

When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don't turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

**TOWN OF BAY HARBOR ISLANDS
PLANNING AND ZONING BOARD**

October 3, 2017

FINAL AGENDA

CALL TO ORDER: Set for 7:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

1. Request for approval for an addition for "Brett and Maria Reizen" located at 9424 W. Broadview Drive, Lot 82-83 of Block 23. The owners are proposing an addition and renovation to an existing single family residence. The proposed two story home will approximately have 5,969 square feet of a/c living space with a two car garage. The residence will have (7) seven bedrooms, (7) seven bathrooms, (1) one half bath and a theater. Enclosed please find the site plan and elevations. (Item #1A)

** Staff Review:* Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Ms. Ana Rocha Carolina, Community Planner.

2. Approval of the minutes of the meeting held on April 5, 2017. Item #2A

ADJOURNMENT

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AGENDA ITEM REPORT

October 3, 2017

ITEM NUMBER: 1.

ITEM: Request for approval for an addition for “Brett and Maria Reizen” located at 9424 W. Broadview Drive, Lot 82-83 of Block 23. The owners are proposing an addition and renovation to an existing single family residence. The proposed two story home will approximately have 5,969 square feet of a/c living space with a two car garage. The residence will have (7) seven bedrooms, (7) seven bathrooms, (1) one half bath and a theater. Enclosed please find the site plan and elevations. (Item #1A)

DESCRIPTION:

RECOMMENDED ACTION:

Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Ms. Ana Rocha Carolina, Community Planner.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Martinez

ATTACHMENTS

1.	Site Plan & Elevation	9424WBRDVDR.pdf
2.	Staff Report	BHI PZB Staff Report 9424 WBVD SFR Sept 27 2017.pdf

PROPOSED RENOVATION AND ADDITION TO EXISTING RESIDENCE

9424 W. BROADVIEW DRIVE,

BAY HARBOR ISLANDS, FLORIDA 33154



CLIENT

9424 BROADVIEW DR.
BAY HARBOR ISLANDS, FL. 33154

ARCHITECT

CHOFFEY LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 BISCAYNE BLVD. SUITE 201
MIAMI, FL 33138
(305) 434-8338

LANDSCAPE ARCHITECTURE

MGRM, CHRISTOPHER CAWLEY LANDSCAPE
ARCHITECTURE LLC
780 NE 79 TH STREET SUITE 1106
MIAMI, FL 33138
(305) 979-1585
LC 26000460

STRUCTURAL ENGINEER

QUALITY STRUCTURAL DESIGN, P.E.
429 LENOX AVE. SUITE 5009
MIAMI BEACH, FL 33139
(706) 419-2053

MEP ENGINEER

LEONARDO NAVEIRAS, INC.
1918 HARRISON ST. #207
HOLLYWOOD, FL 33020
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Miami, Florida 33138
(305) 434-8338
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www.choffeylevyfishman.com

BAY HARBOR RESIDENCE
9424 W BROADVIEW DR.
BAY HARBOR ISLANDS, FL 33154

seal

comm no.
1725

date:

revised:

sheet no.

A-0.0



PROPOSED RENOVATION AND ADDITION TO EXISTING RESIDENCE

9424 W. BROADVIEW DRIVE,

BAY HARBOR ISLANDS, FLORIDA 33154



INDEX OF DRAWINGS

A-0.0	COVER
A-0.1	INDEX OF DRAWINGS / LOCATION MAP
A-0.2	SURVEY
A-0.3	BUILDING AND SITE DATA
A-0.3A	BUILDING AND SITE DATA

DEMOLITION

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D-0.2	GENERAL NOTES
D-1.0	DEMOLITION FIRST FLOOR PLAN
D-1.1	DEMOLITION SECOND FLOOR PLAN
D-1.2	DEMOLITION ROOF PLAN
D-1.3	DEMOLITION FRONT AND REAR EXTERIOR ELEVATIONS
D-1.4	DEMOLITION LEFT AND RIGHT SIDE EXTERIOR ELEVATIONS

ARCHITECTURAL

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A-2.1	FIRST FLOOR REFLECTING CEILING PLAN
A-2.2	SECOND FLOOR REFLECTING CEILING PLAN
A-4.0	STAIR SECTION
A-4.1	SECTIONS
E-SPEC'S	LIGHTING SPECIFICATIONS

LANDSCAPING

L-0	LANDSCAPE COVER PAGE + SHEET INDEX
L-1	EXISTING TREE SURVEY / DISPOSITION PLAN
L-2	LANDSCAPE PLAN
L-3	LANDSCAPE NOTES + DETAILS
L-4	FRONT + BACK ELEVATIONS
L-5	SIDE ELEVATIONS

9424 W. BROADVIEW DR.
BAY HARBOR ISLANDS, FL 33154

STRUCTURAL

S-1	FOUNDATION / GROUND FLOOR FRAMING PLAN
S-2	SECOND FLOOR FRAMING PLAN
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ELECTRICAL

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MECHANICAL

M-1	H.V.A.C. PARTIAL FIRST FLOOR PLAN
M-2	H.V.A.C. PARTIAL SECOND FLOOR PLAN
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PLUMBING

P-1	FIRST FLOOR PLAN - PLUMBING - SANITARY
P-2	SECOND FLOOR PLAN - PLUMBING - SANITARY
P-3	FIRST FLOOR PLAN - PLUMBING (WATER)
P-4	SECOND FLOOR PLAN - PLUMBING (WATER)

PROPERTY ADDRESS: 9424 W BROADVIEW DRIVE BAY HARBOR ISLANDS, FLORIDA 33154

SURVEY NUMBER: FL1610.3536-01

FIELD WORK DATE: 4/25/2017

REVISION DATE(S): (REV.1 4/27/2017) (REV.2 2/2/2017)

FL1610.3536-01
BOUNDARY SURVEY
MIAMI-DADE COUNTY

TABLE:
LI S 26°04'14" W 30.00' (P)
S 26°04'14" W 30.00' (M)

C-1
R=1108.18'(D#M)
L=172.96'(D) 173.53'(M)
Δ=8°56'45"(D) 8°58'20"(M)
N 68°35'03" W, 172.97'(D)
N 68°43'49" W, 173.36'(M)

C-2
R=1138.18'(P#M)
L=81.50'(P) 80.97'(M)
Δ=4°06'10"(P) 4°04'34"(M)
N 62°22'30" W, 81.48'(P)
N 62°33'58" W, 80.95'(M)

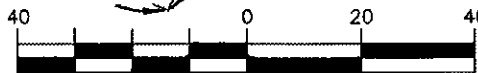
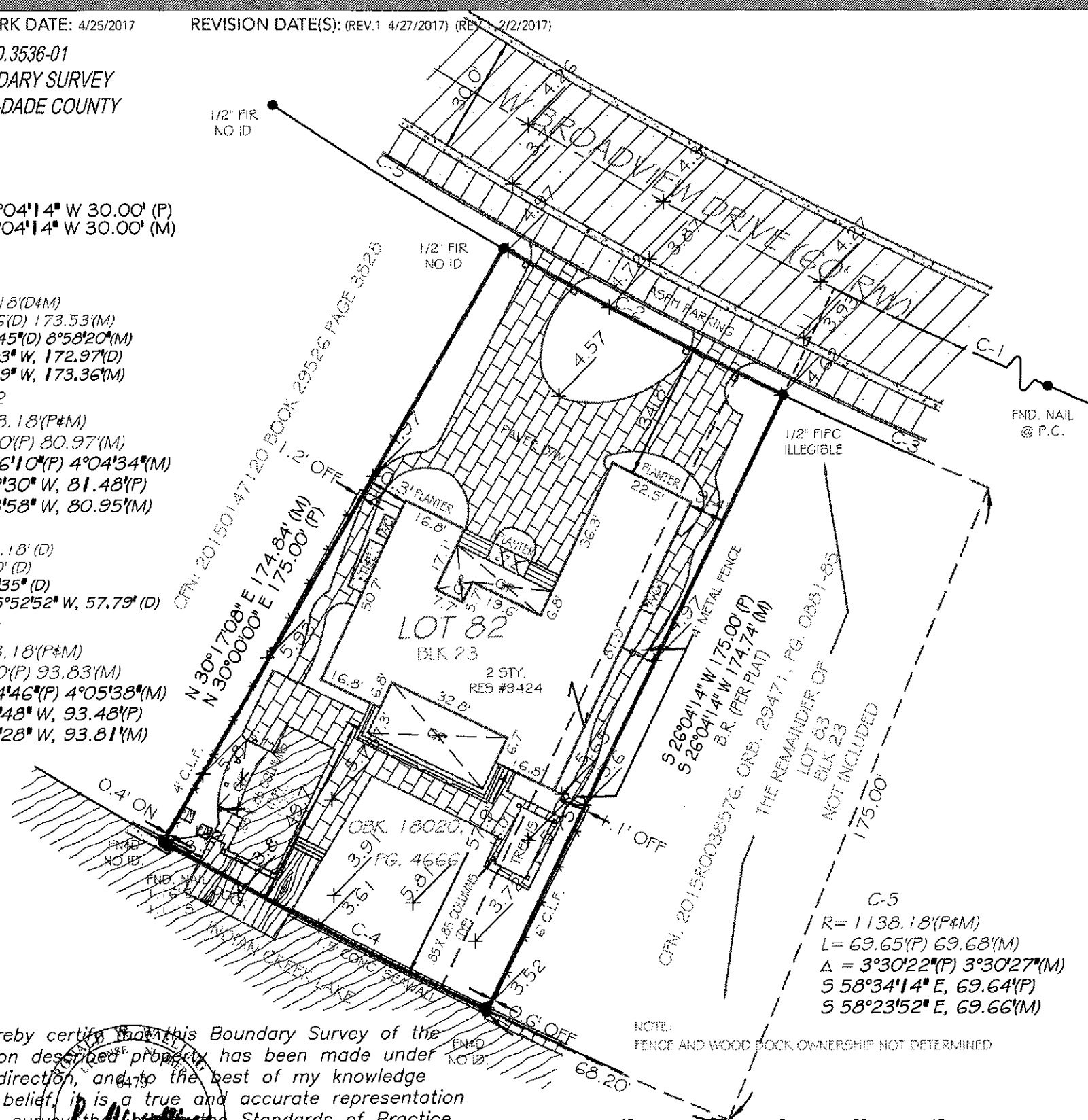
C-3
R=1138.18'(D)
L=57.80'(D)
Δ=2°54'35"(D)
CH=N 65°52'52" W, 57.79'(D)

C-4
R=1313.18'(P#M)
L=93.50'(P) 93.83'(M)
Δ=4°04'46"(P) 4°05'38"(M)
N 62°21'48" W, 93.48'(P)
N 62°31'28" W, 93.81'(M)

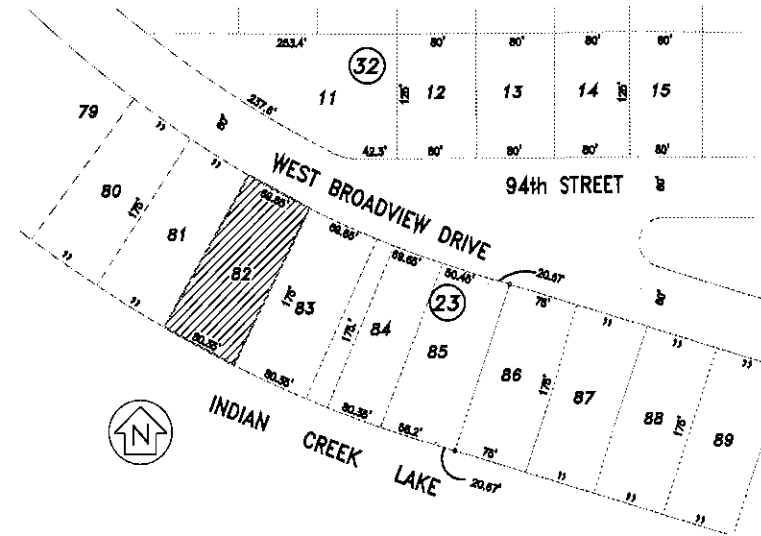
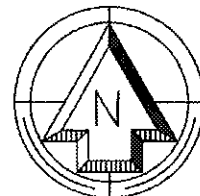
I hereby certify that this Boundary Survey of the hereon described property has been made under my direction, and to the best of my knowledge and belief, it is a true and accurate representation of a survey that meets the Standards of Practice set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17 of the Florida Administrative Code.

RONALD W. WALLING
State of Florida Professional Surveyor and Mapper
License No. 6473

SURVEY
SCALE: NOT TO SCALE



GRAPHIC SCALE (In Feet)
1 inch = 40' ft.



LOCATION MAP
SCALE: NOT TO SCALE

BAY HARBOR RESIDENCE
9424 W BROADVIEW DR.
BAY HARBOR ISLANDS, FL 33154

seal

comm no.
1725

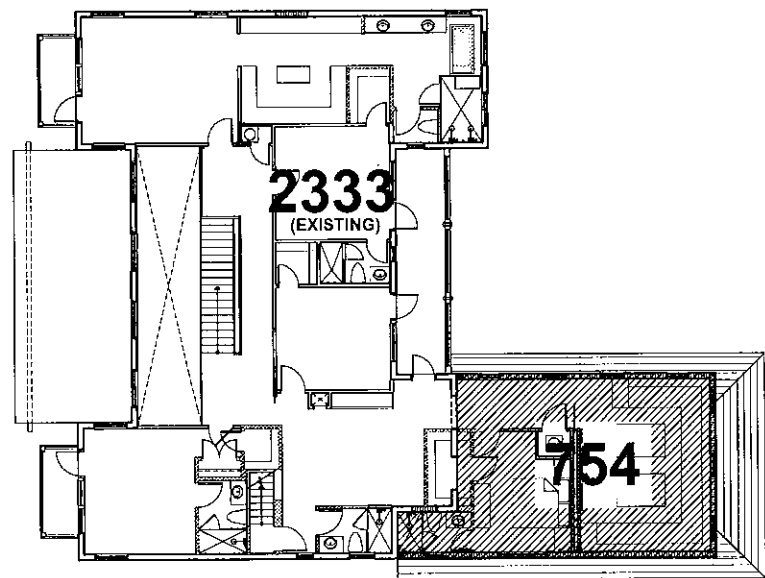
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revised:

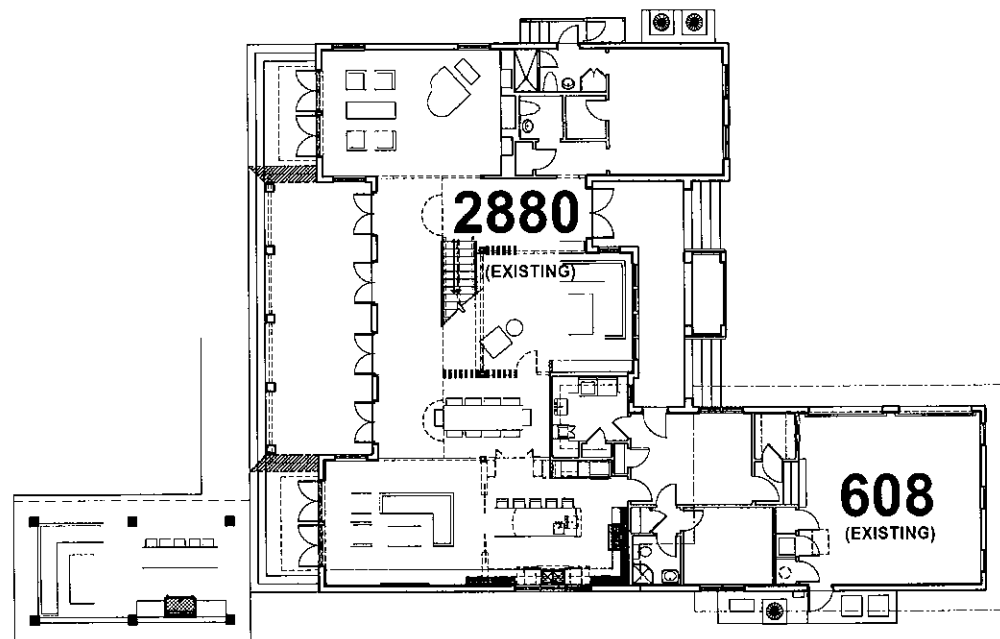
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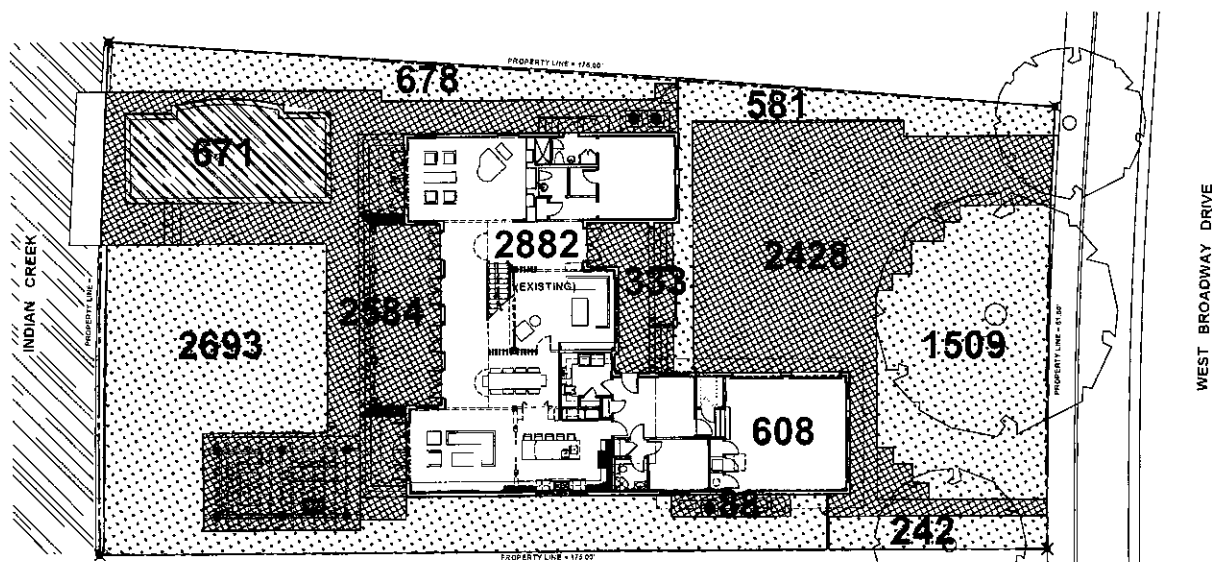
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Tel: 305.862.5292
www.choefflevyfishman.com



PROPOSED
SECOND FLOOR AREA
SCALE 3/8" = 1'-0" N



PROPOSED
FIRST FLOOR AREA
SCALE 5/8" = 1'-0" N



PROPOSED PERVIOUS
VS. IMPERVIOUS AREA
SCALE 1/8" = 1'-0" N

LEGEND :

