace and 96th Street provide street parking for official parking only. The onsite parking is provided by the two (2) lots located on the northern boundary of the Site, adjacent to 97th Street. There is an existing parking lot adjacent to the Site's east boundary, but has been designated as Daddy-O Hotel parking and/or metered parking only.

V. SITE ACCESS

As depicted in the Site Location Map (Appendix A), there are a total of four (4) access routes to the Site via Bay Harbor Terrace, 97th Street, 96th Street, and the adjacent parking lot to the east of the Site. Along the northern boundary of the property, there are two parking lots that lead to several entrances into the building. Another entrance point transects the Site's southern boundary, and can be accessed via 96th Street. The Site abuts Bay Harbor Terrace on the west boundary, where there is an additional access point. The final ingress point can be accessed via the eastern adjacent parking lot, which serves as a boundary between the Site and the Daddy-O Hotel.

VI. SITE UTILITIES AND CONTACT INFORMATION

General

Based on the information provided by the Town of Bay Harbor's Utilities Department, public water distribution and sanitary sewer utilities are located within the vicinity of the Site. Kimley-Horn has preliminarily coordinated with the Town of Bay Harbor Islands and obtained utility atlases for the Site and adjacent neighbors. Additionally, the Town of Bay Harbor Public Works Department

Due Diligence Report

confirmed the utilities surrounding the Site are owned and maintained by their department.

Based on the sewer atlas provided by the Town of Bay Harbor Islands Public Works Department (Appendix E), an existing lateral and wye connection to an 8-inch vitrified clay pipe (VCP) gravity main west of the Site runs north to south on Bay Harbor Terrace. This 8-inch VCP runs to a manhole located at the intersection of Bay Harbor Terrace and 96th Street. A 15-inch VCP gravity main discharges west to east along 96th Street into a manhole located south of the Site. The manhole discharges into the Town of Bay Harbor Island's pump and compressor station via an 18-inch VCP gravity main. A 16-inch cast iron force main runs west to east along 96th Street from the pump and compressor station to East Bay Harbor Drive.

Based on the water atlas provided by the Town of Bay Harbor Island Public Works Department (Appendix F), an existing 8-inch PVC C-900 watermain runs along 97th Street. The Site has a 2" single service tie-in.

Based on the stormwater atlas provided by the Town of Bay Harbor Island Public Works Department (Appendix G), an existing 8-inch concrete stormwater main runs west to east along 97th Street. This stormwater main is transected (at a catch basin) by a 15-inch concrete stormwater main running south to north through the adjacent parking lot east of the property. The 15-inch concrete stormwater main continues east where it discharges into Indian Creek after upscaling to a 24-inch concrete stormwater main along East Bay Harbor Drive.

It is not anticipated that these utilities will need to be expanded or modified as a result of the proposed renovation. However, further coordination with the Town of Bay Harbor Island's Public Works Department will be required to determine any additional service points of connection for the property.

Along with the Town of Bay Harbor Island's Public Works Department, a utilities Design Ticket was opened with Sunshine State One-Call for additional utilities that may exist within and/or currently about the property. Prior to commencing the design phase for the Site, record drawings will need to be requested and reviewed from the listed utility companies. See Design Ticket No. 308603695 from Sunshine State

Due Diligence Report

One-Call of Florida (Appendix H) for Utility Providers within the vicinity of the property.

Confirmation from TECO Peoples Gas indicated there is an existing underground 4-inch natural gas line along 96th Street. Provided the peak-hour demand does not exceed the capacity of the gas system in the area, the existing natural gas line can provide 5 psi downstream of the meter for a generator service line. Further communication with TECO Peoples Gas to determine the exact location(s) of the underground natural gas facilities is recommended before any development commences within the Site.

Based on a Site visit, there are existing aerial cables attached to utility poles within the vicinity of the Site. The aerial facilities are directly west and south of the Site, and are attached to Florida Power Lighting (FPL) Company power poles.

Confirmation from FPL indicated that there is currently a vault transformer and three transformers with closed delta configuration for a secondary voltage of 3-phase 120/240 volts at the Site. The protective device on the line side of the transformer currently in place at the Site is a 65-amp type K fuse with a primary service voltage is 13.2kV. Please see attached FPL load letter email under Appendix I for further details.

A meeting with the Town of Bay Harbor Island Utilities Department will determine if the existing utilities will require modifications prior to construction. The mechanical, electrical, and plumbing (MEP) engineer will determine if there is adequate capacity in the existing mains to serve the proposed building.

Permits

Permits for any site work will require approval from the Town of Bay Harbor Islands Public Works and Building Departments.

Proposed stormwater management improvements will require approval from the following agencies:

Due Diligence Report

- *Town of Bay Harbor Islands – Engineering Department;*
- *South Florida Water Management District (SFWMD):* in accordance with F.S. § 373.036(2)(A)-Flood Protection and Floodplain Management;
- *Department of Community Affairs:* in accordance with F.S. § 380.05-Areas of critical state concern, and F.S. chp. 553, part IV-Florida Building Code;
- *Department of Environmental Protection, Coastal Construction Control Line:* in accordance with F.S. § 161.053—Coastal Construction and Excavation;
- *Miami-Dade County Regulatory and Economic Resources*

Proposed potable water distribution and sanitary sewer utility improvements will require approval from the following agencies:

- *Miami-Dade Water and Sewer Department;*
- *Miami-Dade County Regulatory and Economic Resources;*
- *Miami-Dade County Fire Department;*
- *Department of Health:* in accordance with F.S. § 381.0065—On-Site Sewage Treatment and Disposal Systems; and
- *Town of Bay Harbor Islands – Building Department*

VII. WETLANDS AND CONTAMINATED SITES

Based on the data base of the US Fish and Wildlife Service National Wetland Inventory website, there are no known wetlands within the Site boundaries of the property. However, the Site is within close proximity to Indian Creek to the south and east, and the Biscayne Bay to the north as illustrated in Appendix J. Additionally, the Site area was also searched in the Miami-Dade County data base for contaminated areas. Based on the Miami-Dade County Environmental Considerations Report provided in Appendix K, there are five (5) contaminated sites located within a one (1) mile radius. As the subject property is considered a contaminated site, further investigation may potentially be required to determine the radius of influence and the extent of contamination.

Due to the Site's proximity to known contaminated plumes, it is recommended that an Environmental Consultant conduct a site assessment to verify and evaluate

Due Diligence Report

findings of the report. The Environmental Consultant shall determine whether remediation is required or if additional permits are necessary.

VIII. DRAINAGE

Because Bay Harbor Islands lies entirely in a floodplain, the Town is required to have floodplain management ordinances. The project Site is located within Miami-Dade County Regulatory and Economic Resources jurisdiction and SFWMD jurisdiction. Therefore, the requirements for a stormwater management system will need to comply with both entities' criteria. The proposed Site will be required to meet the existing Town of Bay Harbor Islands Chapter 7½ Flood Damage Prevention Code of Ordinances. Additionally, an analysis of the 100-year, 72-hour storm event will also have to be provided and used as a factor to confirm the finished floor elevation (FFE). The Site is required to conform to Town, Miami-Dade County Regulatory and Economic Resources, and SFWMD water quality detention/retention (pre-treatment) criteria.

Finished Floor Elevation (FFE) - Flood Criteria

Upon renovation, the project Site grade elevations will be designed to meet floodplain management criteria based on Federal, State, County, and Town standards as follows, whichever results in the highest elevation:

1. The Site is located in FEMA Flood Zone Panel No. 12086C0144L. Per the Miami-Dade County FEMA Flood Zone Map (Appendix L), the property is within the AE Flood Zone that corresponds to the 100-year floodplains, indicating flood insurance is mandatory. Based on the Miami-Dade County FEMA Flood Zone Map, the Base Flood Elevation is determined to be 8.0' (NGVD 29).
2. The Town of Bay Harbor Islands – Code of Ordinance Chapter 7½, Article III – Provisions for Flood Hazard Reduction (Appendix M) states “new construction and substantial improvement of any commercial, industrial, or

Due Diligence Report

nonresidential buildings shall have the lowest floor, including basement, elevated to no lower than base flood elevation.”

3. No existing stormwater permits were found upon completion of a general search in the SFWMD database. However, as the database is not always all encompassing, SFWMD staff have been contacted to confirm existing stormwater permits do not exist for the subject Site. Validation will be provided upon receipt of confirmation from SFWMD.

After comparing Federal, State, County, and Town regulations, the FEMA established Base Flood Elevation resulted in the highest elevation for the FFE. Based on the aforementioned criteria, the FFE of any new building for this Site shall be constructed at a minimum elevation of 8.0’ (NGVD 29). Elevation of 8.0’ (NGVD 29) is subject to change during design phase and 100-year 72-hour zero discharge analysis.

Per the Miami-Dade County Average Groundwater Table Map (Appendix N), the average ground water table elevation is estimated to be 1.0’ - 2.0’ (NGVD 29). This ground water table elevation will be used as the control water elevation for stormwater management calculations.

IX. CONCLUSION

After completing initial coordination with several municipal departments, including the Town of Bay Harbor Islands Public Works Department, requesting the Sunshine State One-Call Design Ticket, and completing the remaining due diligence process, the Site renovation for this property has been evaluated based on the preliminary site plan and information provided. As the Site is zoned as Business District Development, rezoning of parcel is not anticipated during the renovation process. Per the Town of Bay Harbor Islands Public Works Department, water, sewer, and stormwater utilities are all available at the Site. After comparing Federal, State, County, and Town regulations, the FEMA established Base Flood Elevation resulted in the highest elevation for the FFE. Based on the aforementioned criteria, the FFE of any new building for this Site shall be constructed at a minimum elevation of 8.0’

Due Diligence Report

(NGVD 29) (subject to change during design phase). Further coordination and permit applications with the Town of Bay Harbor Islands Building Department and several municipal departments will be required once site renovation commences.