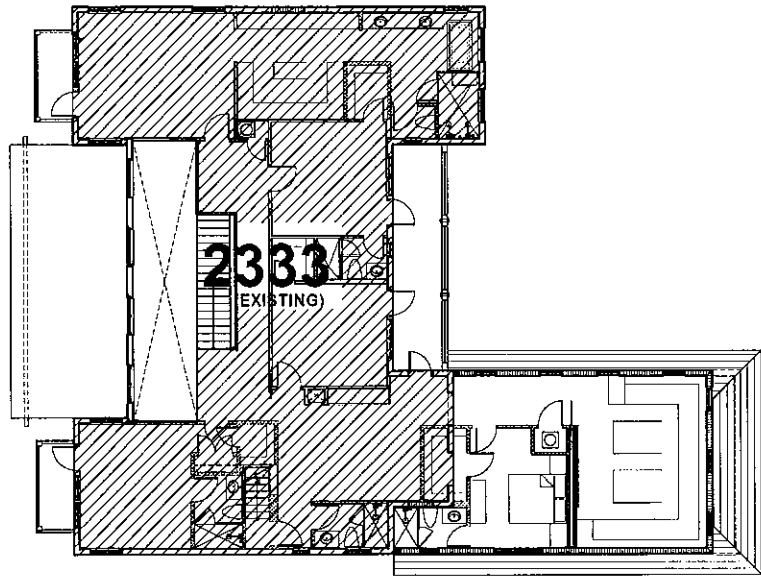
- IMPERVIOUS
- PERVIOUS
- WATER

PROPOSED BUILDING DATA

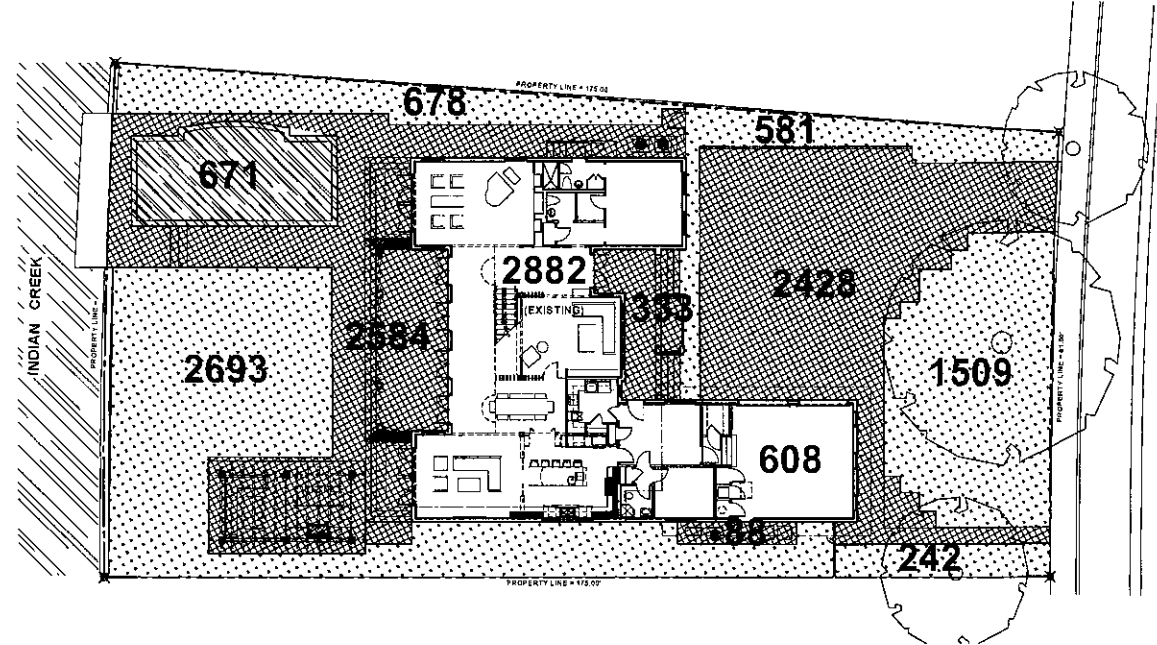
MAIN HOUSE:		
FIRST FLOOR (AC)	2,882 S. F.	(NEW + EXISTING)
SECOND FLOOR (AC)	3,087 S. F.	
TOTAL (AC)	5,969 S. F.	(UNIT SIZE VS. LOT SIZE)
	(38.96%)	
GARAGE (NON AC)	608 S. F.	
TOTAL (NON AC)	608 S. F.	
	(3.97%)	
TOTAL BUILDING AREA (AC + NON AC)	6,577 S. F.	(UNIT SIZE VS. LOT SIZE)
	(42.94%)	

PROPOSED SITE DATA

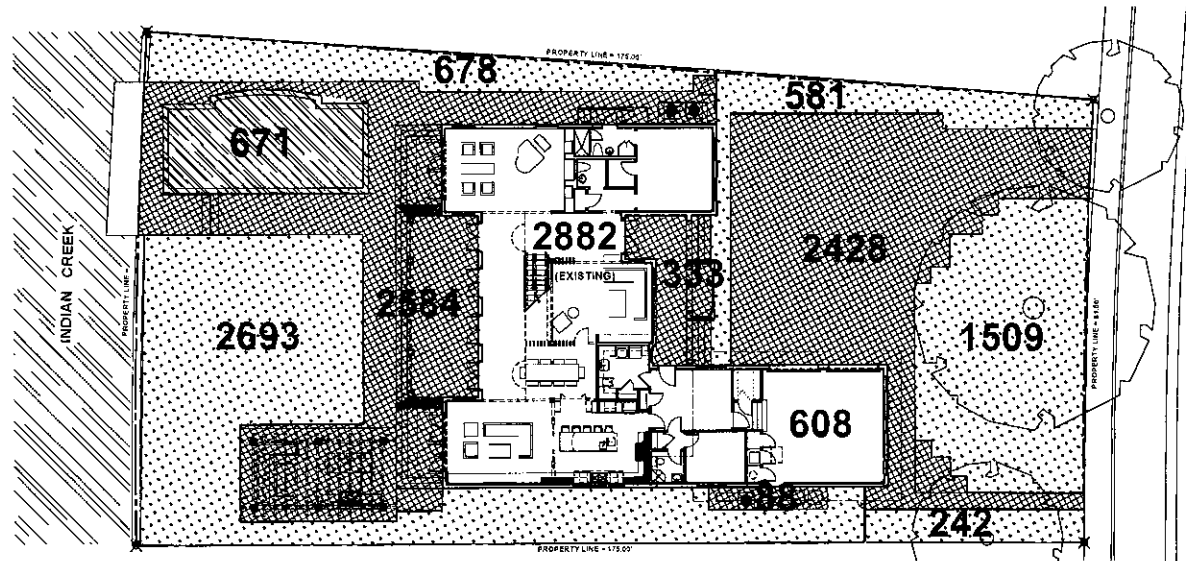
EXISTING LOT SIZE:	15,217 S. F.
	(100%)
PERVIOUS AREA:	
POOL	671 S. F.
LANDSCAPING	5,709 S. F.
TOTAL PERVIOUS AREA:	6,374 S. F.
	(41.87%)
IMPERVIOUS AREA:	
DECK & WALK	3,009 S. F.
DRIVEWAY	2,428 S. F.
BUILDING	3,440 S. F.
TOTAL IMPERVIOUS AREA:	8,923 S. F.
	(58.13%)



1
A-0.3
EXISTING SECOND FLOOR AREA
SCALE 3/32" = 1'-0"
N



2
A-0.4
EXISTING FIRST FLOOR AREA
SCALE 3/32" = 1'-0"
N



3
A-0.5
EXISTING PERVIOUS VS. IMPERVIOUS AREA
SCALE 1/8" = 1'-0"
N

LEGEND :

- IMPERVIOUS
- PERVIOUS
- WATER

EXISTING BUILDING DATA

MAIN HOUSE:		
FIRST FLOOR (AC)	2,882 S. F.	
SECOND FLOOR (AC)	2,333 S. F.	
TOTAL (AC):	5,215 S. F.	(UNIT SIZE VS. LOT SIZE)
	(24.04%)	
GARAGE (NON AC)	608 S. F.	
TOTAL (NON AC):	608 S. F.	
	(3.97%)	
TOTAL BUILDING AREA (AC + NON AC):	5,823 S. F.	(UNIT SIZE VS. LOT SIZE)
	(30.06%)	

EXISTING SITE DATA

EXISTING LOT SIZE:	15,241 S. F.
	(100%)
PERVIOUS AREA:	
POOL	671 S. F.
LANDSCAPING	5,709 S. F.
TOTAL PERVIOUS AREA:	6,374 S. F.
	(41.67%)
IMPERVIOUS AREA:	
DECK WALKS	3,005 S. F.
DRIVEWAY	2,420 S. F.
BUILDING	3,440 S. F.
TOTAL IMPERVIOUS AREA:	8,825 S. F.
	(58.33%)

BAY HARBOR RESIDENCE
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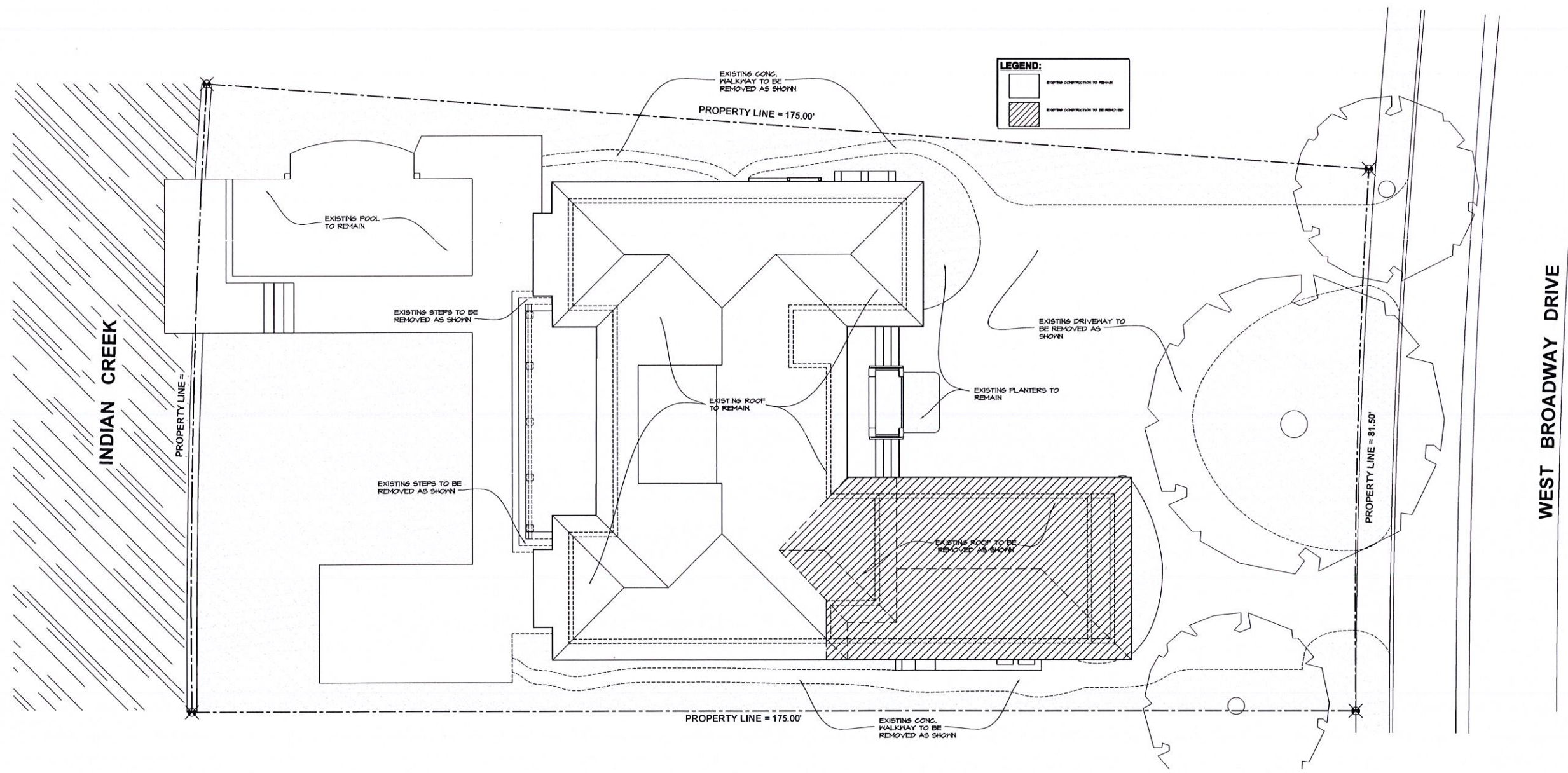
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 DEMOLITION SITE PLAN
SCALE: 1/8"=1'-0"

BAY HARBOR RESIDENCE
9424 W BROADVIEW DR.
BAY HARBOR ISLANDS, FL 33154

seal

comm no.
1725
date:
revised:

sheet no.
D-0.1

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(305) 434-8338
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DEMOLITION NOTES:

DESCRIPTION OF WORK
A. WORK INCLUDED IN THIS SECTION: ALL LABOR, MATERIALS, ETC., NECESSARY TO COMPLETE ALL DEMOLITION AND REMOVAL WORK REQUIRED TO COMPLETE CONTRACT WORK AS SHOWN ON DRAWINGS, AS SPECIFIED HEREIN, AND/OR AS REQUIRED BY JOB CONDITIONS, INCLUDING BUT NOT LIMITED TO:

I. ADDITION AND RENOVATION TO EXISTING RESIDENCE.

APPLICABLE RULES, REGULATIONS AND CODES
A. ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE RULES AND REGULATIONS AND THE CODES AND ORDINANCES OF LOCAL, STATE AND FEDERAL AUTHORITIES, AND IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLIC UTILITY CORPORATIONS, AND ALL CITY DEPT. HAVING JURISDICTION OVER THE WORK, AND WITH OWNER'S SPECIAL CONDITIONS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY FEES, PERMITS (INCLUDING HAUL AND DUMPING LICENSES) AND CERTIFICATES AND GIVE ALL NOTICES AS REQUIRED DURING THE PERFORMANCE OF THE DEMOLITION WORK.

B. THE METHOD OF PERFORMING THE WORK OF DEMOLITION SHALL CONFORM TO ALL REQUIREMENTS OF THE CODE, AND ALL OTHER ORDINANCES AND REGULATIONS OF MIAMI-DADE COUNTY OR ANY OF ITS DEPARTMENTS, APPLICABLE TO THE WORK INVOLVED.

C. EXCEPT AS OTHERWISE MODIFIED HEREIN, DEMOLITION WORK SHALL CONFORM TO THE APPLICATION REQUIREMENTS OF THE ANSI SAFETY CODE FOR BUILDING CONSTRUCTION, ANSI A10.2, PART I "DEMOLITION" AS ISSUED BY AMERICAN NATIONAL STANDARDS INSTITUTE. WHERE THE REQUIREMENTS SPECIFIED HEREIN OR CONTAINED IN THE ANSI SAFETY CODE DIFFER FROM OTHER APPLICABLE RULES, REGULATIONS AND CODES, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN ALL WORK UNDER THE CONTRACT.

D. THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR DISCOVERY, PRESENCE, HANDLING, CONTAINMENT, REMOVAL, OR DISPOSAL OF MOLD, ASBESTOS, PCB OR OTHER 'HAZARDOUS MATERIAL' (AS DEFINED IN SOUTH FLORID BUILDING CODE).

EXECUTION

A. CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH WORK.

B. CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE EXISTING STRUCTURE PRIOR TO DEMOLITION.

C. COMPLETE ALL DEMOLITION WORK AS SHOWN ON DRAWINGS AND AS REQUIRED BY THE WORK. REMOVE ALL DEMOLITION MATERIALS AND DEBRIS FROM THE CONSTRUCTION SITE.

D. BARRICADE AND COVER AS NECESSARY TO PROTECT PEDESTRIANS, WORKMEN AND ADJACENT PROPERTIES. CONTROL DUST BY PERIODICALLY SPRAYING DEMOLITION WORK WITH WATER.

E. PROTECT ANY EXISTING ACTIVE SERVICE LINES, INDICATED OR NOT. DISCONNECT ANY ELECTRIC, TELEPHONE, GAS, WATER OR OTHER LINES SERVICING THE STRUCTURE AS PER RULES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION.

F. AVOID ANY ENCROACHMENT ON ADJACENT PROPERTIES, REPAIR AND MAKE GOOD ANY DAMAGE TO ADJOINING PROPERTIES CAUSED BY OPERATIONS. CONDUCT OPERATIONS SO AS NOT TO INTERFERE WITH ADJACENT STREETS, WALKS, SERVICE LINE.

G. PREVENT ACCUMULATION OF DEBRIS AND OVERLOADING OF ANY PARTS OF THE STRUCTURE. ALL MATERIAL REMOVED UNDER THIS CONTRACT, WHICH IS NOT TO BE REUSED, SHALL BE PROMPTLY REMOVED FROM THE SITE.

H. UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO THE OWNER, LOCAL AUTHORITIES AND THE ARCHITECT.

PROJECT DATA

SCOPE OF WORK:
ADDITION AND RENOVATION OF TWO STORY RESIDENCE IN BAY HARBOR, FLORIDA.

PROPERTY ADDRESS:
9424 W. BROADVIEW
BAY HARBOR ISLANDS, FL 33154

FOLIO NUMBER:
FOLIO: 13-2227-001-4620

ORIGINALLY BUILT:
1998

LEGAL DESCRIPTION:

PORTION OF LOT 83 AND PORTION OF LOT 84, BLOCK 23 BAY HARBOR ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 46, AT PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ZONING DESIGNATION:

RD RESIDENTIAL SINGLE FAMILY

APPLICATE CODES

FLORIDA BUILDING CODE 2010/EXISTING BUILDING CODE 2010
FLORIDA FIRE PREVENTION CODE 2010
NFPA 101 LIFE SAFETY CODE 2010
BAY HARBOR, FL CODE OF ORDINANCES

INDEX OF DRAWINGS

A-0.0	COVER
A-0.1	INDEX OF DRAWINGS
A-0.2	SURVEY
A-0.3	GENERAL NOTES
D-0.0	DEMOLITION SITE PLAN
D-1.0	DEMOLITION FIRST FLOOR PLAN
D-1.1	DEMOLITION SECOND FLOOR PLAN
D-1.2	DEMOLITION ROOF PLAN
D-1.3	DEMOLITION FRONT AND REAR EXTERIOR ELEVATIONS
D-1.4	DEMOLITION LEFT AND RIGHT SIDE EXTERIOR ELEVATIONS
A-0.4	PROPOSED NEW SITE PLAN
A-1.0	PROPOSED NEW FIRST FLOOR PLAN
A-1.1	PROPOSED NEW SECOND FLOOR PLAN
A-1.2	PROPOSED NEW ROOF PLAN
A-1.3	PROPOSED NEW FRONT AND REAR EXTERIOR ELEVATIONS
A-1.4	PROPOSED NEW LEFT AND RIGHT SIDE EXTERIOR ELEVATIONS

BAY HARBOR RESIDENCE
9424 W BROADVIEW DR.
BAY HARBOR ISLANDS, FL 33154

seal

comm no.

1725

date:

revised:

sheet no.

D-0.2

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www.clarchitects.com
(t) 305 434 8338
(f) 305 892 5592

CONTRACTOR NOTE:

CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION & INFORM ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR RESPONSIBLE FOR VERIFYING THE STRUCTURAL INTEGRITY OF EXISTING STRUCTURE AND ERECTING REQUIRED BRACING PRIOR TO ANY DEMOLITION.

NOTE:

ALL DIMENSIONS GIVEN ON PLANS ARE BASED ON FIELD INSPECTION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK.

FIRST FLOORING NOTE:

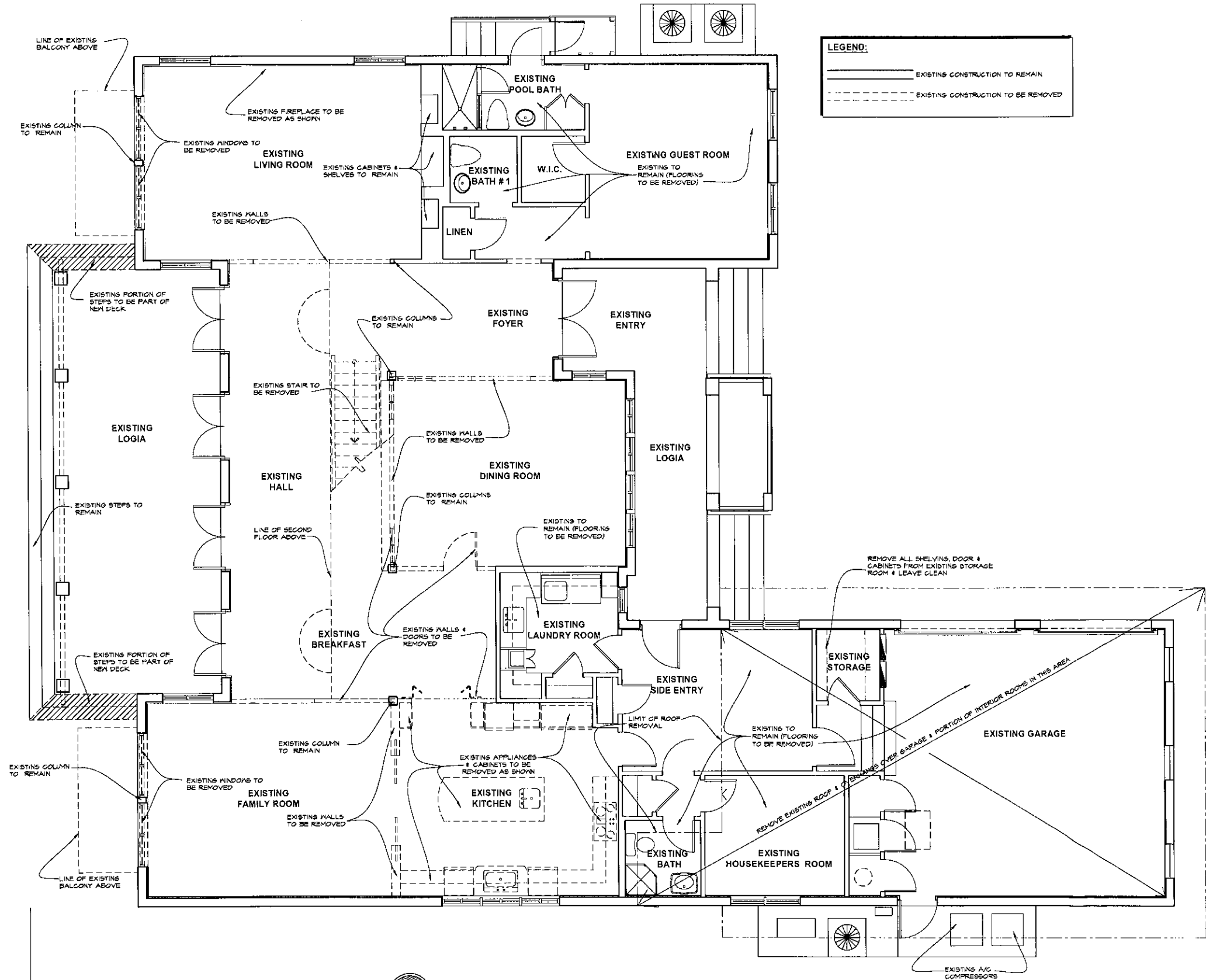
- 1.- REMOVED ALL EXISTING FLOORING FROM FIRST FLOOR TO TO BE REPLACE WITH NEW FLOORING AS PER INTERIOR DESIGNER.
- 2.- REMOVE ALL BASEBOARDS FROM FIRST FLOOR TO BE REPLACE WITH NEW AS PER INTERIOR DESIGNER SPECIFICATIONS.

LEGEND:

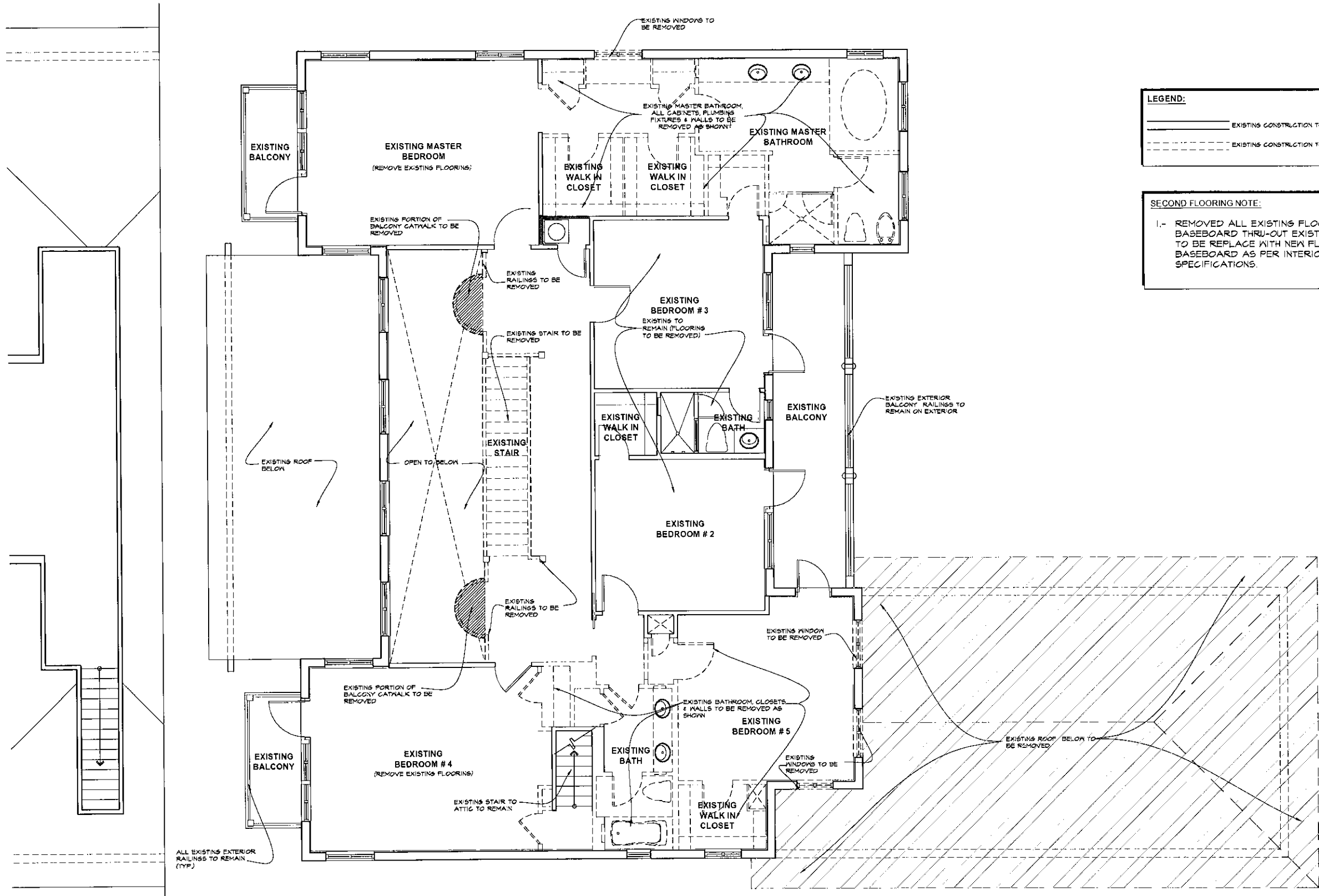
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

DEMOLITION NOTES:

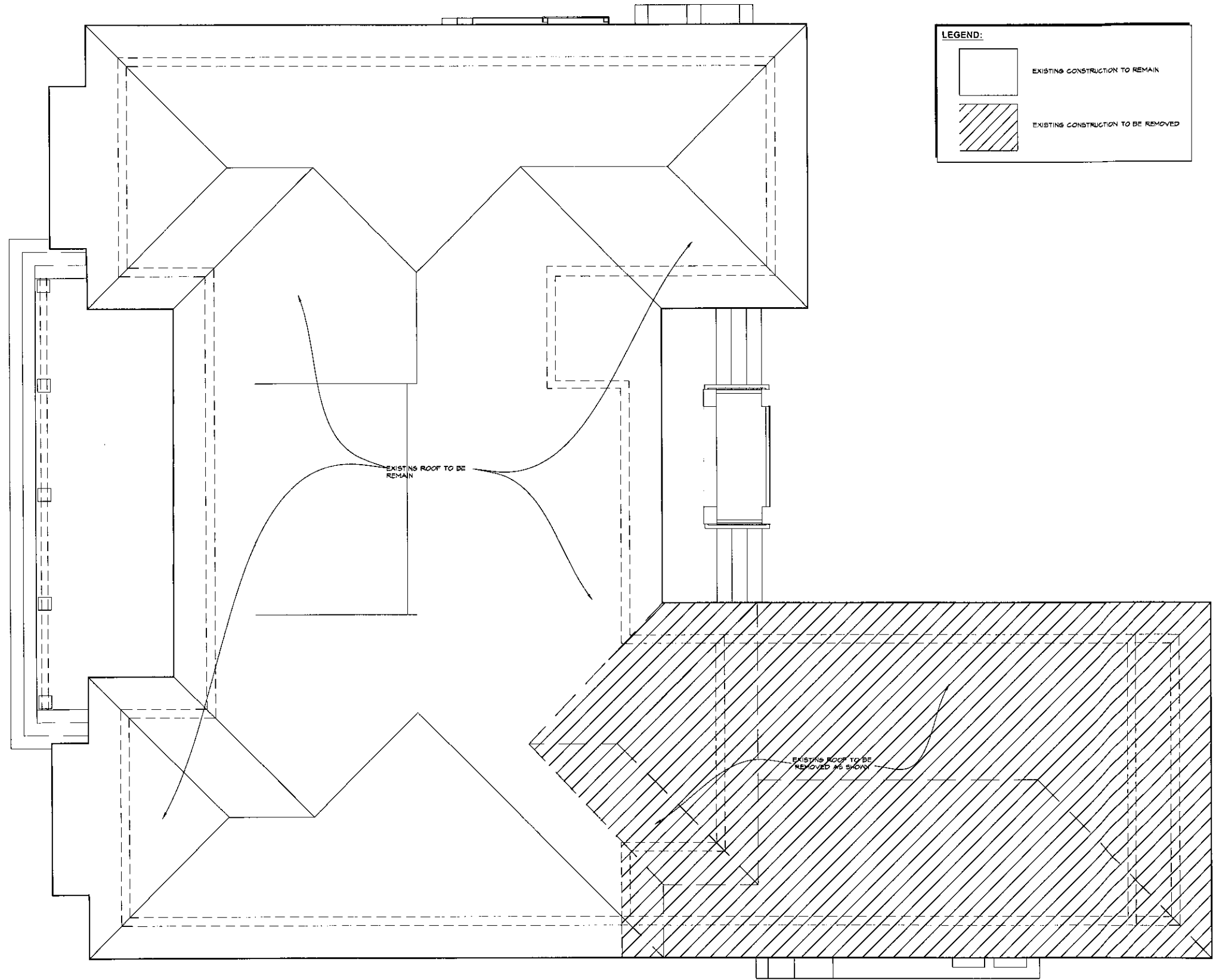
- 1.- EXTENT OF SELECTIVE DEMOLITION WORK IS INDICATED ON DRAWINGS.
- 2.- TYPES OF SELECTIVE DEMOLITION NOTES :
DEMOLITION REQUIRES THE SELECTIVE REMOVAL AND SUBSEQUENT OFFSITE DISPOSAL OF THE FOLLOWING:
A- PORTION OF PARTITIONS AS INDICATED ON DRAWINGS.
B- REMOVAL OF DOORS AND FRAMES INDICATED.
C- REMOVAL OF PLUMBING FIXTURES INDICATED.
- 3.- RELATED WORK SPECIFIED ELSEWHERE :
OCCUPANCY :
ALL PORTIONS OF BUILDINGS SHALL BE VACATED PRIOR TO STAR DEMOLITION. THE BUILDING SHALL NOT BE OCCUPIED DURING DEMOLITION OR CONSTRUCTION UNTIL TCO OR CO HAS BEEN ISSUED BY THE CITY OF BAY HARBOR. CONTRACTOR SHALL COORDINATE AND SCHEDULE STAR OF DEMOLITION WITH OWNER / TENANTS.
- 4.- CONDITION OF STRUCTURES :
OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
- 5.- PARTIAL DEMOLITION AND REMOVAL :
ITEMS INDICATED TO BE REMOVED BUT OF SALVABLE VALUE TO CONTRACTOR MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM SITE AS THEY ARE REMOVED.
- 6.- STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
- 7.- PROTECTION :
PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
- 8.- PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER PERSONNEL AND GENERAL PUBLIC TO AND FROM OCCUPIED PORTION OF BUILDING.
- 9.- ERECT TEMPORARY COVERED PASSAGEWAYS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- 10.- PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN PLACE AND BECOME EXPOSED DURING DEMOLITION OPERATIONS.
- 11.- PROTECT FLOOR WITH SUITABLE COVERINGS WHEN NECESSARY.
- 12.- CONSTRUCT TEMPORARY INSULATED SOLID DUSTPROOF PARTITIONS WHERE REQUIRED TO SEPARATED AREAS WHERE NOISY OR EXTENSIVE DIRT OR DUST OPERATION ARE PERFORMED. EQUIP PARTITIONS WITH DUSTPROOF DOORS AND SECURITY LOCK ARE REQUIRED.
- 13.- STEEL STUDS SUPPORTING WALL HUNG FIXTURE CABINETS SHALL BE DOUBLE OR 20 GAUGE AS PER 4411.4.5.1. FBGR
- 14.- ALL WET AREAS SHALL BE PROVIDED WITH CEMENT BOARD BACKINGS.
- 15.- WHERE EXISTING DOORS AND WINDOWS ARE TO BE REMOVED OPENINGS HAS TO BE BLOCK-UP AND PATCH AND PLASTER TO MATCH EXISTING.



GROUND FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"




SECOND FLOOR DEMOLITION PLAN
 SCALE: 1/4"=1'-0"



DEMOLITION ROOF PLAN
SCALE: 1/4"=1'-0"

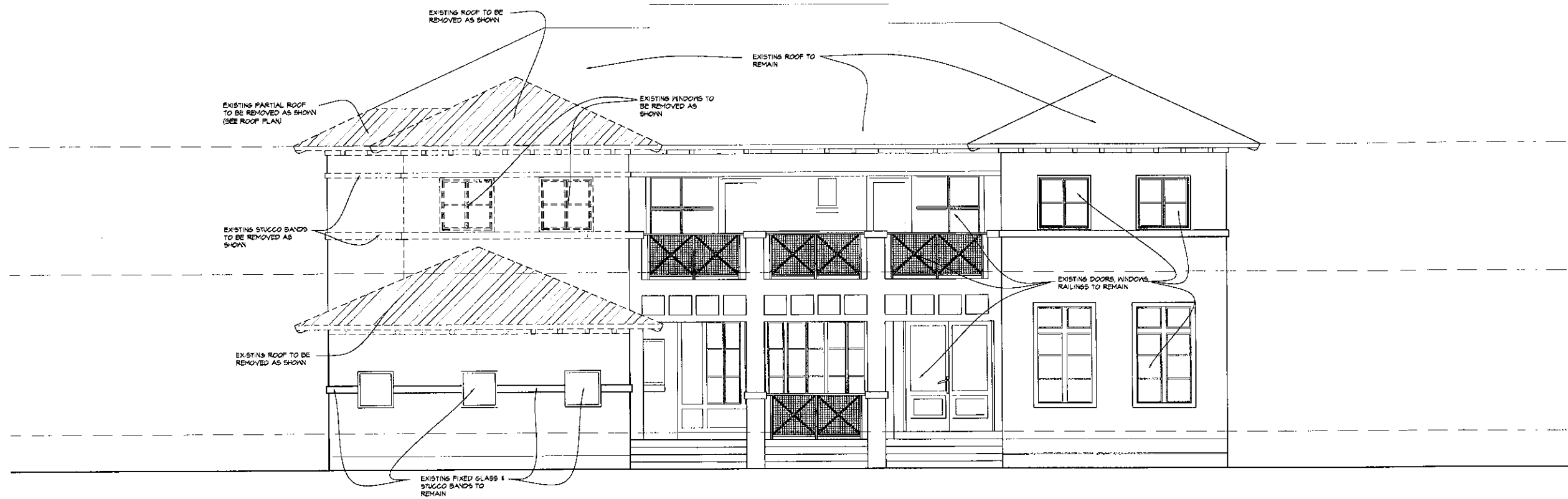
BAY HARBOR RESIDENCE
9424 W BROADVIEW DR.
BAY HARBOR ISLANDS, FL 33154

seal

comm no:
1725
date:
revised:

CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 Biscayne Blvd, Suite 201
Miami, Florida 33133
(305) 434-8338
(305) 892-5292
www.choefflevyfishman.com