Due Diligence Report

IX. APPENDIX

APPENDIX A: SITE LOCATION MAP

APPENDIX B: MIAMI-DADE COUNTY PROPERTY APPRAISER INFORMATION

APPENDIX C: TOWN OF BAY HARBOR ISLANDS ZONING MAP

APPENDIX D: TOWN OF BAY HARBOR ISLANDS CODE OF ORDINANCE CHAPTER 23

APPENDIX E: TOWN OF BAY HARBOR ISLANDS SEWER ATLAS

APPENDIX F: TOWN OF BAY HARBOR ISLANDS WATER ATLAS

APPENDIX G: TOWN OF BAY HARBOR ISLANDS STORMWATER ATLAS

APPENDIX H: SUNSHINE STATE ONE-CALL DESIGN TICKET

APPENDIX I: FPL LOAD LETTER

APPENDIX J: US FISH & WILDLIFE NATIONAL WETLANDS MAP

APPENDIX K: MIAMI-DADE COUNTY ENVIRONMENTAL CONSIDERATIONS REPORT

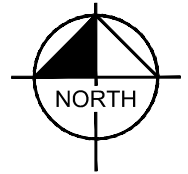
APPENDIX L: MIAMI-DADE COUNTY FEMA FLOOD ZONE MAP

APPENDIX M: TOWN OF BAY HARBOR ISLANDS CODE OF ORDINANCE CHAPTER 7½

APPENDIX N: MIAMI-DADE COUNTY AVERAGE GROUNDWATER TABLE MAP

Appendix A
SITE LOCATION MAP

PROJECT LOCATION MAP



SCALE: 1" = 150'



PREPARED BY:

Kimley»Horn

KIMLEY-HORN AND ASSOCIATES, INC.
600 N. PINE ISLAND RD, SUITE 450, PLANTATION, FL 33309
PHONE (954) 535-5100
WWW.KIMLEY-HORN.COM CA 00000696

Appendix B

MIAMI-DADE COUNTY PROPERTY
APPRAISER INFORMATION



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 7/31/2017

Property Information	
Folio:	13-2227-001-2220
Property Address:	9665 BAY HARBOR TER Bay Harbor Islands, FL 33154-2005
Owner	TOWN OF BAY HARBOR ISLANDS
Mailing Address	9665 BAY HARBOR TERR MIAMI BEACH, FL 33154-2005
PA Primary Zone	6000 COMMERCIAL - GENERAL
Primary Land Use	8940 MUNICIPAL : MUNICIPAL
Beds / Baths / Half	0 / 0 / 0
Floors	1
Living Units	0
Actual Area	Sq.Ft
Living Area	Sq.Ft
Adjusted Area	1 Sq.Ft
Lot Size	9,750 Sq.Ft
Year Built	1975



Assessment Information			
Year	2017	2016	2015
Land Value	\$877,500	\$877,500	\$877,500
Building Value	\$80,125	\$80,125	\$80,125
XF Value	\$0	\$0	\$0
Market Value	\$957,625	\$957,625	\$957,625
Assessed Value	\$957,625	\$957,625	\$957,625

Benefits Information				
Benefit	Type	2017	2016	2015
Municipal	Exemption	\$957,625	\$957,625	\$957,625
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Short Legal Description	
BAY HARBOR ISLAND PB 46-5 LOT 7 BLK 11 LOT SIZE 75.000 X 130	

Taxable Value Information			
	2017	2016	2015
County			
Exemption Value	\$957,625	\$957,625	\$957,625
Taxable Value	\$0	\$0	\$0
School Board			
Exemption Value	\$957,625	\$957,625	\$957,625
Taxable Value	\$0	\$0	\$0
City			
Exemption Value	\$957,625	\$957,625	\$957,625
Taxable Value	\$0	\$0	\$0
Regional			
Exemption Value	\$957,625	\$957,625	\$957,625
Taxable Value	\$0	\$0	\$0

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 12/5/2016

Property Information	
Folio:	13-2227-001-2210
Property Address:	9665 BAY HARBOR TER Bay Harbor Islands, FL 33154-0000
Owner	TOWN OF BAY HARBOR ISLANDS
Mailing Address	9665 BAY HARBOR TERR MIAMI BEACH, FL 33154-2005
Primary Zone	6000 COMMERCIAL - GENERAL
Primary Land Use	8940 MUNICIPAL : MUNICIPAL
Beds / Baths / Half	0 / 0 / 0
Floors	2
Living Units	0
Actual Area	Sq.Ft
Living Area	Sq.Ft
Adjusted Area	10,290 Sq.Ft
Lot Size	29,250 Sq.Ft
Year Built	1973



Assessment Information			
Year	2016	2015	2014
Land Value	\$1,250,438	\$1,250,438	\$1,250,438
Building Value	\$507,503	\$464,365	\$454,497
XF Value	\$132,775	\$126,511	\$128,514
Market Value	\$1,890,716	\$1,841,314	\$1,833,449
Assessed Value	\$1,890,716	\$1,841,314	\$1,721,397

Benefits Information				
Benefit	Type	2016	2015	2014
Non-Homestead Cap	Assessment Reduction			\$112,052
Municipal	Exemption	\$1,890,716	\$1,841,314	\$1,721,397
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Short Legal Description	
BAY HARBOR ISLAND PB 46-5 LOTS 4-5-6 BLK 11 LOT SIZE 225.000 X 130	

Taxable Value Information			
	2016	2015	2014
County			
Exemption Value	\$1,890,716	\$1,841,314	\$1,721,397
Taxable Value	\$0	\$0	\$0
School Board			
Exemption Value	\$1,890,716	\$1,841,314	\$1,833,449
Taxable Value	\$0	\$0	\$0
City			
Exemption Value	\$1,890,716	\$1,841,314	\$1,721,397
Taxable Value	\$0	\$0	\$0
Regional			
Exemption Value	\$1,890,716	\$1,841,314	\$1,721,397
Taxable Value	\$0	\$0	\$0

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description

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Version:

Appendix C

TOWN OF BAY HARBOR ISLANDS
ZONING MAP

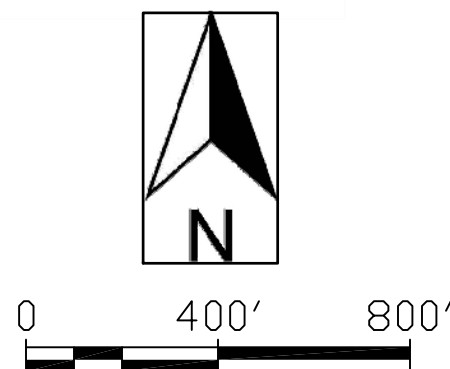
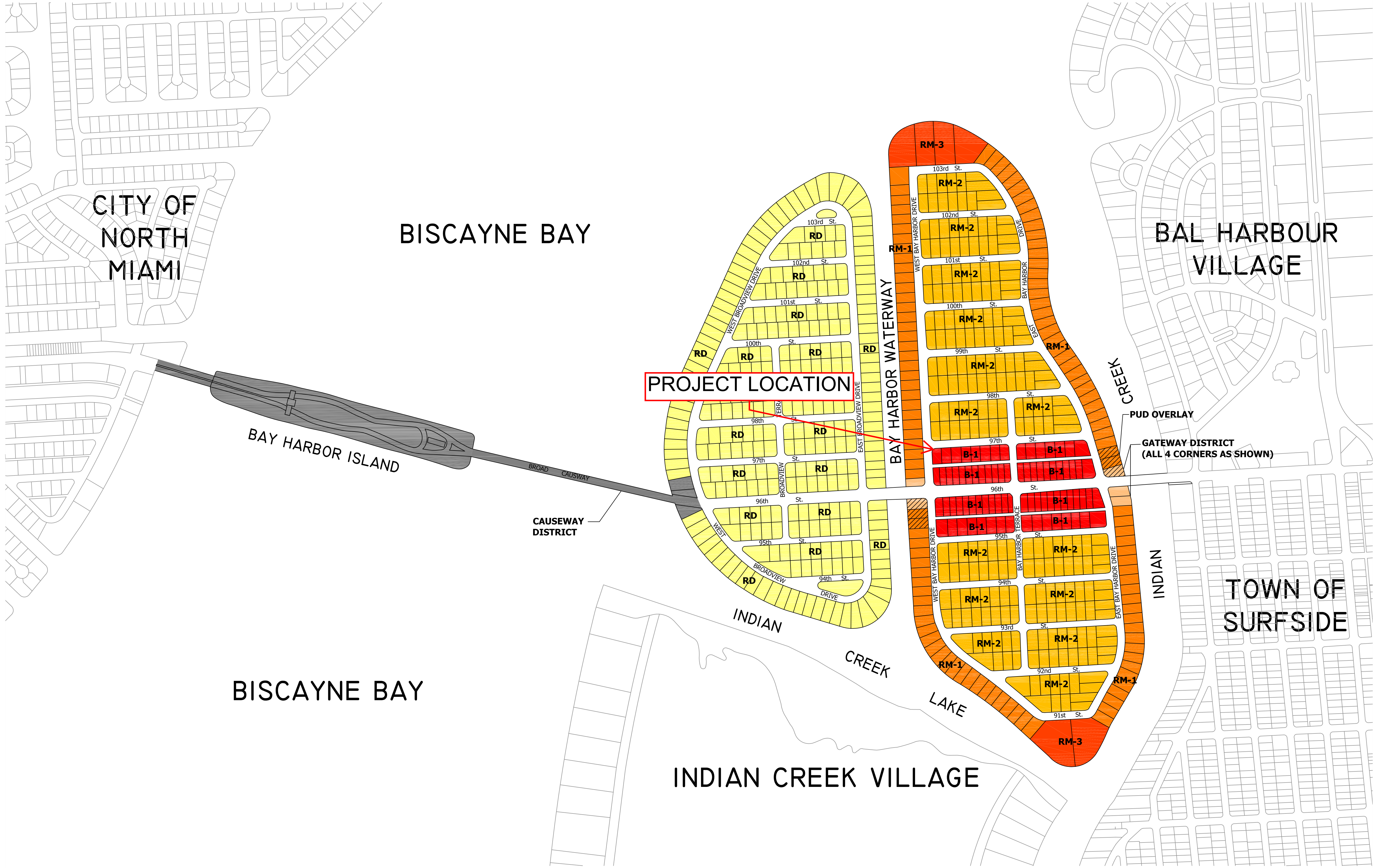