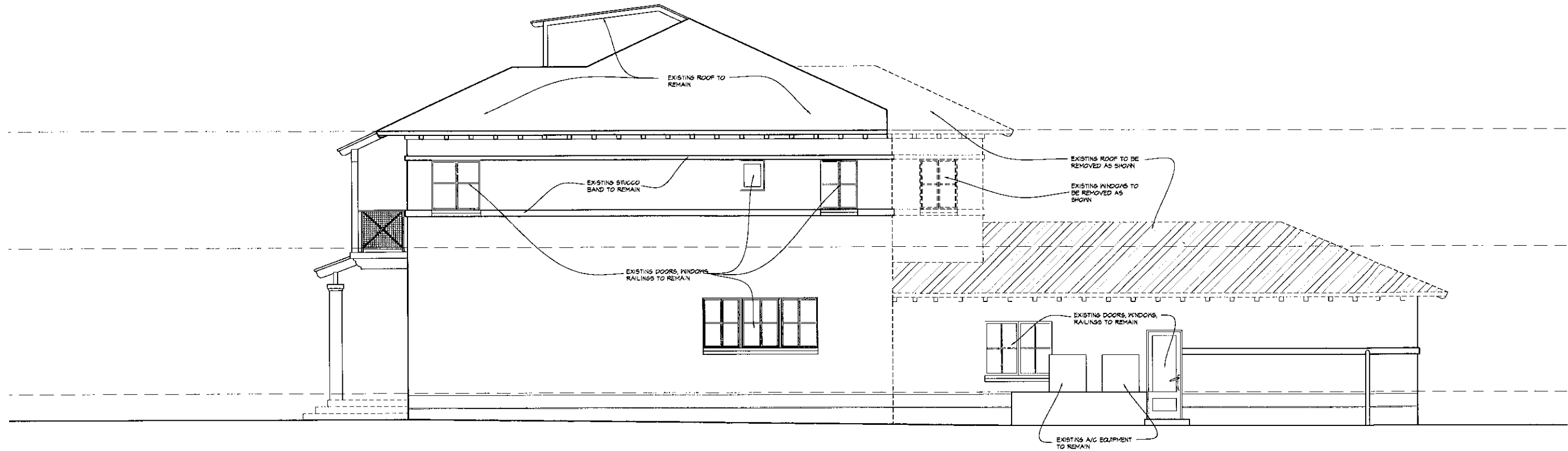
sheet no.
D-1.2



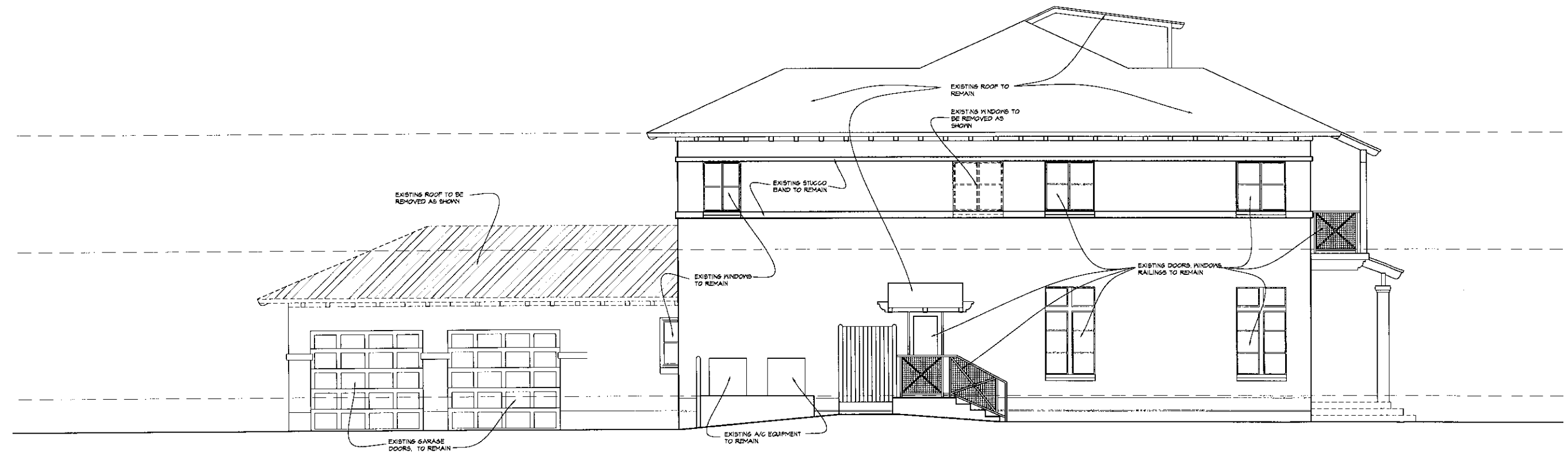
DEMOLITION FRONT ELEVATION
SCALE: 1/4"=1'-0"



DEMOLITION REAR ELEVATION
SCALE: 1/4"=1'-0"



DEMOLITION LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



DEMOLITION RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

seal

comm no.
1725
date:
revised:

ALL OF LOT 82 AND A PORTION OF LOT 83 IN
BLOCK 23, BAY HARBOR ISLAND, ACCORDING TO
THE PLAT THEREOF AS RECORDED IN PLAT BOOK
46, PAGE 5, OF THE PUBLIC RECORDS OF
MIAMI-DADE COUNTY, FLORIDA

BAY HARBOR RESIDENCE
9424 W BROADVIEW DR.
BAY HARBOR ISLANDS, FL 33154

CONCRETE & CURB
ARCHITECTURE + DESIGN
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comm no.

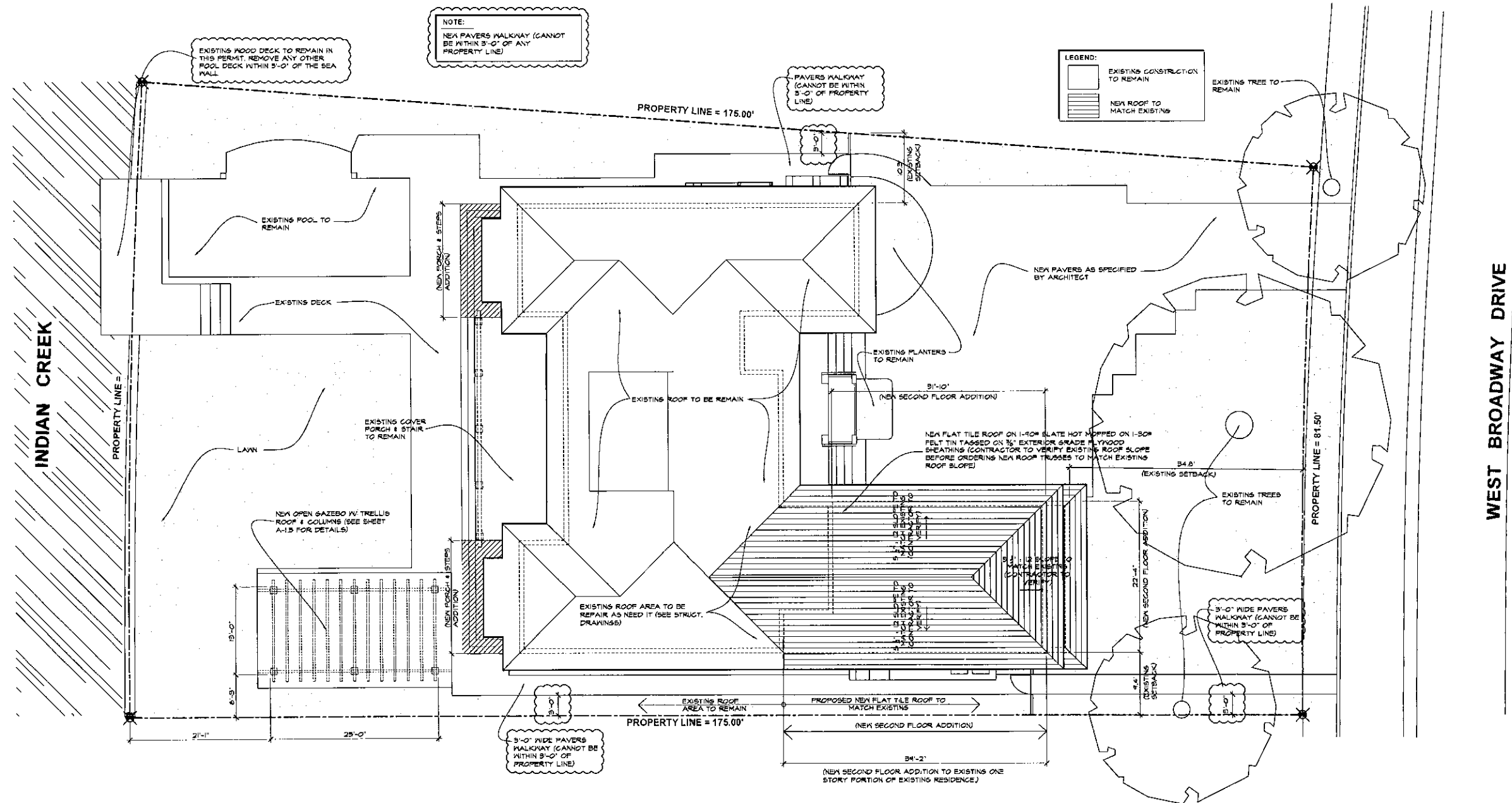
725

late:

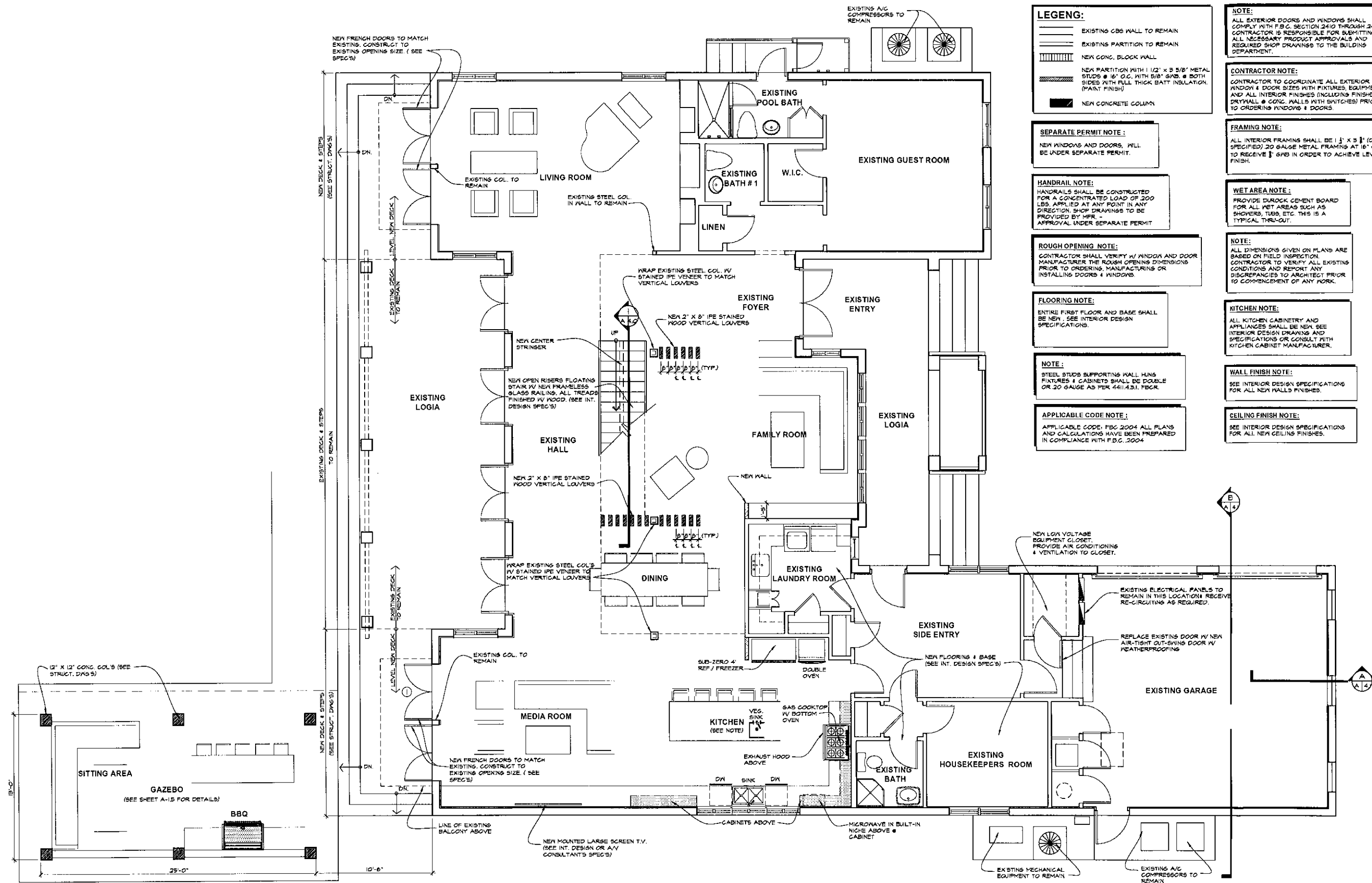
revised:

sheet no.

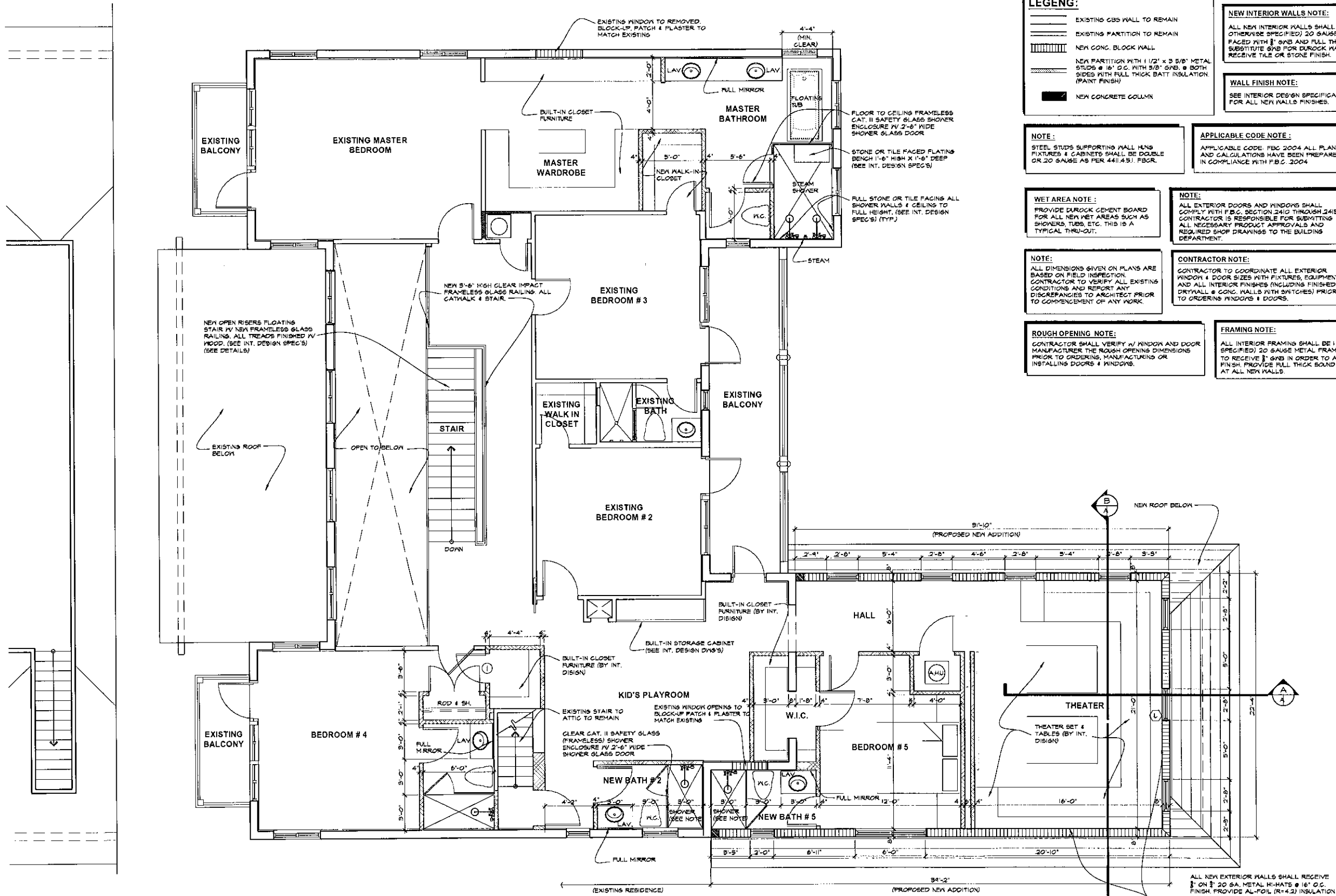
A-0.4



PROPOSED NEW SITE PLAN
SCALE: 1/8"=1'-0"



PROPOSED NEW FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED NEW SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

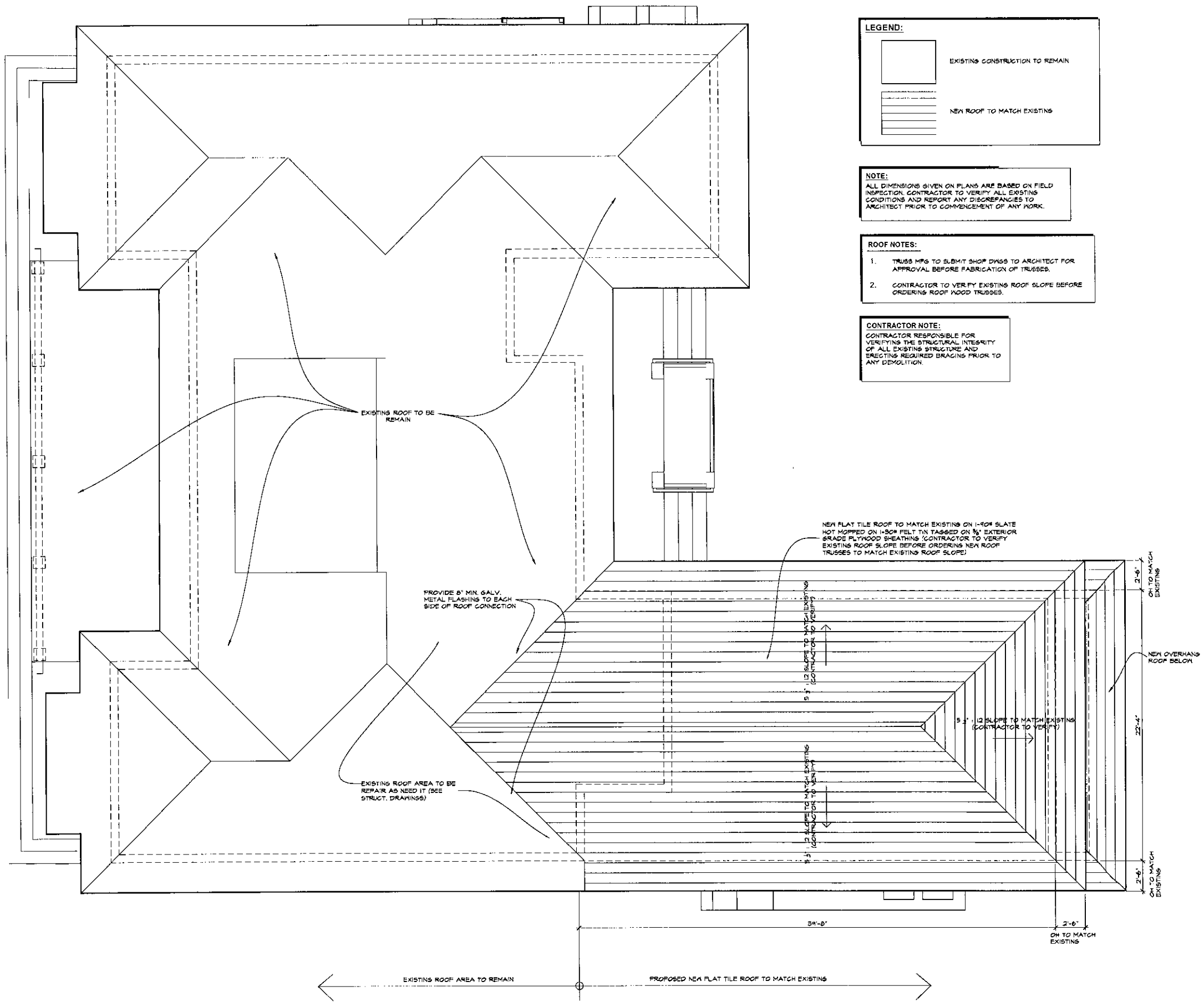
CHOFFEY LEVY FISCHMAN
ARCHITECTURE + DESIGN
10 305 434 8338
10 305 892 5392
11111 20th Ave S, Suite 201
Miami, Florida 33135

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BAY HARBOR ISLANDS, FL 33154

comm no.
1725
date:

revised:

sheet no.
A-1.1



LEGEND:

EXISTING CONSTRUCTION TO REMAIN

NEW ROOF TO MATCH EXISTING

NOTE:
ALL DIMENSIONS GIVEN ON PLANS ARE BASED ON FIELD INSPECTION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK.