LEGEND

- RD SINGLE FAMILY RESIDENTIAL DISTRICT
- RM-1 MULTIPLE FAMILY RESIDENTIAL DISTRICT
- RM-2 MULTIPLE FAMILY RESIDENTIAL DISTRICT
- RM-3 MULTIPLE FAMILY RESIDENTIAL DISTRICT
- B-1 BUSINESS DISTRICT
- CAUSEWAY DISTRICT
- GATEWAY DISTRICT
- PUD OVERLAY DISTRICT

AMENDMENTS

DATE	ORD. NO.	PURPOSE
07-10-06	797	RENAME BAA TO B-1
02-11-08	831	REZONE LOT 2, BLOCK 1 TO GATEWAY
12-13-10	907	RENAME RBA TO RM-3
10-10-11	919	ASSIGN PUD TO LOTS 1-3, BLOCK 2
11-14-11	926	ASSIGN PUD TO LOTS 34-37, BLOCK 4
02-10-14	959	ASSIGN PUD TO LOTS 1-3, BLOCK 2



NO.	DATE	REVISION	BY

Designed: MJM
Drawn: SDM
Checked: MJM

MICHAEL MILLER PLANNING ASSOCIATES, INC.
7522 Wiles Rd, Suite B-203
Coral Springs, Florida 33067
Tel: (954) 757-9909 Fax: (954) 757-7089

PREPARED FOR
TOWN OF BAY HARBOR ISLANDS

OFFICIAL ZONING MAP

SCALE
1"=400'

PROJECT
00

SHEET NO.
1
1

Appendix D

TOWN OF BAY HARBOR ISLANDS
CODE OF ORDINANCE CHAPTER 23

Sec. 23-24. - Commercial parking approval required; enclosing commercial parking lots; parking of vehicles on certain unimproved lots; prohibition of parking spaces and parking structures on private property on the ground level within 60 feet of the pedestrian right-of-way of Kane Concourse and prohibiting visibility and access from Kane Concourse; number of parking spaces required generally.

- (a) In the B-1 business district commercial parking is prohibited except on specific approval of the town council. Commercial parking is defined as the operation of parking lots either with or without a charge. Such lots shall be enclosed on all sides, except at exits and entrances, by a solid masonry wall or hedge of a type approved by the town, or both, five feet in height just within the property lines. At all exits and entrances, the wall and/or hedge shall be installed and maintained at three feet in height for a distance of 25 feet on each side of each exit or entrance. Parking of vehicles on unimproved property on any lot in Blocks 11, 12, 20 and 21 is prohibited, excepting vehicles owned by the property owner, unless such parking fully complies with the provisions herein set forth. In the B-1 business district, parking spaces and parking structures are prohibited on a private property on the ground level within 60 feet of the pedestrian right-of-way of Kane Concourse, and visibility and access from Kane Concourse are prohibited.
- (b) Upon the occasion of any person seeking a permit for the erection, construction, reconstruction, structural alteration or addition to any buildings, the applicant for such permit shall, simultaneously with the submission of plans and specifications to the building department of the town, and simultaneously with the complying with any and all requirements therefor, specify in writing to the building department and designate on the plans for such building work an area or areas set aside for the exclusive use as parking and driveway facilities for vehicles on the building plot on which the proposed construction work is to be done, all in accordance with the provisions of this article.
- (c) The number of parking spaces to be provided in particular instances is as follows:

(1)	Single-family dwelling	Two spaces
(2)	Two-family dwellings	Two spaces for each dwelling unit
(3)	Multiple-family dwellings, including townhouses	A minimum of two parking spaces shall be required on the building plot for each dwelling unit within a multiple-family development, except as provided for otherwise in this article. In addition, guest parking spaces shall be provided for multiple-family developments in accordance with the following:
		1) At least one guest parking space shall be required for each whole platted lot.
		2) Within the RM-3 zoned tracts guest parking spaces shall be provided at a rate of 5% of the total number of required parking spaces.
		3) Guest parking spaces may be counted as a subset of the total number of required parking spaces within a development site.
		4) No guest parking spaces are required for townhouse developments that have the front of the dwelling unit facing directly on a public

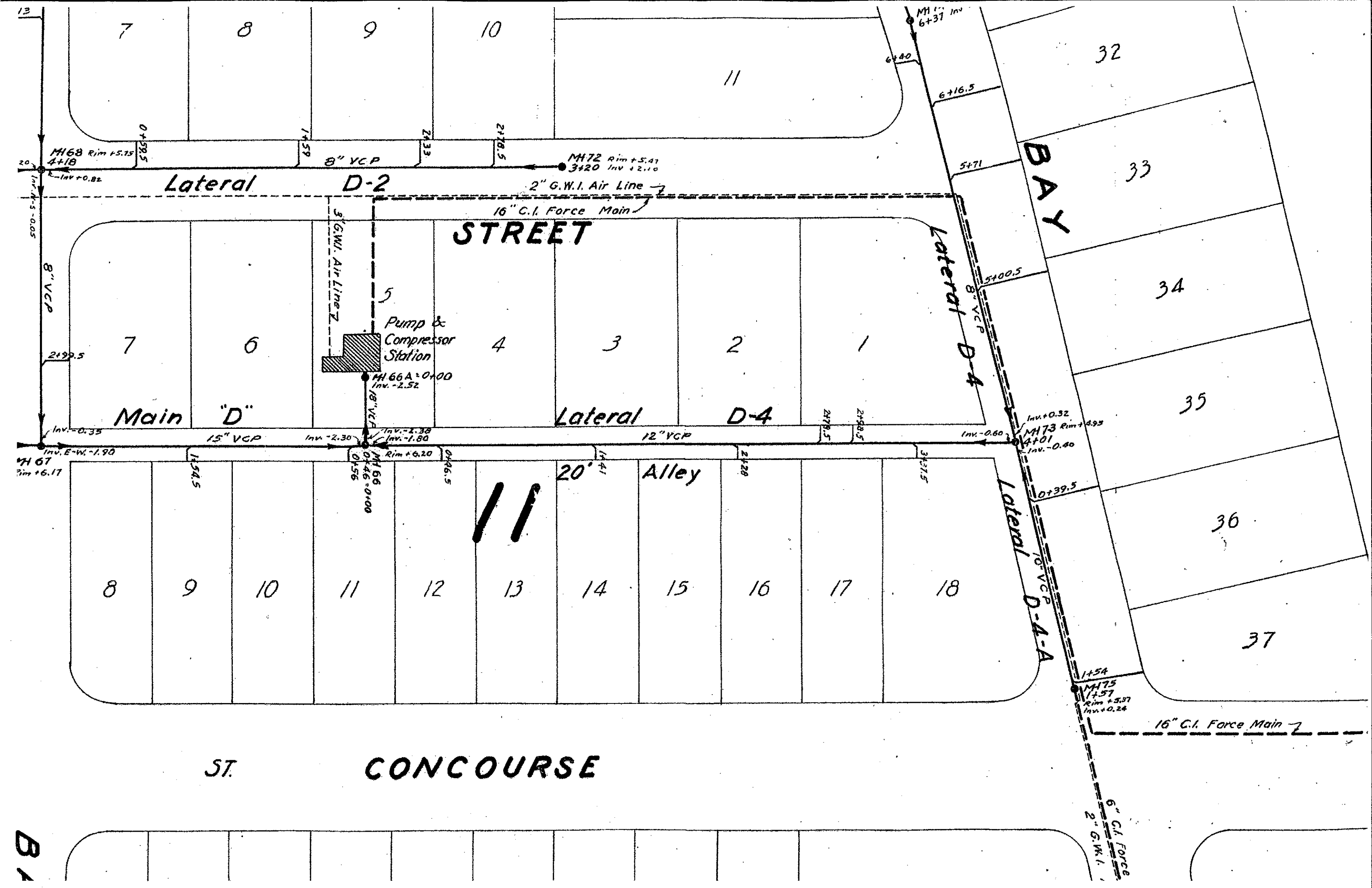
		roadway with access to a garage. In this instance the individual dwelling unit driveway connecting the public road to the garage shall serve for guests. For townhouse developments with garages or parking facilities that are interior to the site, additional guest parking spaces are required at a rate of one parking space per platted lot.
		5) Through the Town's site development plan process the Town may allow dimensional variations of landscape strips to provide such guest parking spaces or for drop-off areas at building entrances. In no event shall the minimum percentage of green open space be reduced.
		6) All required guest parking spaces shall be placed within the development site. Guest parking spaces shall not be located on remote public or private parking lots/garages without prior approval of the Town Council.
		7) All required guest parking spaces shall be located in the front yard areas of a site, unless otherwise approved by the Planning and Zoning Board. Guest parking spaces may be co-designated as temporary delivery/loading areas. At least one guest parking space shall be so co-designated. All guest parking spaces/drop-off areas shall be noted by the use of signage/pavement markings.
		8) Notwithstanding the above, no guest parking spaces are required for a single-lot development site that is built without using TDR units. If any TDR units are requested guest parking spaces shall be required.
(4)	Hotels	One space for each of the first 20 individual guest rooms. One added space for each two guest rooms, or fraction thereof, in excess of 20.
(5)	Places of assembly, restaurants, public dining rooms, bars, private clubs, cocktail lounges	One parking space for each 35 square feet of customer service area plus one space for each two lineal feet of bar frontage. The above shall not be intended to include food and drink preparation areas or storage areas.
(6)	Buildings used for office, retail, commercial, professional and business uses	One space for each 300 square feet of net floor area.

(7)	Buildings for private banking operations	A minimum of one space for each 475 square feet of net floor area or fraction thereof.
(8)	Religious institutions	One space for every four fixed seats, or one space for every six feet of bench seats, or one space per 60 square feet of net floor area for seating.
(9)	Public schools	The town adopts the minimum off-street parking requirements listed in F.S. chapter 423.10.2.8 as of July 1, 2005, and/or as modified as listed hereinafter: Faculty and staff—One parking space for each member of the faculty and staff (including administration, teachers and support staff); Visitors—One parking space for each 50 students; Community Clinic—Ten parking spaces, including at least one accessible space; High Schools—One space for every ten students in grades 11 and 12.