- ROOF NOTES:**
1. TRUSS MFG TO SUBMIT SHOP DRWS TO ARCHITECT FOR APPROVAL BEFORE FABRICATION OF TRUSSES.
 2. CONTRACTOR TO VERIFY EXISTING ROOF SLOPE BEFORE ORDERING ROOF WOOD TRUSSES.

CONTRACTOR NOTE:
CONTRACTOR RESPONSIBLE FOR VERIFYING THE STRUCTURAL INTEGRITY OF ALL EXISTING STRUCTURE AND ERECTING REQUIRED BRACINGS PRIOR TO ANY DEMOLITION.

NEW FLAT TILE ROOF TO MATCH EXISTING ON 1-1/4" SLATE HOT MOPPED ON 1-5/8" FELT T/N TAPPED ON 3/4" EXTERIOR GRADE PLYWOOD SHEATHING (CONTRACTOR TO VERIFY EXISTING ROOF SLOPE BEFORE ORDERING NEW ROOF TRUSSES TO MATCH EXISTING ROOF SLOPE)

PROVIDE 6" MIN. GALV. METAL FLASHING TO EACH SIDE OF ROOF CONNECTION

EXISTING ROOF AREA TO BE REPAIR AS NEED IT (SEE STRUCT. DRAWINGS)

34'-8"

2'-6"
ON TO MATCH EXISTING

2'-6"
ON TO MATCH EXISTING

NEW OVERHANG ROOF BELOW

5:12 SLOPE TO MATCH EXISTING (CONTRACTOR TO VERIFY)

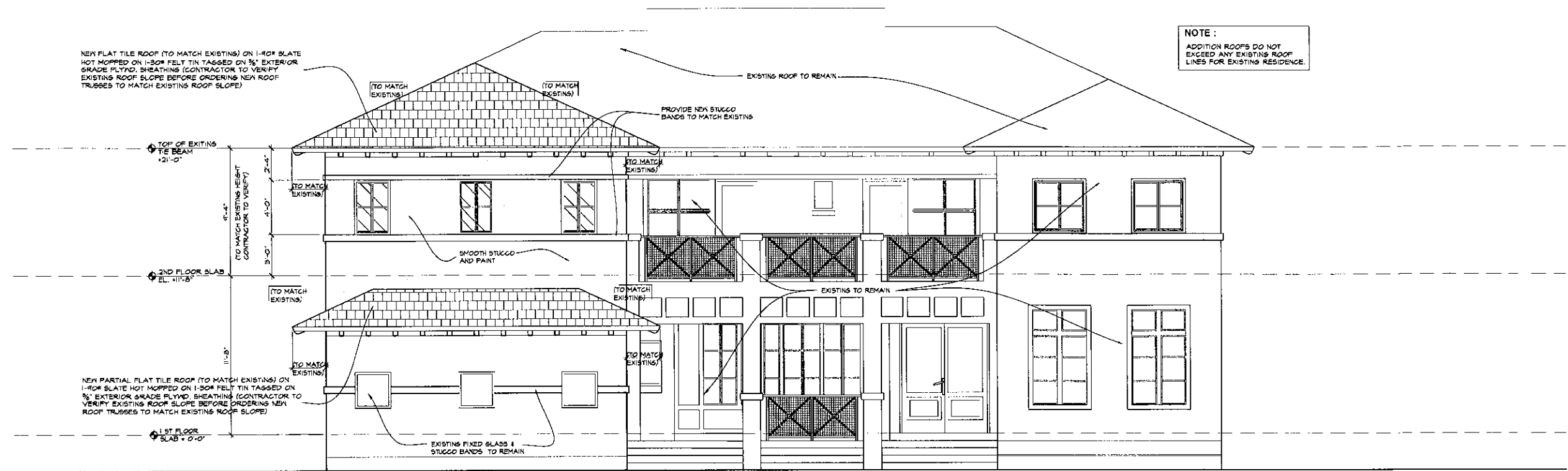
5:12 SLOPE TO MATCH EXISTING (CONTRACTOR TO VERIFY)

EXISTING ROOF AREA TO REMAIN

PROPOSED NEW FLAT TILE ROOF TO MATCH EXISTING



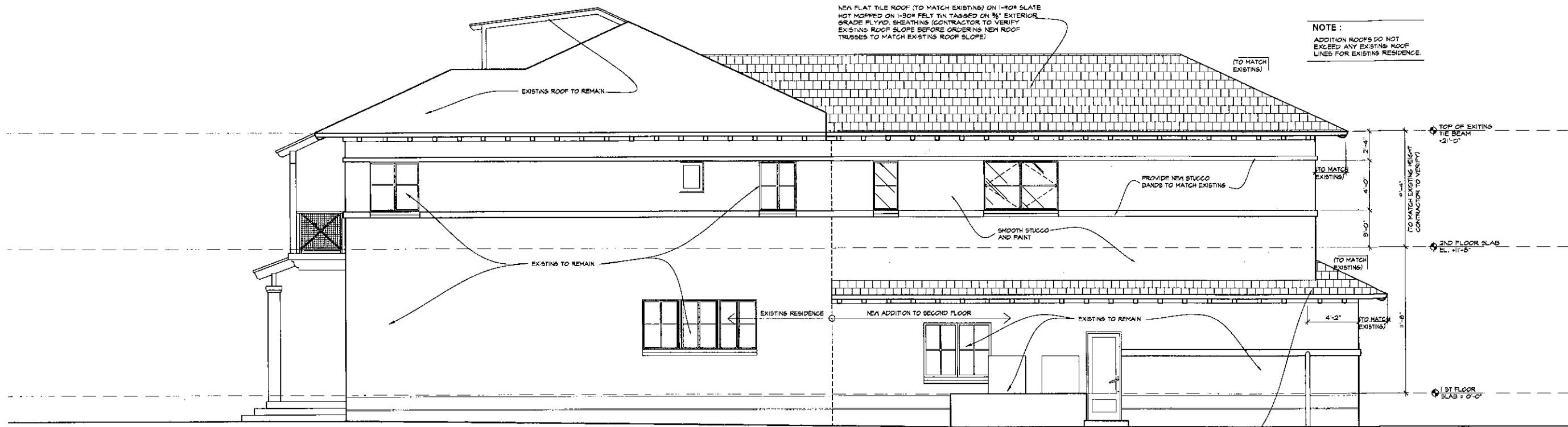
PROPOSED NEW ROOF PLAN
SCALE: 1/4"=1'-0"



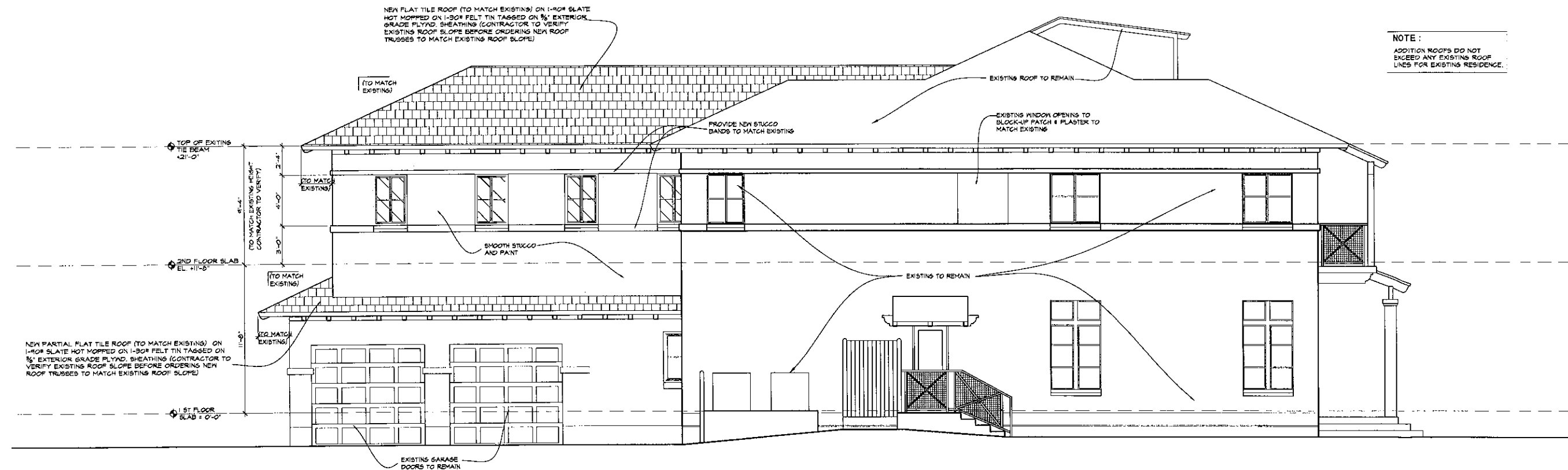
PROPOSED NEW FRONT ELEVATION
SCALE: 1/4"=1'-0"



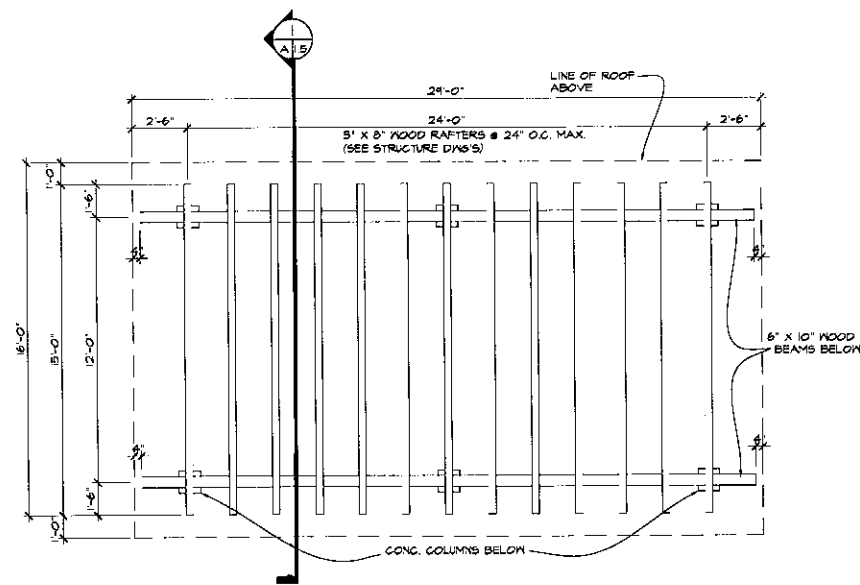
PROPOSED NEW REAR ELEVATION
SCALE: 1/4"=1'-0"



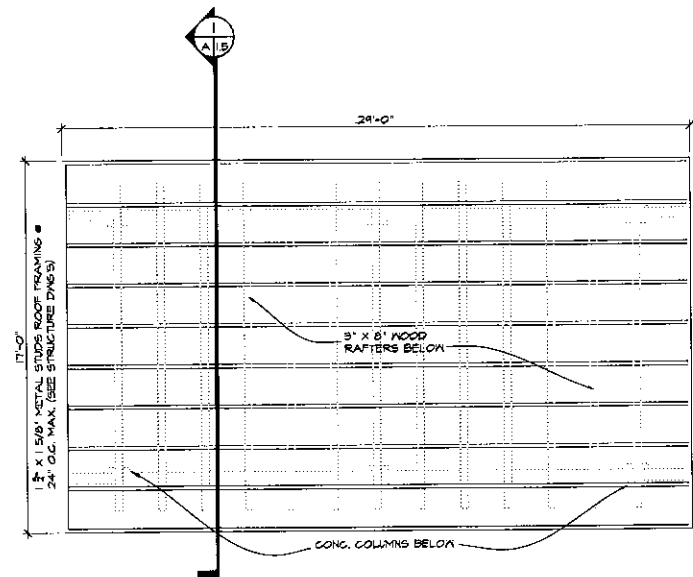
PROPOSED NEW LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



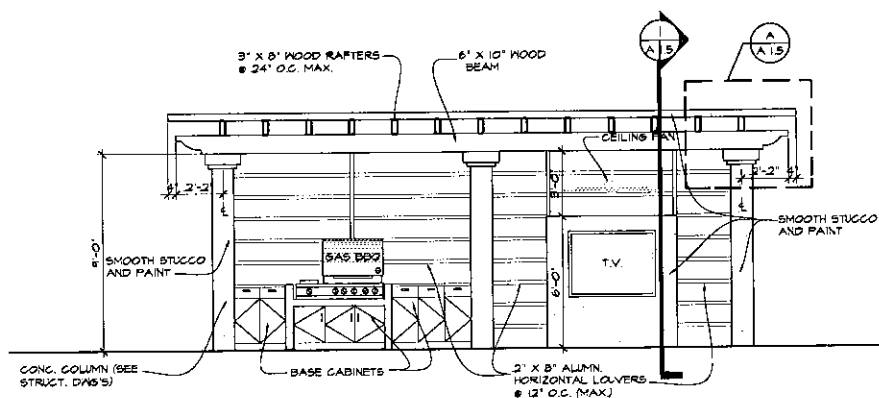
PROPOSED NEW RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



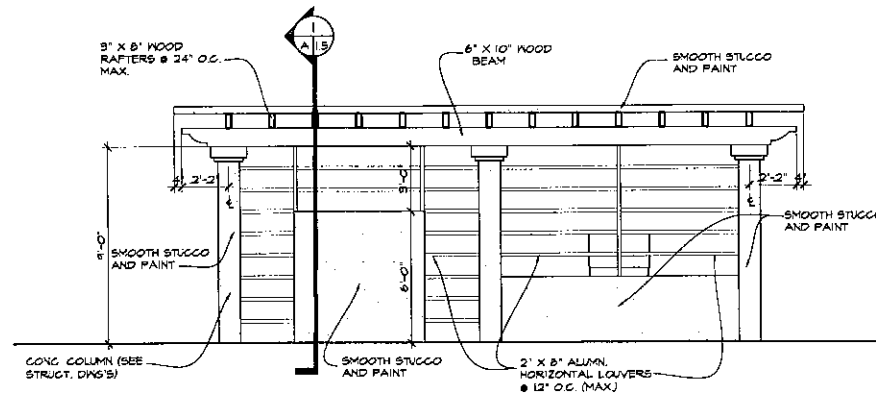
RAFTERS FRAMING PLAN
SCALE: 1/4"=1'-0"



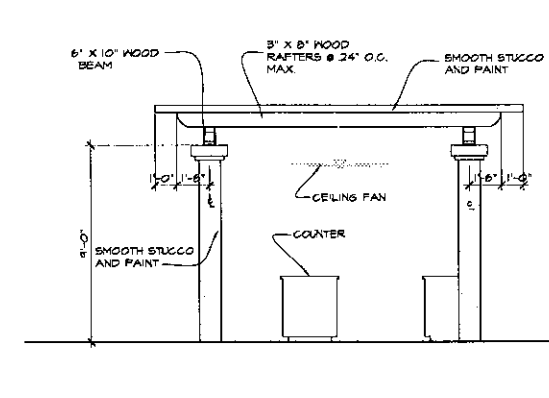
ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



FRONT

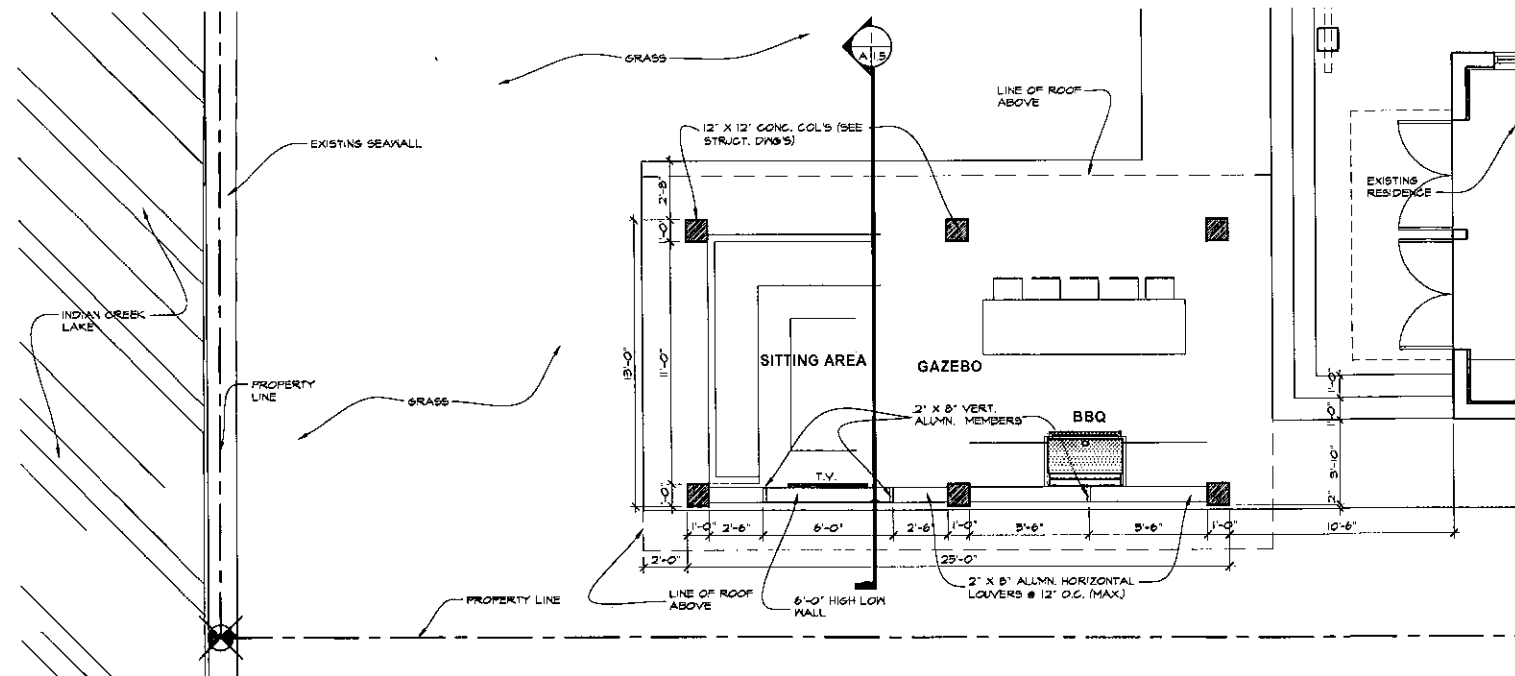


REAR

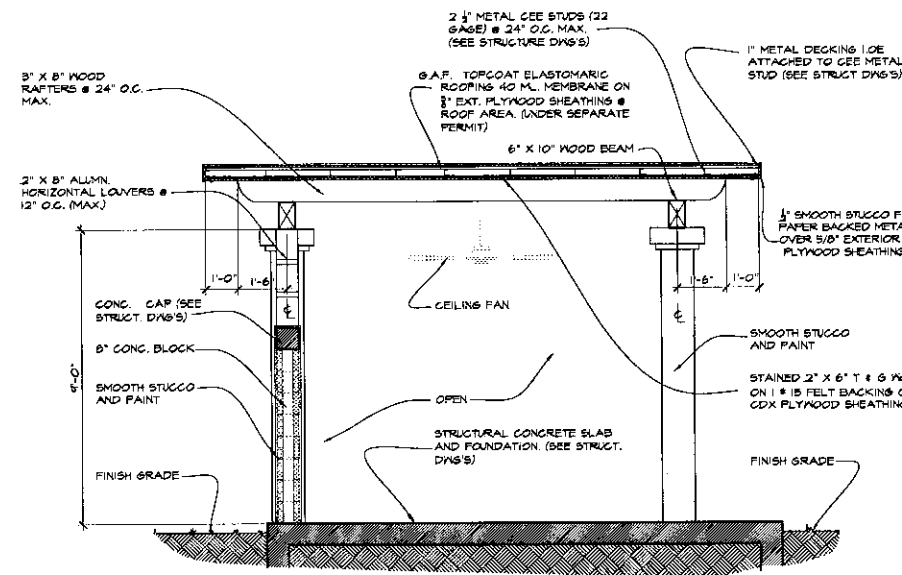


RIGHT SIDE
(SIMILAR TO LEFT SIDE)