- (d) Whereas, multifamily buildings of more than one story in height generate a gross multitude of cars parked in the setback areas as well as all around the multifamily buildings themselves and thereby adversely affect the aesthetic beauty of the East Island of Bay Harbor Islands; and whereas multifamily buildings of one story do not create the poor appearance of a gross multitude of cars because not so many cars are parked around the perimeters of such one-story multifamily buildings; now, therefore, no automobiles or vehicles of any kind shall be parked in the setback area of any multifamily buildings in the East Islands which exceed one story in height, unless such multifamily buildings are presently constructed, except as allowed below.

Appendix E

TOWN OF BAY HARBOR ISLANDS
SEWER ATLAS



Appendix F

TOWN OF BAY HARBOR ISLANDS
WATER ATLAS

E
E

VE
73
8 R

E ELEV=0.41'

MA

EXISTING 6" W.M. GROUTED AND ABANDONED

6" PLUG

2" SVC PIPE
SINGLE SERVICE

2" SVC PIPE
SINGLE SERVICE

2" SVC PIPE
SINGLE SERVICE

4" FIRELINE

12" X 8" TAPPING SLEEVE
8" GATE VALVE
TOP OF PIPE ELEV=-1.15'
STA: 421+90.99
OFFSET: 10.01R

2" SVC PIPE
SINGLE SERVICE
STA: 88+26.99
OFFSET: 34.94 L

2" SVC PIPE
SINGLE SERVICE
STA: 88+24.61
OFFSET: 35.06 L

8"- 45'
TOP OF PIPE ELEV=-1.15'
STA: 88+
OFFSET: 18

2" SVC PIPE
SINGLE SERVICE
STA: 89+05.58
OFFSET: 32.64 L

2" SVC PIPE
SINGLE SERVICE
STA: 89+03.58
OFFSET: 32.64 L

8"- 45" BEND
TOP OF PIPE ELEV=0.85'
STA: 89+87.42
OFFSET: 19.49 L

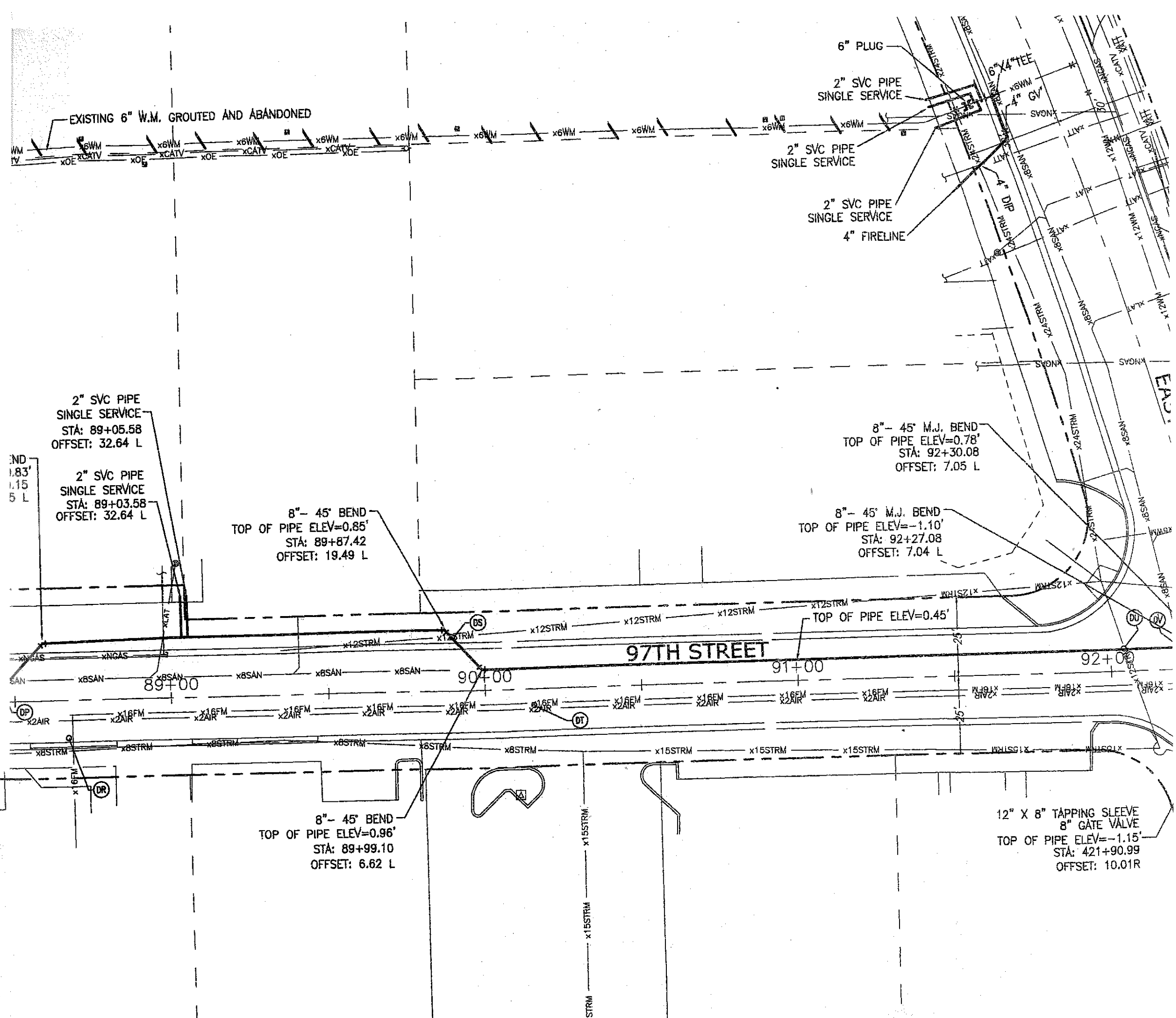
8"- 45" M.J. BEND
TOP OF PIPE ELEV=0.78'
STA: 92+30.08
OFFSET: 7.05 L

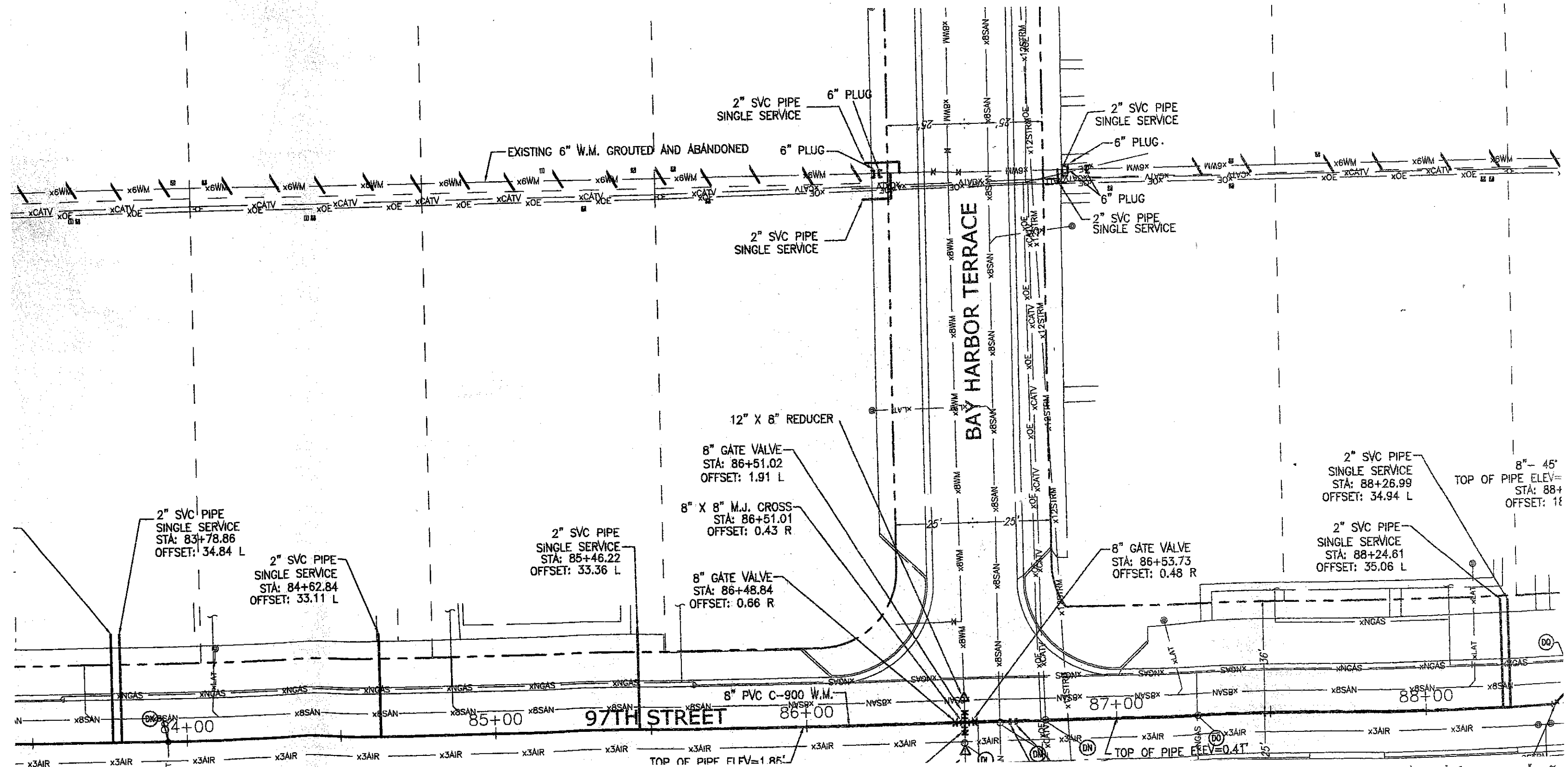
8"- 45" M.J. BEND
TOP OF PIPE ELEV=-1.10'
STA: 92+27.08
OFFSET: 7.04 L

TOP OF PIPE ELEV=0.45'