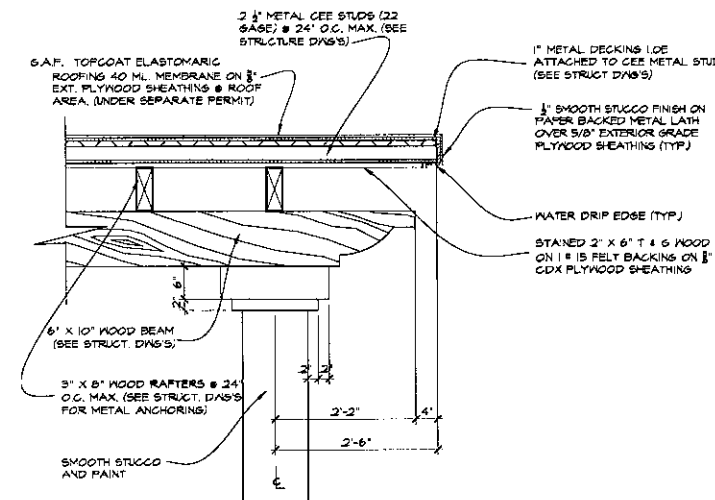
CABANA EXTERIOR ELEVATIONS
SCALE: 1/4"=1'-0"



PROPOSED NEW CABANA FLOOR PLAN
SCALE: 1/4"=1'-0"



SECTION 1
SCALE: 3/8"=1'-0"



DETAIL A
SCALE: 3/4"=1'-0"

CEILING HEIGHTS NOTE:
CEILING HEIGHTS GIVEN ARE FROM TOP OF SLAB TO BOTTOM OF CEILING FRAMING MEMBER. DIMENSIONS SHOWN DO NOT ACCOUNT FOR FLOOR & C.L.G. FINISHES.

DROPPED CEILING NOTE:
5/8" G.W.B. TYPE "X" ON 1/4"X1/4" MTL. FRAMING @ 16" O.C. - COORD. LIGHT FIXTURES & A/C EQUIPMENT PRIOR TO CEILING CONSTRUCTION.

CEILING HEIGHT NOTE:
CEILING HEIGHTS GIVEN ARE FROM TOP OF CONCRETE SLAB TO BOTTOM OF FRAMING MEMBER.

LIGHTING NOTE:
REFER TO ELECTRICAL DRAWINGS & LIGHTING PLANS BY INTERIOR DESIGNER FOR ADDITIONAL LIGHTS INCLUDING STEP LIGHTS, UPLIGHTS, FLOOD LIGHTS, POOL LIGHTS & LANDSCAPING LIGHTS.

DROPPED CEILING NOTE:
3/4" S.A.B. TYPE "X" ON 1/4" X 1/4" METAL FRAMING @ 16" O.C. COORDINATE WITH LIGHT FIXTURES & A/C EQUIPMENT PRIOR TO CEILING CONSTRUCTION.

RECEPTACLE NOTE:
ALL RECEPTACLES SHALL BE DECORA WHITE - COVER PLATES TO BE SCREENLESS TYPE.

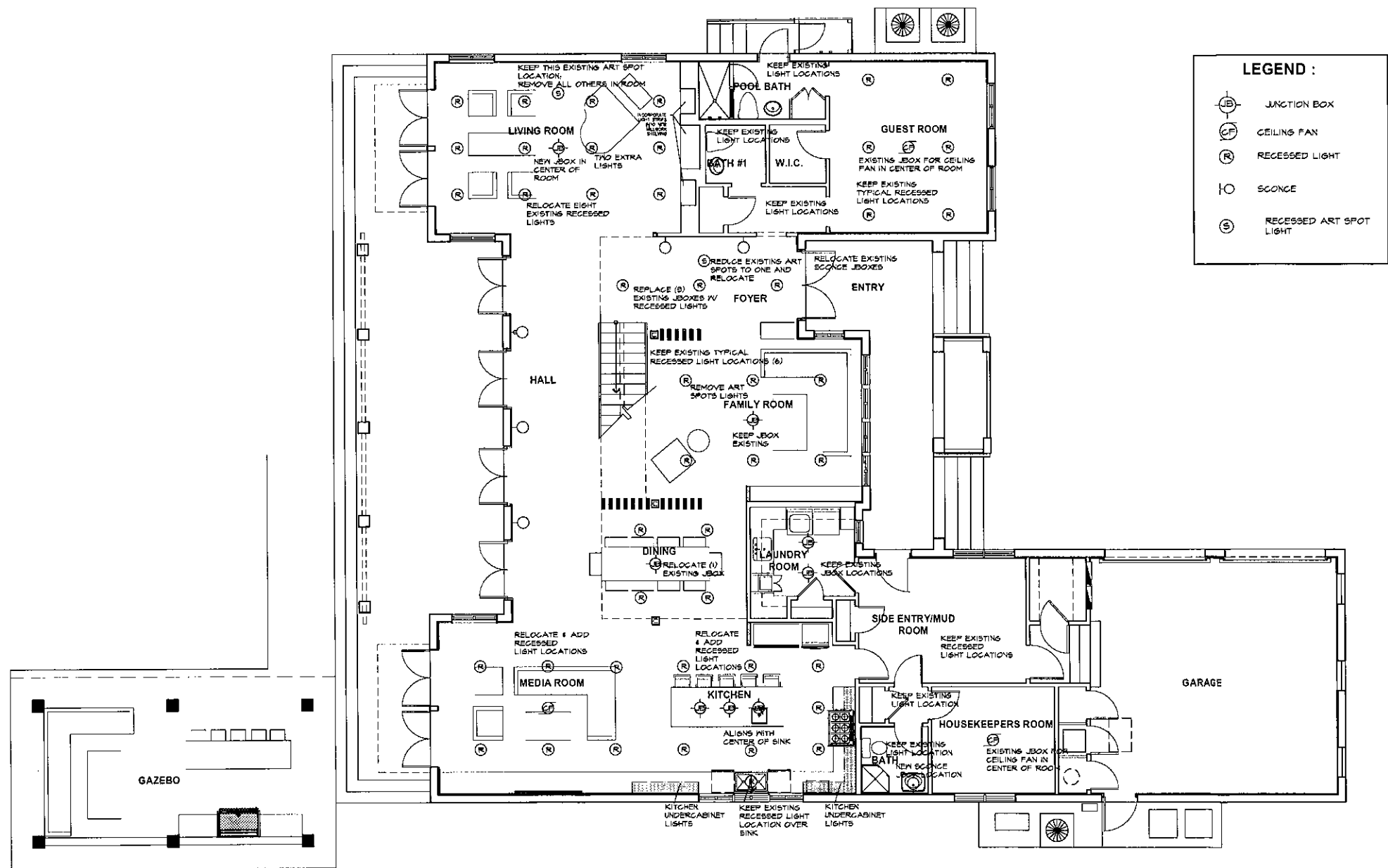
APPLICABLE CODE NOTE:
APPLICABLE CODE: FBC 2010 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH FBC 2010 RESIDENTIAL.

NOTE:
A - WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NO GREATER THAN 200.
B - WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF GREATER THAN 450.

SWITCH NOTE:
ALL SWITCHES SHALL BE DIMMER TYPE WITH TOP CONTROL SLIDE & BOTTOM ON/OFF BUTTON. COLOR TO BE DECORA WHITE / PLATE TO BE SCREENLESS TYPE.

CONCRETE NOTE:
ALL FIXTURES & WIRING TO BE EMBEDDED IN CONCRETE SLABS MUST BE COORDINATED WITH STRUCTURAL PRIOR TO CONSTRUCTION - COORDINATE WITH ELECTRICAL & LOW VOLTAGE CONSULTANT DRAWINGS.

CEILING HEIGHTS LEGEND:
+9'-0" A.F.F.
+10'-0" A.F.F.
SEE DRAWINGS FOR CEILING HEIGHTS



GROUND FLOOR REFLECTED CEILING PLAN
SCALE: 3/16"=1'-0"

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9424 W BROADVIEW DR.
BAY HARBOR ISLANDS, FL 33154

CHOE FLEVY FISCHMAN
ARCHITECTURE + DESIGN
9425 Biscayne Blvd, suite 201
Miami, Florida 33139
(305) 484-6388
(305) 582-5392
www.choeflevyfishman.com

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1725
date:
revised:

sheet no.
A-2.1

CEILING HEIGHTS NOTE:

CEILING HEIGHTS GIVEN ARE FROM TOP OF SLAB TO BOTTOM OF CEILING FRAMING MEMBER. DIMENSIONS SHOWN DO NOT ACCOUNT FOR FLOOR & CLG. FINISHES.

DROPPED CEILING NOTE:

3/8" G.M.B. TYPE "X" ON 1/4" X 1/4" MTL. FRAMING @ 16" O.C. - COORD. LIGHT FIXTURES & A/C EQUIPMENT PRIOR TO CEILING CONSTRUCTION

CEILING HEIGHT NOTE:

CEILING HEIGHTS GIVEN ARE FROM TOP OF CONCRETE SLAB TO BOTTOM OF FRAMING MEMBER.

LIGHTING NOTE:

REFER TO ELECTRICAL DRAWINGS & LIGHTING PLANS BY INTERIOR DESIGNER FOR ADDITIONAL LIGHTS INCLUDING STEP LIGHTS, UPLIGHTS, POOL LIGHTS, POOL LIGHTS & LANDSCAPING LIGHTS.

DROPPED CEILING NOTE:

3/8" G.M.B. TYPE "X" ON 1/4" X 1/4" METAL FRAMING @ 16" O.C. COORDINATE WITH LIGHT FIXTURES & A/C EQUIPMENT PRIOR TO CEILING CONSTRUCTION

RECEPTACLE NOTE:

ALL RECEPTACLES SHALL BE DECORA WHITE - COVER PLATES TO BE SCREWLESS TYPE.

APPLICABLE CODE NOTE:

APPLICABLE CODE: FBC 2010 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. 2010 RESIDENTIAL.

NOTE:

A - WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NO GREATER THAN 200.

B - WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF GREATER THAN 450.

SWITCH NOTE:

ALL SWITCHES SHALL BE DIMMER TYPE WITH TOP CONTROL SLIDE & BOTTOM ON/OFF BUTTON. COLOR TO BE DECORA WHITE / PLATE TO BE SCREWLESS TYPE.

CONCRETE NOTE:

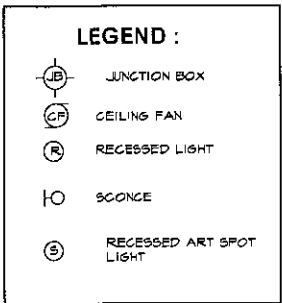
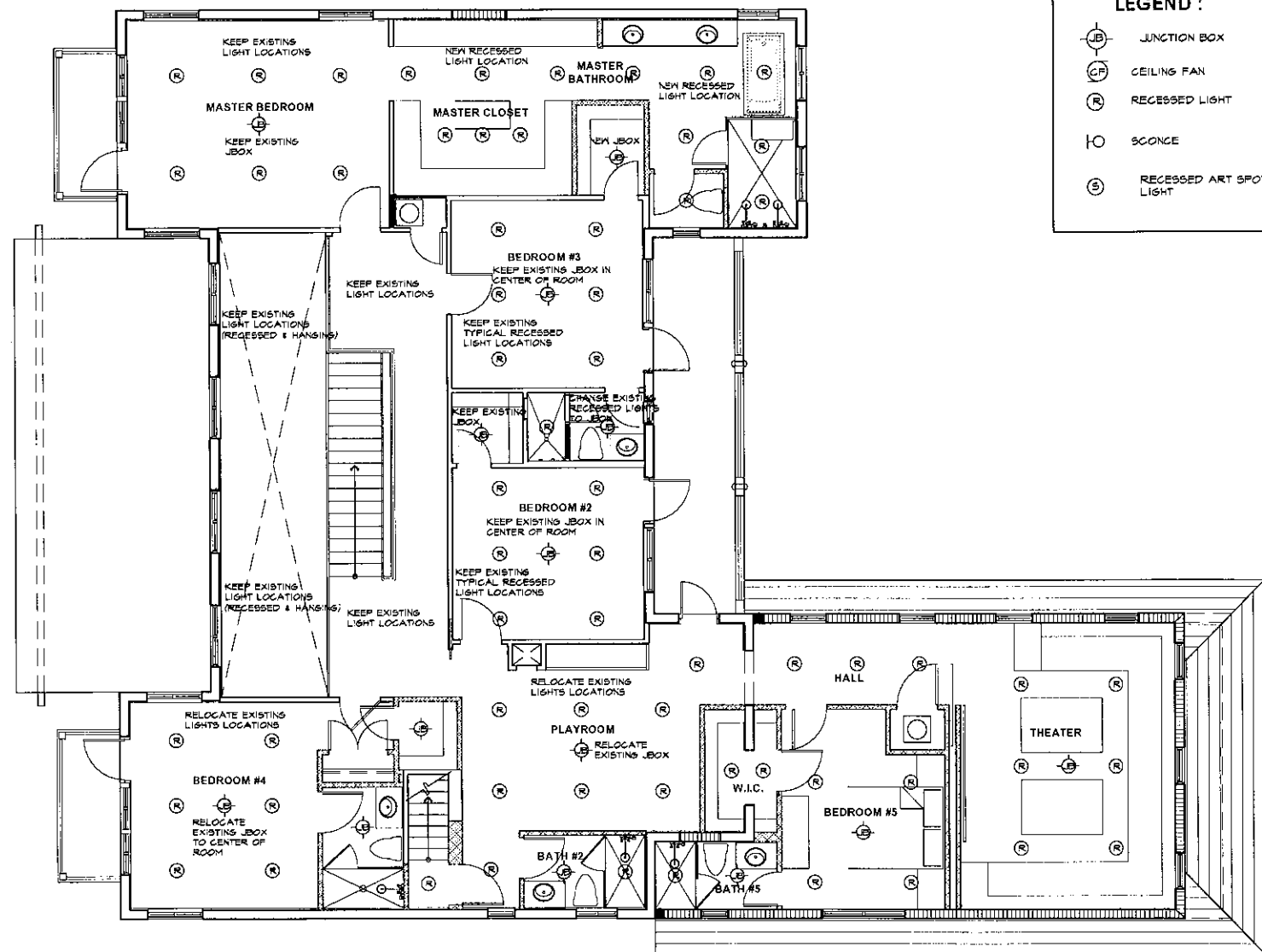
ALL FIXTURES & WIRING TO BE EMBEDDED IN CONCRETE SLABS MUST BE COORDINATED STRUCTURAL PRIOR TO CONSTRUCTION - COORDINATE WITH ELECTRICAL & LOW VOLTAGE CONSULTANT DRAWINGS

CEILING HEIGHTS LEGEND:

+9'-0" A.F.F.

+10'-0" A.F.F.