8"- 45" BEND
TOP OF PIPE ELEV=0.96'
STA: 89+99.10
OFFSET: 6.62 L

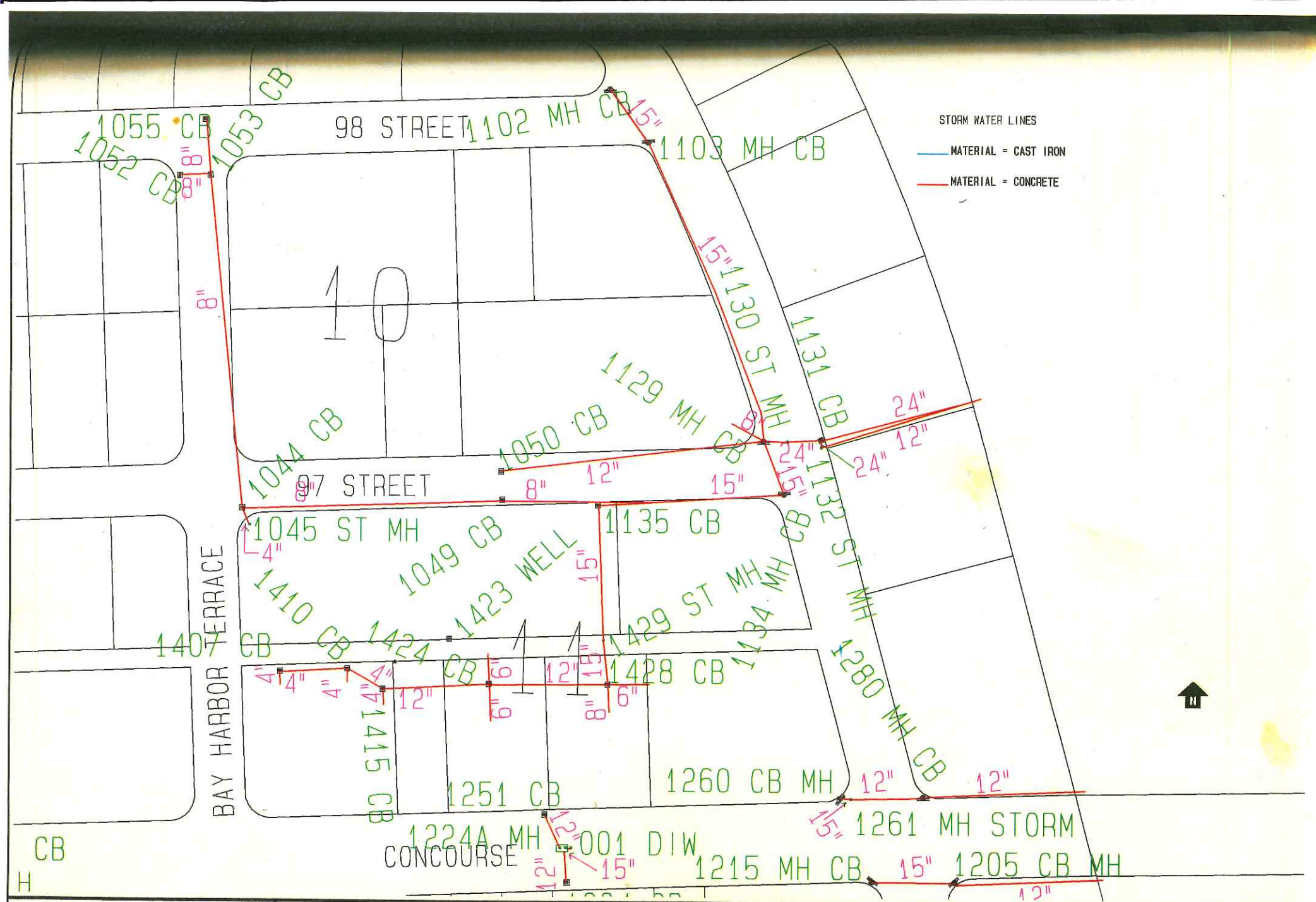
97TH STREET





Appendix G

TOWN OF BAY HARBOR ISLANDS
STORMWATER ATLAS



INFOCAD

TOWN OF BAY HARBOR ISLANDS STORMWATER COLLECTION SYSTEM

Date:	Drawing no:
02/02/96	swdet12
Drawn by:	Scale:
ALMEIDA	1" = 120'

Appendix H
SUNSHINE STATE ONE-CALL DESIGN
TICKET

Ticket : 308603695 Rev:000 Taken: 11/03/16 10:40ET

State: FL Cnty: DADE GeoPlace: BAY HARBOR ISLANDS
 CallerPlace: BAY HARBOR ISLANDS
 Subdivision:

Address : 9665
 Street : BAY HARBOR TER
 Cross 1 : 97TH ST
 Within 1/4 mile: N CORNER

Locat: FOR DESIGN THE ENTIRE PROPERTY AT 9665 BAY HARBOR TER
 :

Remarks : IN RESPONSE TO RECEIPT OF A DESIGN TICKET, SSOCOF PROVIDES THE ORIGINATOR OF THE DESIGN TICKET WITH A LIST OF SSOCOF MEMBERS IN THE VICINITY OF THE DESIGN PROJECT. SSOCOF DOES NOT NOTIFY SSOCOF MEMBERS OF THE RECEIPT BY SSOCOF OF A DESIGN TICKET. IT IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER TO CONTACT SSOCOF MEMBERS TO REQUEST INFORMATION ABOUT THE LOCATION OF SSOCOF MEMBERS' UNDERGROUND FACILITIES. SUBMISSION OF A DESIGN TICKET WILL NOT SATISFY THE REQUIREMENT OF CHAPTER 556, FLORIDA STATUTES, TO NOTIFY SSOCOF OF AN INTENT TO EXCAVATE OR DEMOLISH. THAT INTENT MUST BE MADE KNOWN SPECIFICALLY TO SSOCOF IN THE MANNER REQUIRED BY LAW. IN AN EFFORT TO SAVE TIME ON FUTURE CALLS, SAVE YOUR DESIGN TICKET NUMBER IF YOU INTEND TO BEGIN EXCAVATION WITHIN 90 DAYS OF YOUR DESIGN REQUEST. THE DESIGN TICKET CAN BE REFERENCED , AND THE INFORMATION ON IT CAN BE USED TO SAVE TIME WHEN YOU CALL IN THE EXCAVATION REQUEST.

*** LOOKUP BY ADDRESS ***

:
 Grids : 2553C8007A 2553D8007A

Work date: 11/03/16 Time: 10:42ET Hrs notc: 000 Category: 6 Duration: UNKNOWN
 Due Date : 11/07/16 Time: 23:59ET Exp Date : 12/05/16 Time: 23:59ET
 Work type: DESIGN Boring: N White-lined: N
 Ug/Oh/Both: U Machinery: N Depth: UNK Permits: N N/A
 Done for : DESIGN

Company : KIMLEY-HORN & ASSOCIATES Type: CONT
 Co addr : 600 N PINE ISLAND RD
 Co addr2: SUITE 450
 City : PLANTATION State: FL Zip: 33324
 Caller : MARISSA MARING Phone: 954-535-5137
 Contact : DESIGN Phone:
 BestTime: 7:30-5:30
 Mobile : 315-794-1929
 Email : MARISSA.MARING@KIMLEY-HORN.COM

Submitted: 11/03/16 10:40ET Oper: MAR
 Mbrs : BHI815 DCPWT FPLDAD GCCTV HC1660 HT1010 LS1104 MDWS PGSND SB2186
 Mbrs : SBF23 TL2051

Service Area Code	Service Area Name	Contact	Phone Numbers	Utility Type
BHI815	TOWN OF BAY HARBOR ISLANDS WATER & SEWER DEPT	RANDY DANIEL	Day: (305) 866 - 6241 x112 Alt: (786) 256 - 8965	WATER AND SEWER
DCPWT	DADE COUNTY PUBLIC WORKS AND TRAFFIC	OCTAVIO VIDAL	Day: (305) 412 - 0891 x201 Alt: (786) 345 - 0986	TRAFFIC/STR LIGHTS

FPLDAD	FLORIDA POWER & LIGHT--DADE	MARIO ESCALONA	Day: (305) 219 - 9143	ELECTRIC
GCCTV	ATLANTIC BROADBAND	EDWIN ZAMBRANA	Day: (305) 861 - 8069 x5411	CATV
HC1660	HOTWIRE COMMUNICATIONS	WALTER SANCHO DAVILA	Day: (954) 417 - 3606 Alt: (954) 248 - 7396	FIBER, TELEPHONE, CATV, COAX
MDWS	MIAMI-DADE WATER & SEWER	SERGIO GARCIA	Day: (786) 268 - 5320	WATER AND SEWER
PGSND	TECO PEOPLES GAS SOUTH FLORIDA	YVONNE GOLDMAN	Day: (954) 453 - 0824	GAS
SBF23	A T & T/ DISTRIBUTION	STEVE LOW, DADE & MONROE, (305)222-8745 OTIS KEEVE, BROWARD, GARTH BEDWARD, PALM BEACH	Day: (954) 723 - 2540 Alt: (561) 540 - 9263	TELEPHONE

Due Diligence Report

Appendix I
FPL LOAD LETTER

Maring, Marissa

From: Botero, Jorge <Jorge.Botero@fpl.com>
Sent: Friday, November 18, 2016 10:14 AM
To: Maring, Marissa
Subject: RE: FPL Load Letter Request for Undeveloped Parcel

Marissa,

Inside this property located at FPL has a Vault transformer, three transformers with closed delta configuration for a secondary voltage of 3-phase 120/240V. The protective device on the line side of the transformer currently in place serving the property located at 9665 Bay Harbor Terrace, Bay Harbor Islands, FL 33154 is 65amp type K fuse and the primary voltage is 13.2kV.

Best Regards,

Jorge Botero
Associate Engineer | North Dade Service Center
(305) 770-5382

Power Delivery
Energy, Reliability and a Better Future

Recognize an employee today!

From: Marissa.Maring@kimley-horn.com [mailto:Marissa.Maring@kimley-horn.com]
Sent: Thursday, November 17, 2016 5:10 PM
To: Botero, Jorge
Subject: FW: FPL Load Letter Request for Undeveloped Parcel

CAUTION - EXTERNAL EMAIL

Jorge,

This is the Site Plan I sent her, it does not contain electrical information. I just need to know what existing FPL electrical equipment is at the Site.

Thanks,
Marissa

From: Maring, Marissa
Sent: Tuesday, August 16, 2016 9:19 AM
To: 'Christina.Kale@fpl.com' <Christina.Kale@fpl.com>
Subject: FPL Load Letter Request for Undeveloped Parcel

Good morning Christina,

I just wanted to send a follow up email in regards to the FPL Load Letter message I left you this morning. Again, we are looking to request a FPL Load Letter for the undeveloped parcel located at 1380 NE 48th St Pompano Beach, FL, 33064. I

have attached a Site Location Map for your reference. If you need any additional information, please feel free to reach me via email or phone number below. Thank you!

Best,
Marissa

Kimley»Horn

Marissa Maring, E.I.

Kimley-Horn | 600 N. Pine Island Road, Suite 450 | Plantation, FL 33324

Direct: 954 535 5137 | Mobile: 315 794 1929 |

Appendix J

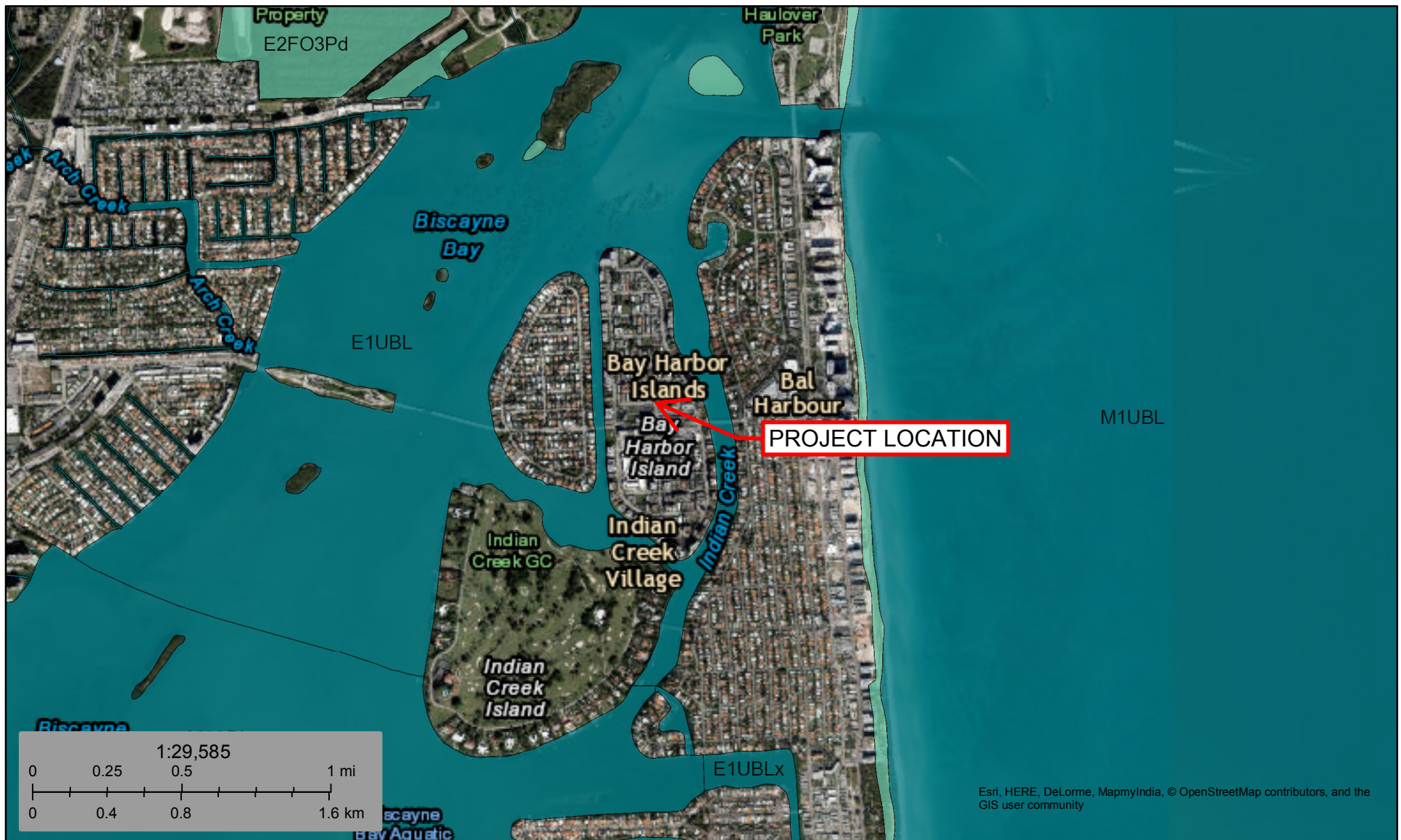
US FISH AND WILDLIFE NATIONAL WETLANDS MAP



U.S. Fish and Wildlife Service

National Wetlands Inventory

US Fish and Wildlife National Wetlands



December 6, 2016

- | | | |
|--------------------------------|-----------------------------------|----------|
| Estuarine and Marine Deepwater | Freshwater Forested/Shrub Wetland | Other |
| Estuarine and Marine Wetland | Freshwater Pond | Riverine |
| Freshwater Emergent Wetland | Lake | |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Due Diligence Report

Appendix K

MIAMI-DADE COUNTY
ENVIRONMENTAL CONSIDERATIONS
REPORT



Environmental Considerations

Location : X: 941910.7338 - Y: 565743.4809



Summary:

Name	Description
Contaminated Sites	5 contaminated site(s) found in a 1 mile radius
Flood Zones	Flood Zone: undefined

Disclaimer:

** The County is continually editing and updating GIS data to improve positional accuracy and information. No warranties, expressed or implied, are provided for the positional or thematic accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file at Miami-Dade County and the County assumes no liability either for any errors, omissions, or inaccuracies in the information provided regardless of the cause of such or for any decision made, action taken, or action not taken by the user in reliance upon any information provided herein. Please direct all inquiries, comments, and suggestions to gis@miamidade.gov.

The Environmental Considerations Application (ECA) informs citizens (businesses and homeowners) of potential environmental considerations that may affect future on-site development of property improvements.

printed: 12/6/2016

Appendix L

MIAMI-DADE COUNTY FEMA FLOOD
ZONE MAP

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The **community map repository** should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations** (BFEs) and/or **floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0.0' National Geodetic Vertical Datum of 1929 (NGVD 29). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations tables in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations tables should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydrological considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The **projection** used in the preparation of this map was Florida State Plane east zone (FIPSZONE 0901). The **horizontal datum** was NAD 83, GRS80 spheroid. Differences in datum, spheroid, projection or State Plane zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the National Geodetic Vertical Datum of 1929. These flood elevations must be compared to structure and ground elevations referenced to the same **vertical datum**. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services
NOAA, NNGS12
National Geodetic Survey
SSMC-3, #9202
1315 East-West Highway
Silver Spring, Maryland 20910-3282
(301) 713-3242

To obtain current elevation, description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at <http://www.ngs.noaa.gov>.

Base map information shown on this FIRM was provided in digital format by the Miami-Dade County Information Technology Department. These data were compiled at a scale of 1:3,600 from digital orthophotography dated 2001. Additional base map information was provided by the Cities of Aventura, Coral Gables, and Homestead, the Town of Cutler Bay, and Miami-Dade County.

This map reflects more detailed and up-to-date **stream channel configurations** than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to confirm to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the **FEMA Map Service Center** at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at <http://msc.fema.gov>.

If you have **questions about this map** or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov>.

COASTAL BARRIER
RESOURCES SYSTEM (CBRS) LEGEND

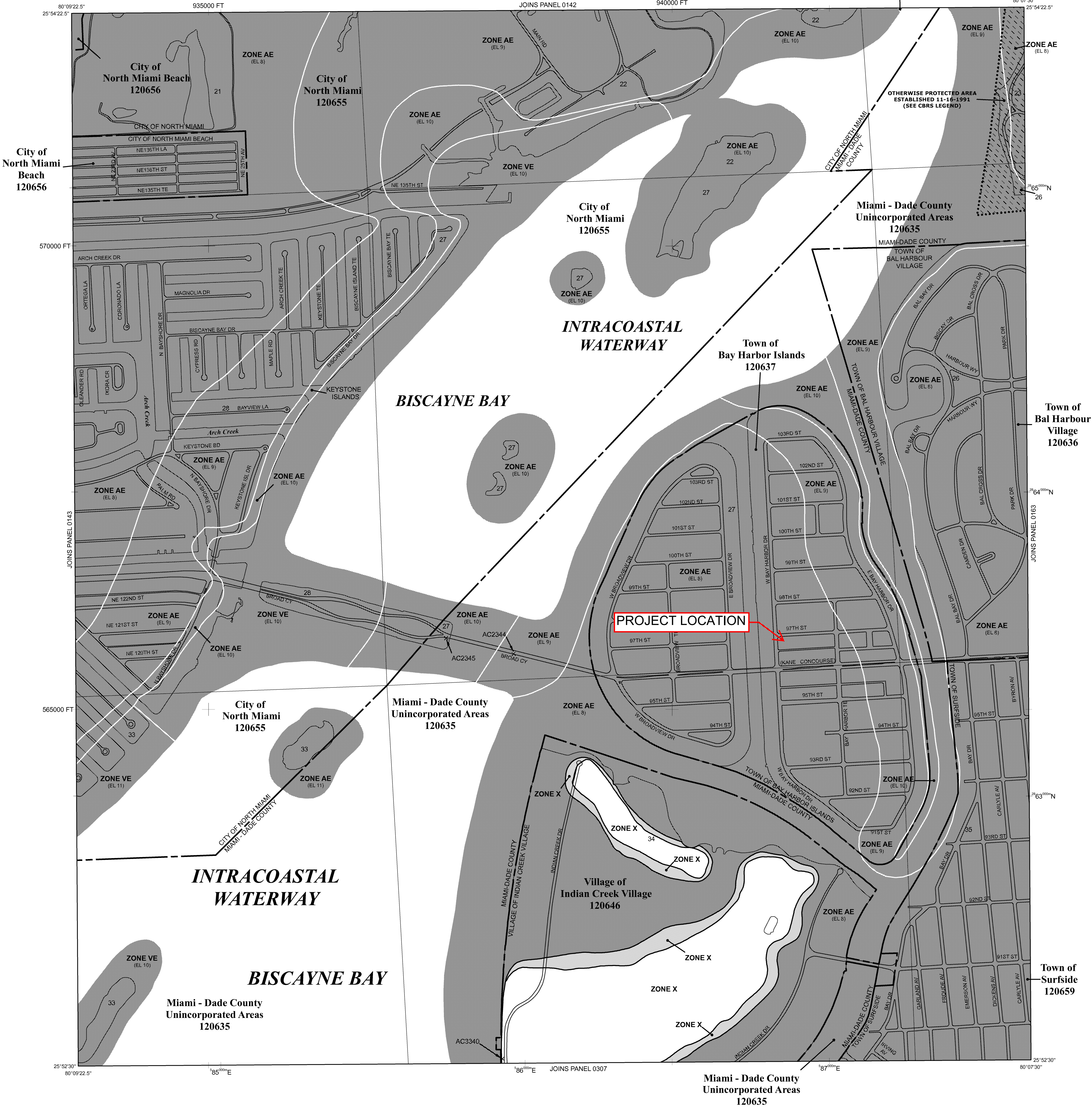
11-16-1990 CBRS Area

FLOOD INSURANCE NOT AVAILABLE FOR STRUCTURES NEWLY BUILT OR SUBSTANTIALLY IMPROVED ON OR AFTER NOVEMBER 16, 1990, IN DESIGNATED CBRS AREAS.