SEE DRAWINGS FOR CEILING HEIGHTS



SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 3/16"=1'-0"

BAY HARBOR RESIDENCE
9424 W BROADVIEW DR.
BAY HARBOR ISLANDS, FL 33154

seal

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1725

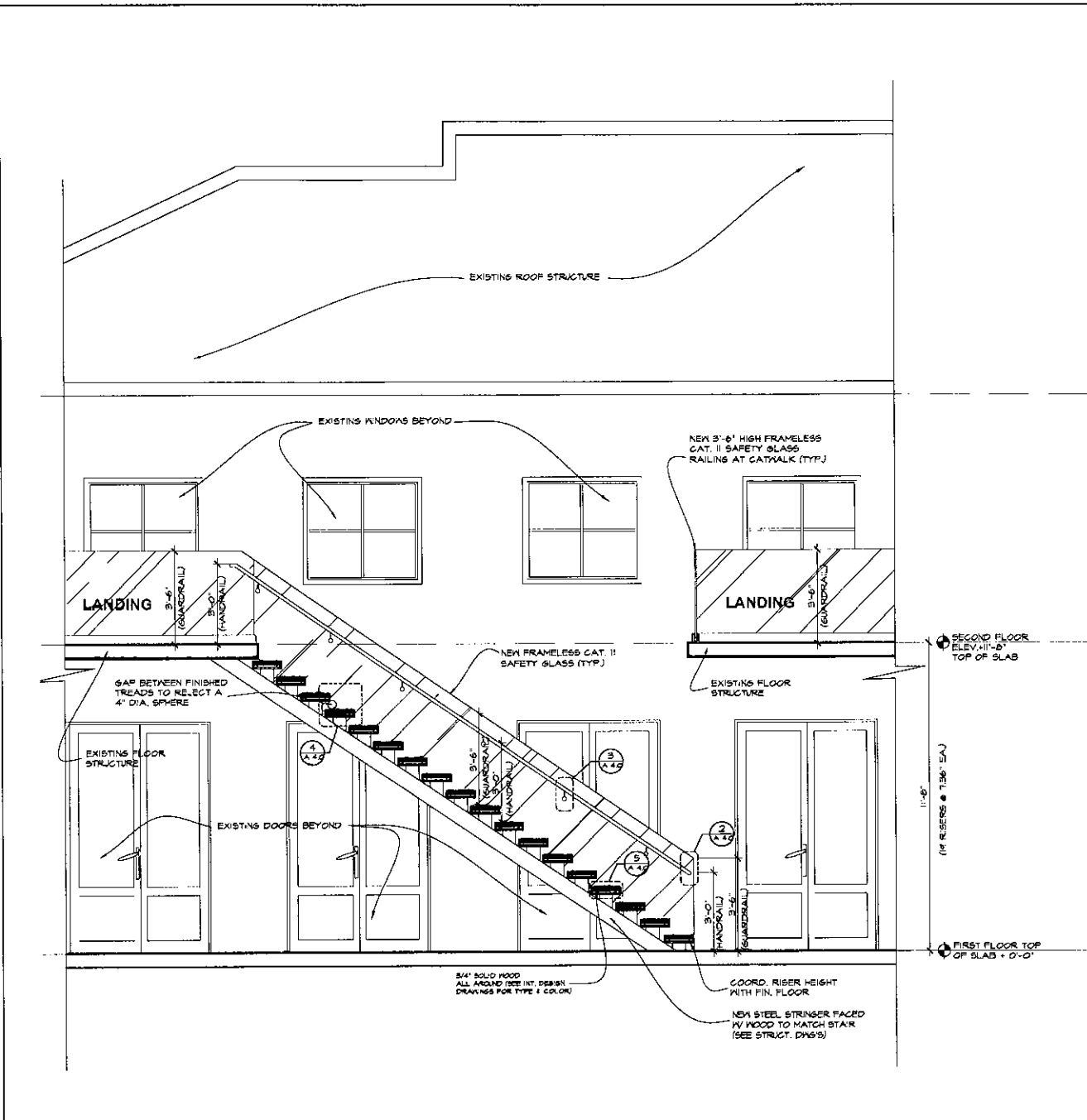
date:

revised:

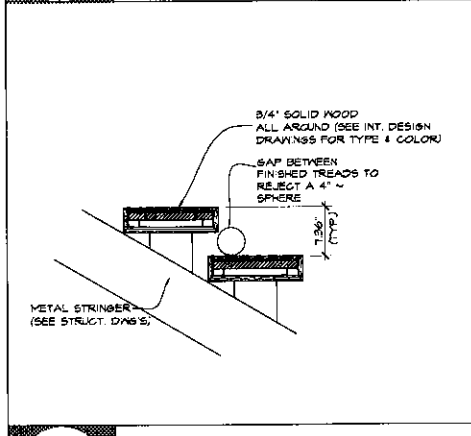
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A-2.2

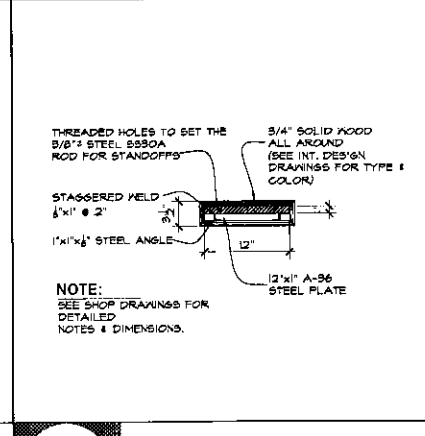
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SECTION # 1
SCALE: 3/8"=1'-0"



4 RISER DETAIL
SCALE: 1"=1'-0"



5 TREAD DETAIL
SCALE: 1"=1'-0"

TYPICAL STAIRS / GUARD / RAILING NOTE:

ALL STAIRS SHALL MEET THE REQUIREMENTS OF FBC 2010 R311.1 THRU R311.6 IN REGARDS TO WIDTH, HEADROOM, WALKLINE AND STAIR TREAD-HEIGHT, DEPTH AND PROFILE.

ALL HANDRAILS SHOULD MEET THE REQUIREMENTS FBC 2010 R311.1 THRU R311.7 THRU R311.7.4 OF THIS SECTION IN REGARDS TO HANDRAIL SIZE, PROFILE AND CONTINUITY.

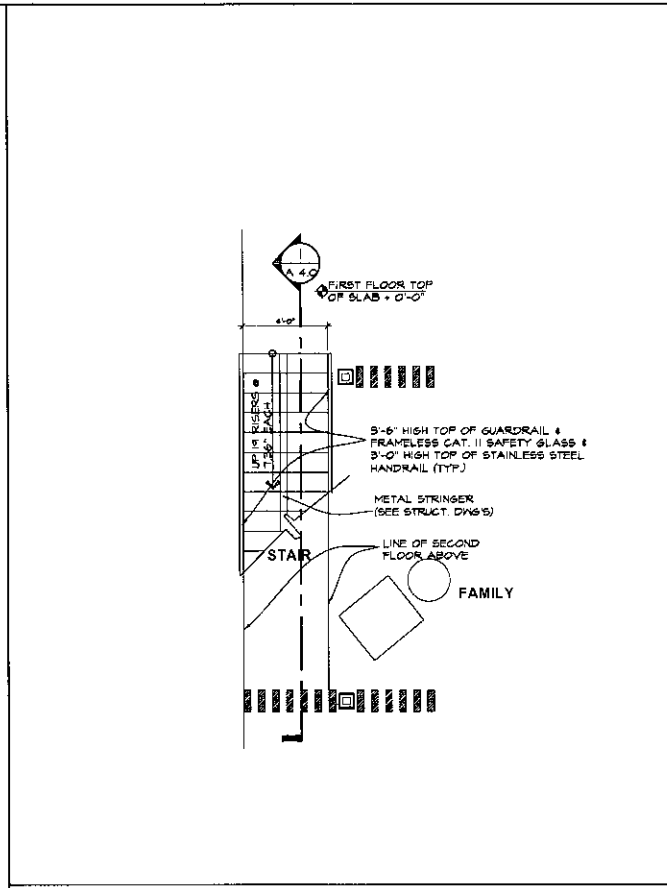
ALL GUARDS TO MEET REQUIREMENTS OF FBC 2010 SECTION R312 AND SHALL NOT BE LESS THAN 36" MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE PER R312.2

PER FBC R312.3, REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A 4" DIA. SPHERE WITH THE EXCEPTION OF THE TRIANGULAR OPENING AT THE OPEN SIDE OF STAIRS, FORMED BY THE RISER, TREAD AND BOTTOM OF GUARD, SHALL NOT ALLOW THE PASSAGE OF A 6" DIA. SPHERE.

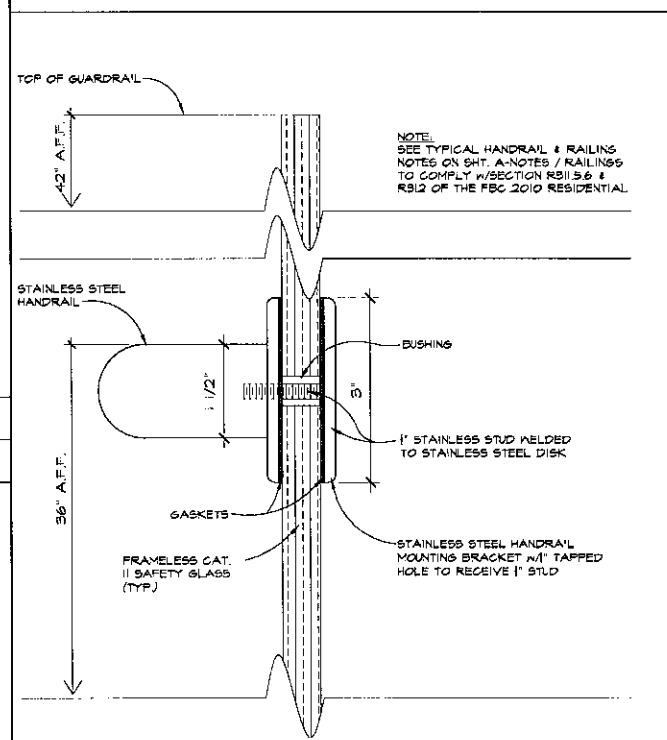
MR. TO PROVIDE SHOP DRAWINGS PRIOR TO MANUFACTURING, FOR ARCHITECTS & BUILDING DEPT. APPROVALS (TYPICAL)

HANDRAIL SHALL BE CONSTRUCTED FOR A CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY POINT IN ANY DIRECTION

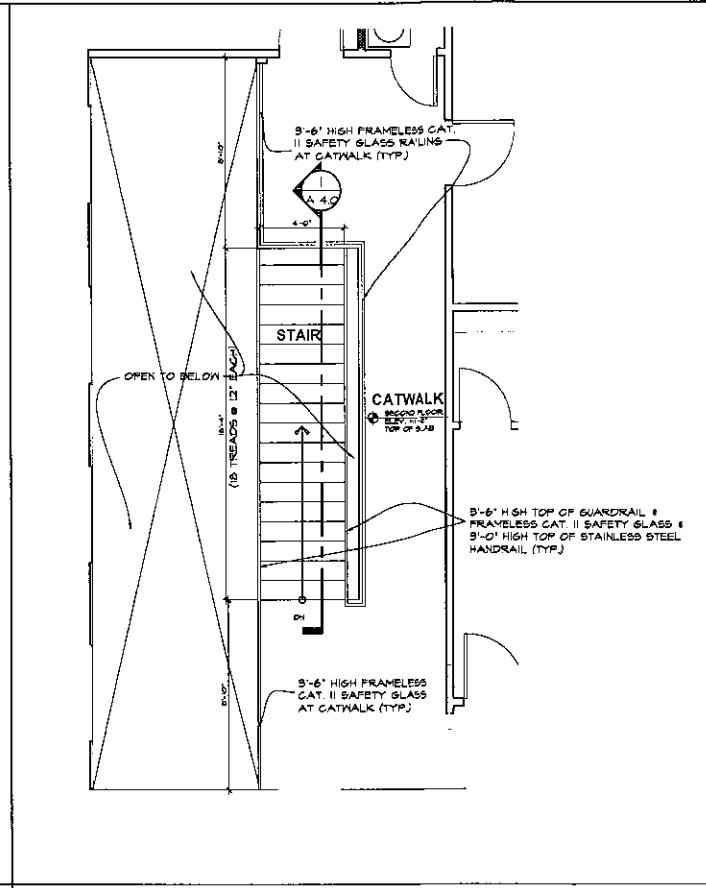
MANUFACTURER TO SUBMIT SHOP DRAWINGS TO ARCHITECT & BUILDING DEPT. PRIOR TO FABRICATION FOR APPROVAL. ALL RAILINGS, GUARDS, AND STAIRS ARE UNDER A SEPARATE PERMIT.



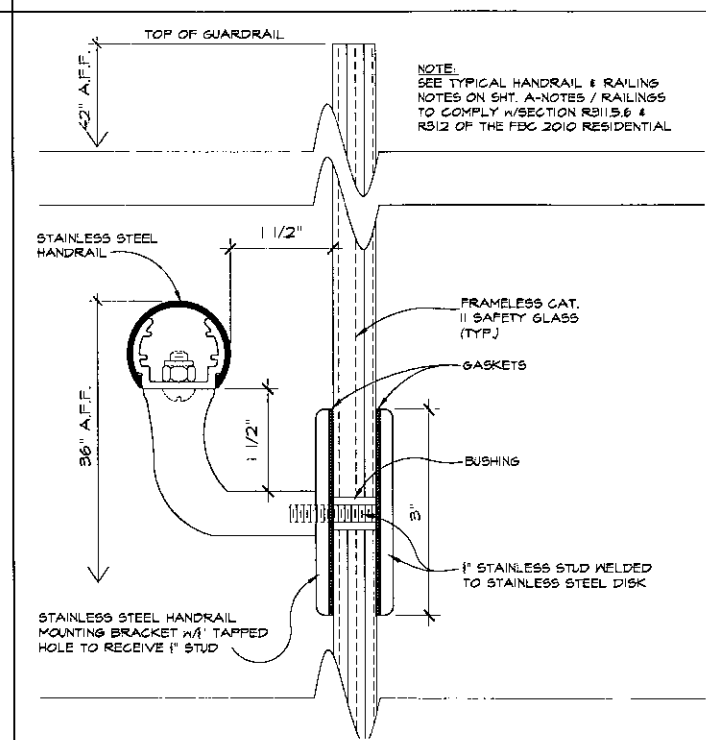
STAIR FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



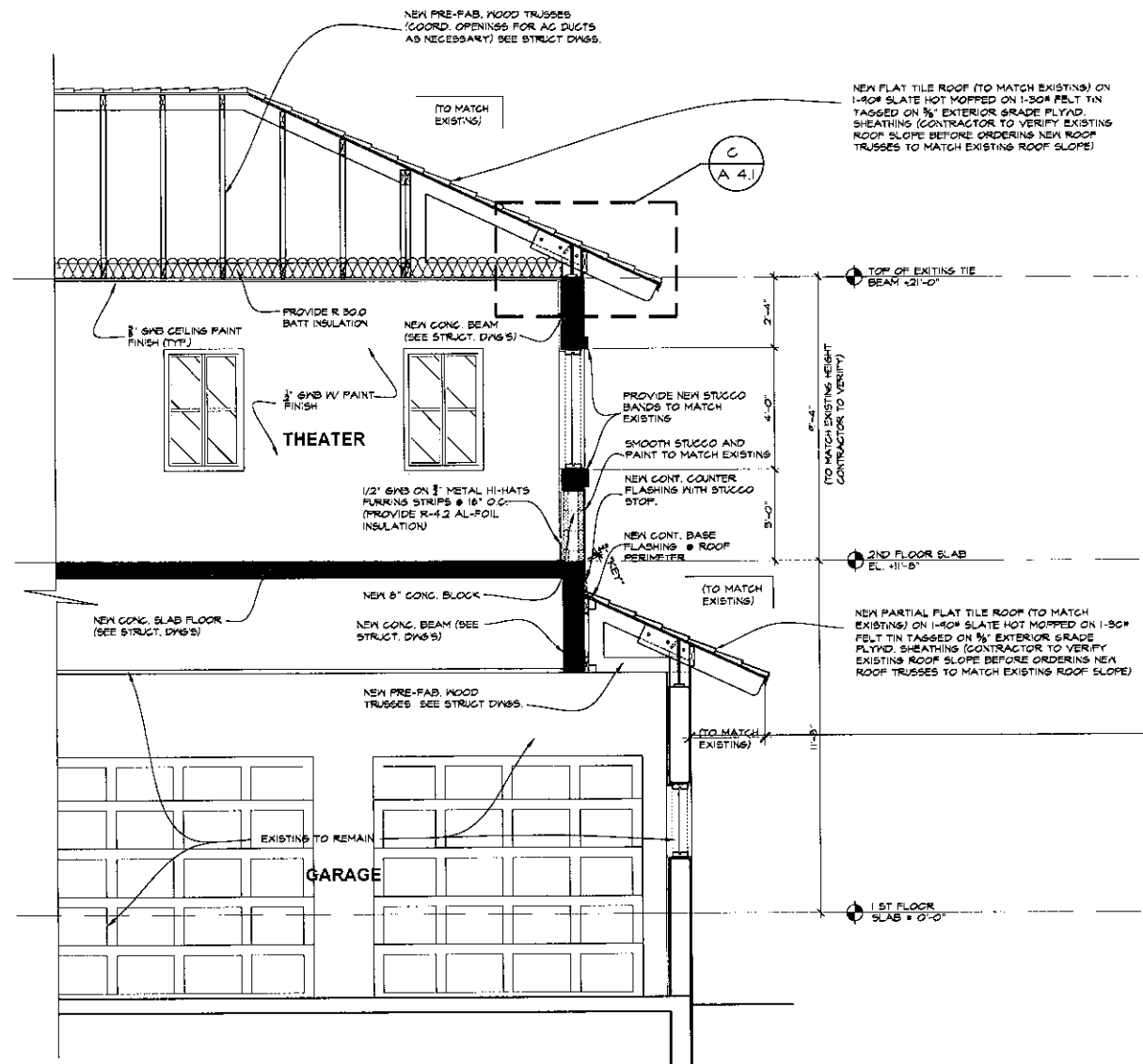
2 HANDRAIL TERMINATION DETAIL
SCALE: N.T.S.



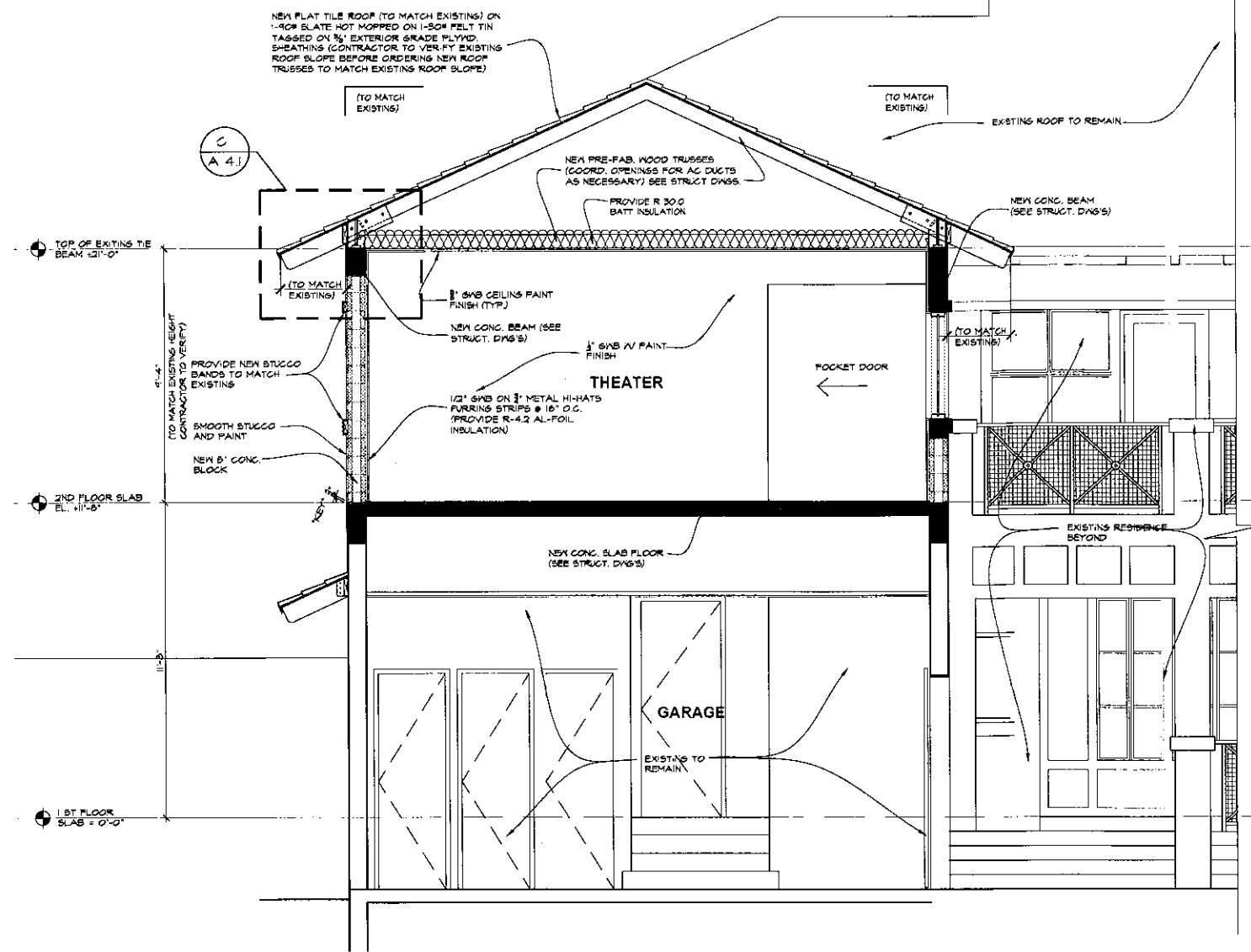
STAIR SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



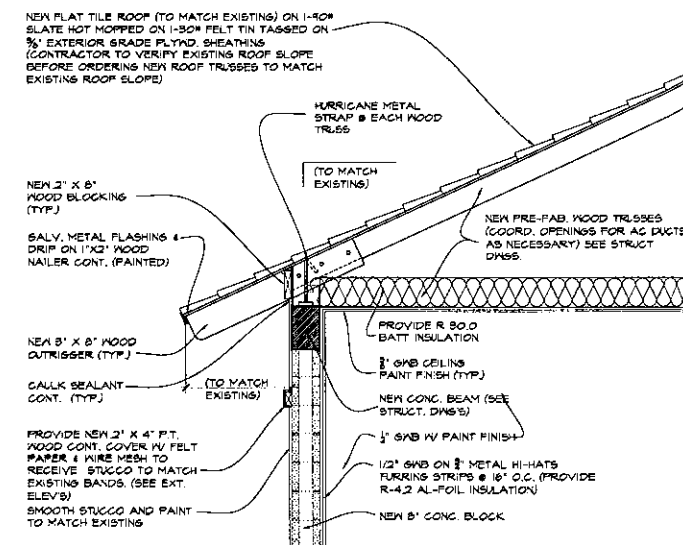
3 TYP. HANDRAIL DETAIL
SCALE: N.T.S.