11-16-1991 Otherwise Protected Area (OPA)

FLOOD INSURANCE NOT AVAILABLE FOR STRUCTURES NEWLY BUILT OR SUBSTANTIALLY IMPROVED ON OR AFTER NOVEMBER 16, 1991, IN DESIGNATED OPAs WITHIN THE CBRS.

Boundaries of the John H. Chafee Coastal Barrier Resources System (CBRS) shown on this FIRM were transferred from the official CBRS source map(s) for this area and are depicted on this FIRM for informational purposes only. The official CBRS maps are enacted by Congress via the Coastal Barrier Resources Act, as amended, and maintained by the U.S. Fish and Wildlife Service (FWS). The official CBRS maps used to determine whether or not an area is located within the CBRS are available for download at <http://www.fws.gov>. For an official determination of whether or not an area is located within the CBRS, or for any questions regarding the CBRS, please contact the FWS field office for this area at (772) 562-3909.



LEGEND

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION
BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

- ZONE A** No Base Flood Elevations determined.
- ZONE AE** Base Flood Elevations determined.
- ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- ZONE AR** Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- ZONE A99** Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
- ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

ZONE X Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

ZONE X Areas determined to be outside the 0.2% annual chance floodplain.
ZONE D Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

- Floodplain boundary
- Floodway boundary
- Zone D boundary
- CBRS and OPA boundary
- Boundary dividing Special Flood Hazard Area zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.
- Base Flood Elevation line and value; elevation in feet*
- Base Flood Elevation value where uniform within zone; elevation in feet*

* Referenced to the National Geodetic Vertical Datum of 1929

- Cross section line
- Transect line
- Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere
- 1000-meter Universal Transverse Mercator grid values, zone 17
- 5000-foot grid ticks: Florida State Plane coordinate system, East zone (FIPSZONE 0901), Transverse Mercator projection
- Bench mark (see explanation in Notes to Users section of this FIRM panel)
- River Mile

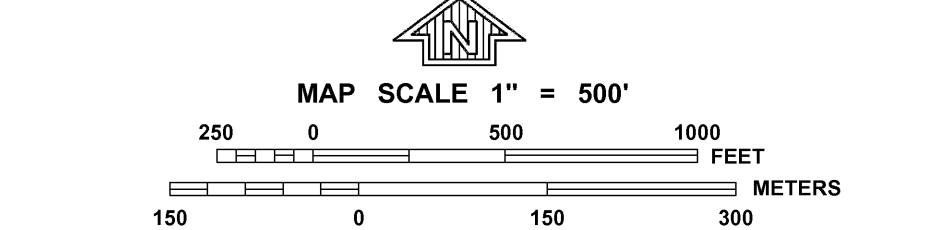
MAP REPOSITORY
Refer to listing of Map Repositories on Map Index.

EFFECTIVE DATE OF COUNTYWIDE
FLOOD INSURANCE RATE MAP
January 20, 1993

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL
March 2, 1994 - May 16, 1994 - July 17, 1995 - for description of revision, see Notice to Users page in the Flood Insurance Study report.
September 11, 2009 - to reflect revised shoreline, to incorporate previously issued Letters of Map Revision, to reflect updated topographic information, to add and change Base Flood Elevations, to update corporate limits, to change zone designations, to add roads and road names, and to add and change Special Flood Hazard Areas

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your Insurance agent or call the National Flood Insurance Program at 1-800-638-6620.



NATIONAL FLOOD INSURANCE PROGRAM

FEDERAL EMERGENCY MANAGEMENT AGENCY

PANEL 0144L

FIRM

FLOOD INSURANCE RATE MAP

MIAMI-DADE COUNTY,
FLORIDA
AND INCORPORATED AREAS

PANEL 144 OF 1031
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
BAL HARBOUR VILLAGE	120636	0144	L
TOWN OF BAY HARBOR ISLANDS	120637	0144	L
INDIAN CREEK VILLAGE	120646	0144	L
VILLAGE OF			
MIAMI - DADE COUNTY	120635	0144	L
NORTH MIAMI BEACH	120656	0144	L
NORTH MIAMI CITY OF	120655	0144	L
SURFSIDE TOWN OF	120659	0144	L

NOTES:

THIS MAP INCLUDES BOUNDARIES OF THE COASTAL BARRIER RESOURCES SYSTEM ESTABLISHED UNDER THE COASTAL BARRIER RESOURCES ACT OF 1982 AND/OR SUBSEQUENT ENABLING LEGISLATION.

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
12086C0144L

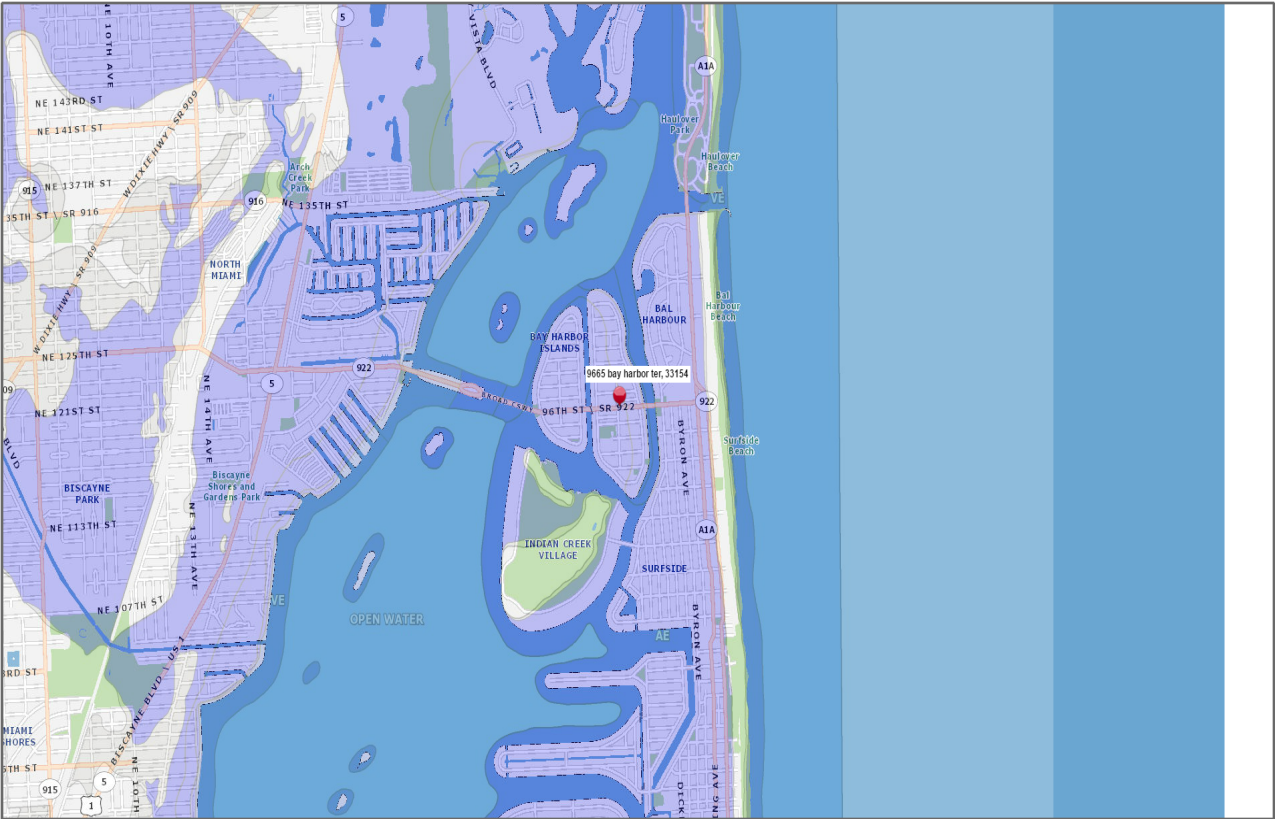
MAP REVISED
SEPTEMBER 11, 2009

Federal Emergency Management Agency



Flood Zones

Flood Zone for:9665 bay harbor ter, 33154



ZONE	Elevation
AE	8
Total Flood Zones	1

Designations:

Flood Zones	What does it mean?*
0.2 PCT ANNUAL CHANCE FLOOD HAZARD	An area inundated by 2% annual chance flooding. No Base Flood Elevations or depths are shown within this zone. Insurance purchase is not required in these zones.
A	Zone A is the flood insurance rate zone that corresponds to the 100-year floodplains that are determined in the Flood Insurance Study by approximate methods. Because detailed hydraulic analyses are not performed for such areas, no Base Flood Elevations (BFEs) or depths are shown within this zone. Mandatory flood insurance purchase requirements apply.
AE	Zone AE is the flood insurance rate zone that corresponds to the 100-year floodplains that are determined in the Flood Insurance Study by detailed methods. In most instances, Base Flood Elevations (BFEs) derived from the detailed hydraulic analyses are shown at selected intervals within this zone. Mandatory flood insurance purchase requirements apply.
AH	Zone AH is the flood insurance rate zone that corresponds to the areas of 100-year shallow flooding with a constant water-surface elevation (usually areas of ponding) where average depths are between 1 and 3 feet. The Base Flood Elevations (BFEs) derived from the detailed hydraulic analyses are shown at selected intervals within this zone. Mandatory flood insurance purchase requirements apply.

Disclaimer:

* Note: The flood zone information provided is intended for use in the unincorporated areas of Miami-Dade County. Municipalities will have their own floodplain management regulations and flood zone map information, which may differ from the County's information. Miami-Dade County provides this website as a public service to its residents.

** The County is continually editing and updating GIS data to improve positional accuracy and information. No warranties, expressed or implied, are provided for the positional or thematic accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file at Miami-Dade County and the County assumes no liability either for any errors, omissions, or inaccuracies in the information provided regardless of the cause of such or for any decision made, action taken, or action not taken by the user in reliance upon any information provided herein. Please direct all inquiries, comments, and suggestions to gis@miamidade.gov

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Flood Zones

D	Areas with possible but undetermined flood hazards. No flood hazard analysis has been conducted. Flood insurance rates are commensurate with the uncertainty of the flood risk.
Open water	Open Water: large lakes, bay, ocean.
VE	Zone VE is the flood insurance rate zone that corresponds to the 100-year coastal floodplains that have additional hazards associated with storm waves. Base Flood Elevations (BFEs) derived from the detailed hydraulic analyses are shown at selected intervals within this zone. Mandatory flood insurance requirements apply.
X	Zone X is the flood insurance rate zone that corresponds to areas outside the 100-year floodplains, areas of 100-year sheet flow flooding where average depths are less than 1 foot, areas of 100-year stream flooding where the contributing drainage area is less than 1 square mile, or areas protected from the 100-year flood by levees. No Base Flood Elevations (BFEs) or depths are shown within this zone.
* Definitions were provided by the Federal Emergency Management Agency (FEMA --> http://www.fema.gov).	

Disclaimer:

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Appendix M

TOWN OF BAY HARBOR ISLANDS
CODE OF ORDINANCE CHAPTER 7½

Sec. 7½-26. - General standards.

In all areas of special flood hazard, all development sites including new construction and substantial improvements shall be reasonably safe from flooding, and meet the following provisions:

- (1) New construction and substantial improvements shall be designed or modified and adequately anchored to prevent flotation, collapse, and lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy;
- (2) New construction and substantial improvements shall be constructed with materials and utility equipment resistant to flood damage;
- (3) New construction and substantial improvements shall be constructed by methods and practices that minimize flood damage;
- (4) Electrical, heating, ventilation, plumbing, air conditioning equipment and other service facilities, including duct work, shall be designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding;
- (5) New and replacement water supply systems shall be designed to minimize or eliminate infiltration of floodwaters into the systems;
- (6) New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of floodwaters into the systems and discharges from the systems into floodwaters;
- (7) On-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding;
- (8) Any alteration, repair, reconstruction or improvements to a building that is in compliance with the provisions of this chapter shall meet the requirements of "new construction" as contained in this chapter;
- (9) Any alteration, repair, reconstruction or improvements to a building that is not in compliance with the provisions of this chapter, shall be undertaken only if said nonconformity is not furthered, extended, or replaced;
- (10) All applicable additional federal, state, and local permits shall be obtained and submitted to the floodplain administrator along with the application for development permit. Copies of such permits shall be maintained on file with the development permit. State permits may include, but not be limited to, the following:
 - (a) *South Florida Water Management District*: in accordance with F.S. § 373.036(2)(a)—Flood protection and floodplain management;
 - (b) *Department of Community Affairs*: in accordance with F.S. § 380.05— Areas of critical state concern, and F.S. ch. 553, part IV—Florida Building Code;
 - (c) *Department of Health*: in accordance with F.S. § 381.0065—On-Site Sewage Treatment and Disposal Systems; and
 - (d) *Department of Environmental Protection, Coastal Construction Control Line*: in accordance with F.S. § 161.053—Coastal Construction and Excavation.
- (11) Standards for subdivision proposals and other new proposed development (including manufactured homes):
 - (a) Such proposals shall be consistent with the need to minimize flood damage;
 - (b) Such shall have public utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize or eliminate flood damage; and
 - (c) Such proposals shall have adequate drainage provided to reduce exposure to flood hazards.
- (12) When proposed new construction and substantial improvements are partially located in an area of special flood hazard, the entire structure shall meet the standards for new construction.

- (13) When proposed new construction and substantial improvements are located in multiple flood hazard risk zones or in a flood hazard risk zone with multiple base flood elevations, the entire structure shall meet the standards for the most hazardous flood hazard risk zone and the highest base flood elevation.

(Ord. No. 896, § 1(Exh. A), 1-11-10)

Sec. 7½-27. - Specific standards.

In all A-zones where base flood elevation data have been provided (zones AE, A1-30, A (with base flood elevation), and AH), as set forth in section 7½-4, the following provisions, in addition to those set forth in section 7½-26, shall apply:

- (1) *Residential construction.* All new construction and substantial improvement of any residential buildings shall have the lowest floor, including basement, elevated to no lower than base flood elevation. Should solid foundation perimeter walls be used to elevate a structure, there must be a minimum of two openings on different sides of each enclosed area sufficient to facilitate automatic equalization of flood hydrostatic forces in accordance with standards of subsection 7½-27(3).
- (2) *Nonresidential construction.* New construction and substantial improvement of any commercial, industrial, or nonresidential buildings shall have the lowest floor, including basement, elevated to no lower than base flood elevation. All buildings located in A-zones may be floodproofed, in lieu of being elevated, provided that all areas of the building components, together with attendant utilities and sanitary facilities, below the base flood elevation plus one foot are water tight with walls substantially impermeable to the passage of water, and use structural components having the capability of resisting hydrostatic and hydrodynamic loads and the effects of buoyancy. A registered professional engineer or architect shall certify that the standards of this subsection are satisfied using the FEMA floodproofing certificate. Such certification along with the corresponding engineering data, and the operational and maintenance plans shall be provided to the floodplain administrator.
- (3) *Enclosures below the lowest floor.* New construction and substantial improvements that include fully enclosed areas formed by foundations and other exterior walls below the lowest floor shall be designed to preclude finished living space and designed to allow for the entry and exit of floodwaters to automatically equalize hydrostatic flood forces on exterior walls.
 - a. Designs for complying with this requirement must either be certified by a professional engineer or architect or meet or exceed the following minimum criteria:
 1. Provide a minimum of two openings on different sides of each enclosed area having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding;
 2. The bottom of all openings shall be no higher than one foot above adjacent interior grade (which must be equal to or higher in elevation than the adjacent exterior grade); and
 3. Openings may be equipped with screens, louvers, valves, or other coverings or devices provided they provide the required net area of the openings and permit the automatic flow of floodwaters in both directions.
 - b. Fully enclosed areas below the lowest floor shall solely be used for parking of vehicles, storage, and building access. Access to the enclosed area shall be minimum necessary to allow for parking of vehicles (garage door), limited storage of maintenance equipment used in connection with the premises (standard exterior door), or entry to the living area (stairway or elevator); and

- c. The interior portion of such enclosed area shall not be partitioned or finished into separate rooms.
- (4) *[Structures on slopes.]* Adequate drainage paths around structures shall be provided on slopes to guide water away from structures within zone AH.
- (5) *Standards for waterways with established base flood elevations, but without regulatory floodways.* Located within the areas of special flood hazard established in section 7½-4, where streams exist for which base flood elevation data has been provided by the Federal Emergency Management Agency without the delineation of the regulatory floodway (zones AE and A1-30), the following provisions, in addition to those set forth in subsections 7½-27(1) through (5), shall apply:
- a. Until a regulatory floodway is designated, no new construction, substantial improvements, or other development including fill shall be permitted within the areas of special flood hazard, unless it is demonstrated that the cumulative effect of the proposed development, when combined with all other existing and anticipated development will not increase the water surface elevation of the base flood more than one foot at any point within the community.
 - b. Development activities which increase the water surface elevation of the base flood by more than one foot may be allowed, provided that the developer or applicant first applies, with the community's endorsement, for a conditional FIRM revision, and receives the approval of the Federal Emergency Management Agency (FEMA).
- (6) *Standards for waterways with established base flood elevations and floodways.* Located within areas of special flood hazard established in section 7½-4, are areas designated as floodways. Since the floodway is an extremely hazardous area due to the high velocity of flood waters which carry debris, potential projectiles and have significant erosion potential, the following provisions, in addition to those set forth in subsections 7½-27(1) through (5), shall apply:
- a. Prohibit encroachments, including fill, new construction, substantial improvements and other developments within the regulatory floodway unless certification (with supporting technical data) by a registered professional engineer is provided through hydrologic and hydraulic analyses performed in accordance with standard engineering practice demonstrating that encroachments would not result in any increase in flood levels during occurrence of the base flood discharge.
 - b. Placement of manufactured homes is prohibited within the regulatory floodway, except in an existing manufactured home park or subdivision. A replacement manufactured home may be placed on a lot in an existing manufactured home park or subdivision provided the anchoring standards of subsection 7½-26(2), the elevation standards of subsections 7½-27(1) and (2), and the encroachment standard of subsection 7½-27(7)a. are met.
 - c. Development activities including new construction and substantial improvements within the regulatory floodway that increase the base flood elevation may be allowed, provided that the developer or applicant first applies, with the community's endorsement, for a conditional FIRM revision, and receives the approval of FEMA.
 - d. When fill is proposed, in accordance with the permit issued by the Florida Department of Health, within the regulatory floodway, the development permit shall be issued only upon demonstration by appropriate engineering analyses that the proposed fill will not increase the water surface elevation of the base flood in accordance with subsection 7½-27(7)a.
- (7) *[Structures seaward of coastal construction control line.]* For all structures located seaward of the coastal construction control line (CCCL), the lowest floor of all new construction and substantial improvements shall be elevated to no lower than the 100-year flood elevation established by the Florida Department of Environmental Protection or by FEMA in accordance with section 7½-4, whichever is higher. All non-elevation design requirements of this section shall apply.

(Ord. No. 896, § 1(Exh. A), 1-11-10)

Appendix N

MIAMI-DADE COUNTY AVERAGE
GROUNDWATER TABLE MAP