A
A 4.1 SECTION
SCALE: 3/8"=1'-0"



B
A 4.1 SECTION
SCALE: 3/8"=1'-0"

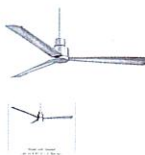


C
A 4.1 DETAIL
SCALE: 1/2"=1'-0"

Job Name:	Reizen		
Job Type:	Residential - Outdoor Ceiling Fan		
Quantity:	2		

Family:	N/A
Product Category:	Exterior Fan
Item:	7787-SL
Finish:	Silver
Certification:	N/A
ENERGY STAR®:	N

Lamping	
Light Kit:	N
Light Kit Description:	N/A
Light:	N/A
Dimmable:	N
CRI:	N/A
Color Temp.:	N/A
Initial Lumens:	N/A
Delivered Lumens:	N/A
Rated Life Hours:	N/A
Shade	
Shade Description:	N/A
Shade Material:	N/A
Shade Quantity:	N/A
Shade Number:	N/A
Control Method	
Control Type:	Special Hand Held Remote
Miscellaneous	
Safety Cable Included:	N
Shipping	
Carton Weight:	N/A
Carton Width:	N/A
Carton Height:	N/A
Carton Length:	N/A
Carton Cubic Feet:	N/A
Master Pack:	1
Master Pack Weight:	N/A
Master Pack Width:	N/A
Master Pack Height:	N/A
Master Pack Length:	N/A
Master Cubic Feet:	N/A
*Multi-Pack:	N/A
Small Package Shippable:	Y



Measurements	
Blade Material:	N/A
Blade Sweep:	52
No. of Blades:	3
Blade Pitch:	14 DEGREES
Downrod 1:	N/A
Downrod 2:	N/A
Downrod 1 Inside Diameter:	N/A
Downrod 2 Inside Diameter:	N/A
Lead Wire:	N/A
Height (Ceiling to Lowest Point):	N/A
Height (Ceiling to Blade):	N/A
Hanging Weight:	N/A
Motor Size:	123K30MM
Low Speed	
RPM:	N/A
Amps:	N/A
Watts:	N/A
CFM:	N/A
Medium Speed	
RPM:	N/A
Amps:	N/A
Watts:	N/A
CFM:	N/A
High Speed	
RPM:	N/A
Amps:	N/A
Watts:	25
CFM:	8,600

For additional information, please contact Customer Care at 1-800-221-7871.
 Product depicted on this sheet is protected by United States Federal and/or State laws including US Patent, Trademark and/or Copyright and unfair competition laws.
 *This item will not ship alone or in retail boxes (actual box dimensions)

Lighting Cut Sheet			
Customer Information		Print : Email Cut Sheet	
Change Your Info	Upload Your Logo	Remove Friendly Cut Sheet	
Change Client's Info	Remove Your Logo	Email Cut Sheet	
Print & Print Options			



cut sheet
Simple Outdoor Ceiling Fan by Minka Aire Outdoor Fans Lighting



**Reizen Residence
Outdoor Gazebo Ceiling Fan**

<http://www.ylighting.com/minka-aire-simple-outdoor-ceiling-fan.html>

Website:
 Lamp Type:
 Lighting: (24 watt (240000))
 Price: (279.00)
 Dimensions: (52.0" x 120")
 Material: (metal & glass & plastic)

Simple Outdoor Ceiling Fan by Minka Aire Outdoor Fans | YLighting

Company: Samuel Andia Associates	Fixture Type: Outdoor Fans	Date: 04-18-2017
Room: Outdoor Gazebo	Placement: Ceiling	
Project: Reizen	Approved By:	

Prepared By: (Edit | Clear) Prepared For: (Edit | Clear)

CEILING FAN

3.5" OCULUX® - 0-35° Adjustable

R3BRA, R3BSA **SAA ISSUED:**
8/1/17

WAC LIGHTING

Responsible Lighting®

Fixture Type: **RECESSED CEILING - 'B'**

Catalog Number: **R3BRA-F927-WT**

Project: **REIZEN**

Location: **BAL HARBOUR**

PRODUCT DESCRIPTION

Designed to fit in tight plenum space

FEATURES

- Energy Star® Rated
- Title 24 Compliant
- IC rated Remodel and New Construction
- Airtight in New Construction and remodel
- Shallow housing under 4" depth
- Cutout 4 1/4"
- Single spot light source

SPECIFICATIONS

Construction: Die cast aluminum trim and heat sink

Dimming: ELV or TRIAC or 0-10V dimming compatible

Input: 120V for R3BSA/CA 10, R3BBF-10, 120-277V for R3BVC/CA 10/9

Power: 11W

Mounting: Retention clips firmly hold trim to housing

Finish: Powder coated

Ceiling thickness: 1/2" - 1"

Standards: ETL&CETL listed, Damp location listed

Operating Temperature: -4°F to 104°F (-20°C to 40°C)

Trim (Order Housing Separately)

Model	Beam	Color Temp	Max Lumens	Max CFCF	Finish
R3BRA 3.5" OCULUX 0-35° Adjustable IC Rated Remodel and New Construction Airtight in New Construction and remodel Shallow housing under 4" depth Cutout 4 1/4"	S	927 930	1200 1200	520 520	WT
	N	927 930	1200 1200	520 520	WT
	F	927 930	1200 1200	520 520	WT
	S	927 930	1200 1200	520 520	WT
	N	927 930	1200 1200	520 520	WT
	F	927 930	1200 1200	520 520	WT
R3BSA 3.5" OCULUX 0-35° Adjustable IC Rated Remodel and New Construction Airtight in New Construction and remodel Shallow housing under 4" depth Cutout 4 1/4"	S	927 930	1200 1200	520 520	WT
	N	927 930	1200 1200	520 520	WT
	F	927 930	1200 1200	520 520	WT
	S	927 930	1200 1200	520 520	WT
	N	927 930	1200 1200	520 520	WT
	F	927 930	1200 1200	520 520	WT

R3BRA-

Example: **R3BRA-S930-WT**

TYPE : 'B'

wacighting.com
Phone: (800) 526-2584
Fax: (800) 526-2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Fort Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Little Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91764

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. APR 2017

3.5" OCULUX - 0-35° Adjustable R3BRA, R3BSA

WAC LIGHTING Responsible Lighting[®]

Housings (Required - Order separately from trim)

Model	Input	Dimming	Notes
R3BNICA-10 IC Rated A-1 Light	120V	100% - 0% 0V-10V, 0-10V	Adjustment in any direction when used with adjustable trim
R3BNICA-10U IC Rated A-1 Light	120V 277V	120V - 0% 100% - 0% 10V-10V 0-10V	Ceiling thickness: 1" - 1 1/2"

R3BBRT-10 IC Rated	120V	100% - 0% 0V-10V, 0-10V	Adjustment in any direction when used with adjustable trim
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Example: **R3BNICA-10**

TYPE : 'B'

waclighting.com
Phone: (800) 526-2588
Fax: (800) 526-2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct.
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. APR 2017

[illegible]

3.5" OCULUX - Open reflector

R3BRD, R3BSD

SAA ISSUED:

8/1/17

WAC LIGHTING

Responsible Lighting™

Fixture Type:

RECESSED CEILING - 'A'

Catalog Number:

R3BRD-F92-WT

Project:

REIZEN

Location:

BAL HARBOUR

PRODUCT DESCRIPTION

Designed to fit in tight plenum space

FEATURES

- Energy Star® Rated
- Title 24 Compliant
- IC rated Remodel and New Construction
- Airtight in New Construction and remodel
- Shallow housing under 4" depth
- Cutout 4 1/4"
- Single spot light source

SPECIFICATIONS

Construction: Die-cast aluminum trim and heat sink

Dimming: ELV or TRIAC or 0-10V dimming compatible

Input: 120V for R3BNCA-10, R3BBRT-10, 120-277V for R3BNCA-10U

Power: 11W

Housing: Retention clips firmly hold trim to housing

Finish: Powder coated

Ceiling thickness: 3/4" - 1"

Standards: ETL & ETL West location listed

Trims (Order Housing Separately)

Model

Beam

Color Temp

Max
Lumens

Max
CBCP

Finish

R3BRD

S

927

3000K

610

4126

4078

N

927

2700K

558

2472

2024

F

927

2700K

620

1021

1021

R3BSD

S

927

3000K

620

4126

4078

N

927

2700K

558

2472

2024

F

927

2700K

620

1021

1021

R3BRD-_____

Example R3BRD-S910-BN

TYPE : 'A'

wacighting.com
Phone (800) 526-2358
Fax (800) 526-2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Fort Washington, NY 11759

Central Distribution Center
1600 Distribution Ct
Little Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

3.5" OCULUX - Open reflector R3BRD, R3BSD

WAC LIGHTING Responsible Lighting[®]

Housings (Required) - Order separately from trim

Model	Input	Dimming	Notes
R3BNICA-10 IC-Rated Airtight	120V	100% - 5% TRIAC, ELV 0-10V	Less than 4" plenum depth Allows adjustment in any direction when used with adjustable trim
R3BNICA-10U IC-Rated Airtight	120V 277V	100% - 5% TRIAC, ELV 0-10V 100% - 1% 0-10V	Ceiling thickness 1 1/2" - 1"

R3BBRT-10 IC-Rated	120V	100% - 5% TRIAC, ELV 0-10V	Allows adjustment in any direction when used with adjustable trim Ceiling thickness 1 1/2" - 1"
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Example: R3BNICA-10

TYPE : 'A'

wacighting.com
Phone: (800) 526-2588
Fax: (800) 526-2589

Headquarters/Eastern Distribution Center
45 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct.
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 Biscayne Blvd, suite 201
Miami, Florida 33138
(t) 305 434 8338
(f) 305 892 5392
www.clfarchitects.com

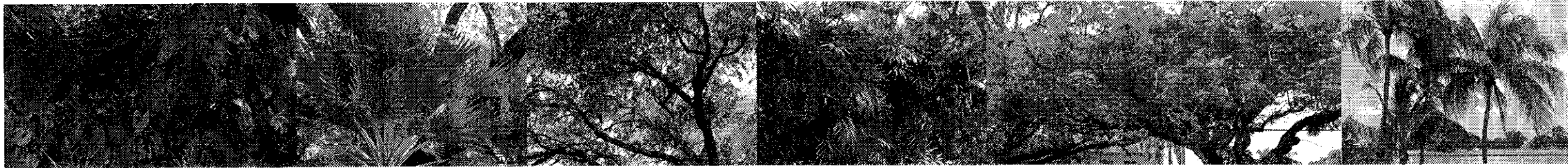
BAY HARBOR RESIDENCE
9424 W BROADVIEW DR.
BAY HARBOR ISLANDS, FL 33154

seal

comm no.
1725
date:
revised:

sheet no.

E-SPEC'S



NEW RESIDENCE | 9424 WEST BROADVIEW | BAY HARBOR ISLANDS, FLORIDA

CLIENT / PROPERTY INFORMATION

REIZEN RESIDENCE

PROPERTY ADDRESS
9424 WEST BROADVIEW DRIVE
BAY HARBOR ISLANDS, FL

EXISTING VEGETATION SUMMARY

The existing vegetation located on the property is composed primarily of palms, shrubs and groundcovers. All existing trees and palms are to remain

SCOPE OF WORK

- Preservation of existing vegetation and landscape
- New landscape design to complement renovations and additions to Residence

INDEX OF SHEETS

- L0 Landscape Cover Page + Sheet Index
- L1 Existing Tree Survey + Disposition Plan
- L2 Landscape Plan
- L3 Landscape Notes + Details
- L4 Front + Back Elevations
- L5 Side Elevations

BAY HARBOR RESIDENCE

9424 WEST BROADVIEW DRIVE
BAY HARBOR ISLANDS, FL 33154

CHOFFE LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 Biscayne Blvd, Suite 201
Miami, Florida 33139
www.choffelevyfischman.com
(305) 434-8338
(305) 365-5923

CHRISTOPHER CAWLEY, R.A.
FLORIDA LANDSCAPE ARCHITECT

comm no.

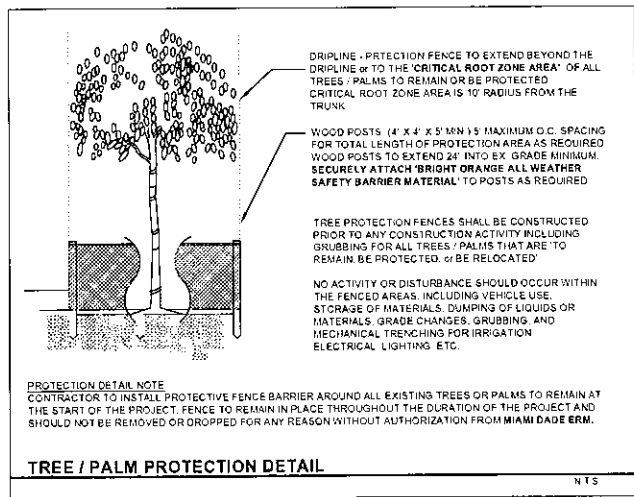
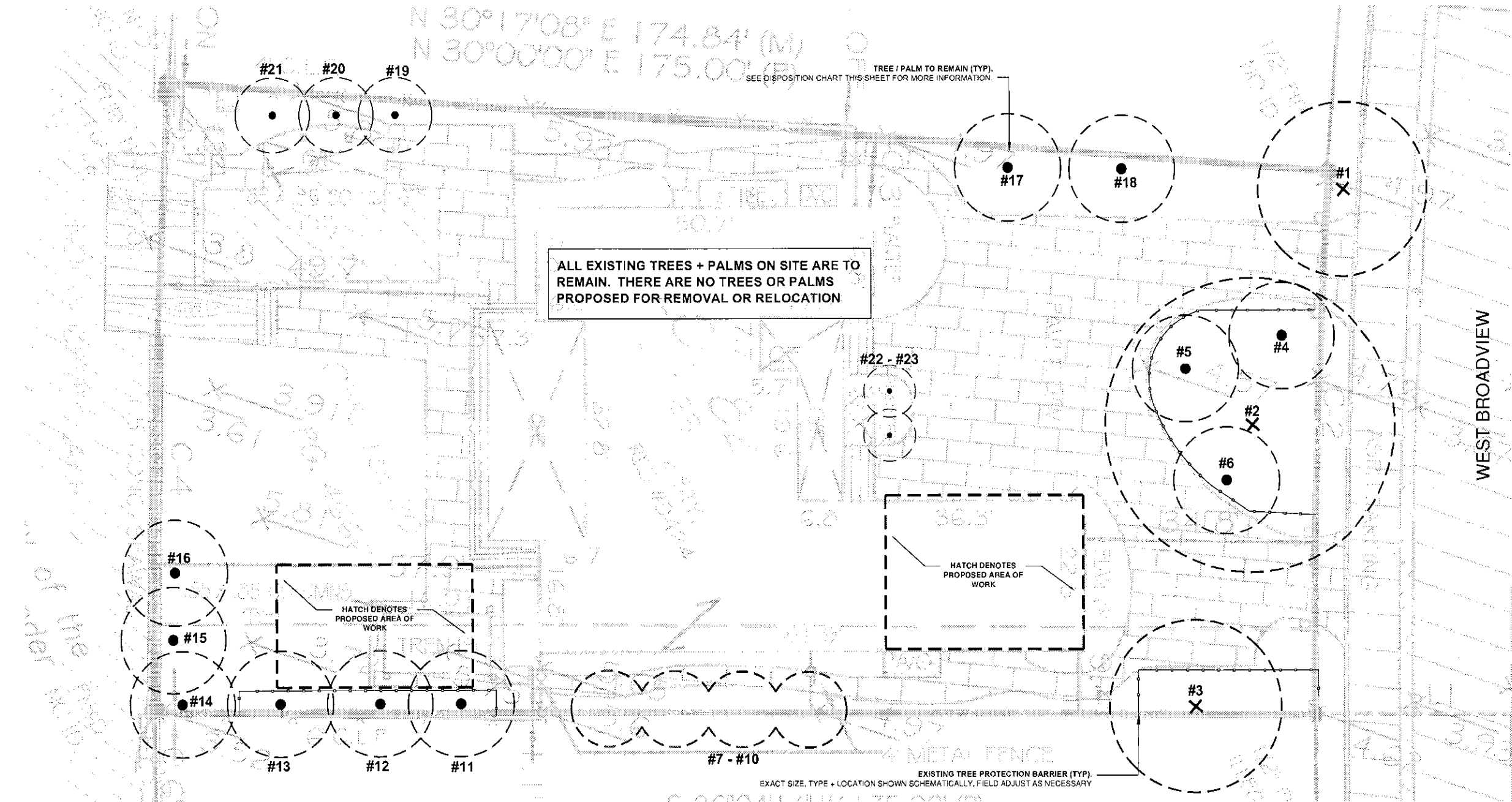
1725

date:
07/25/2017

revised:

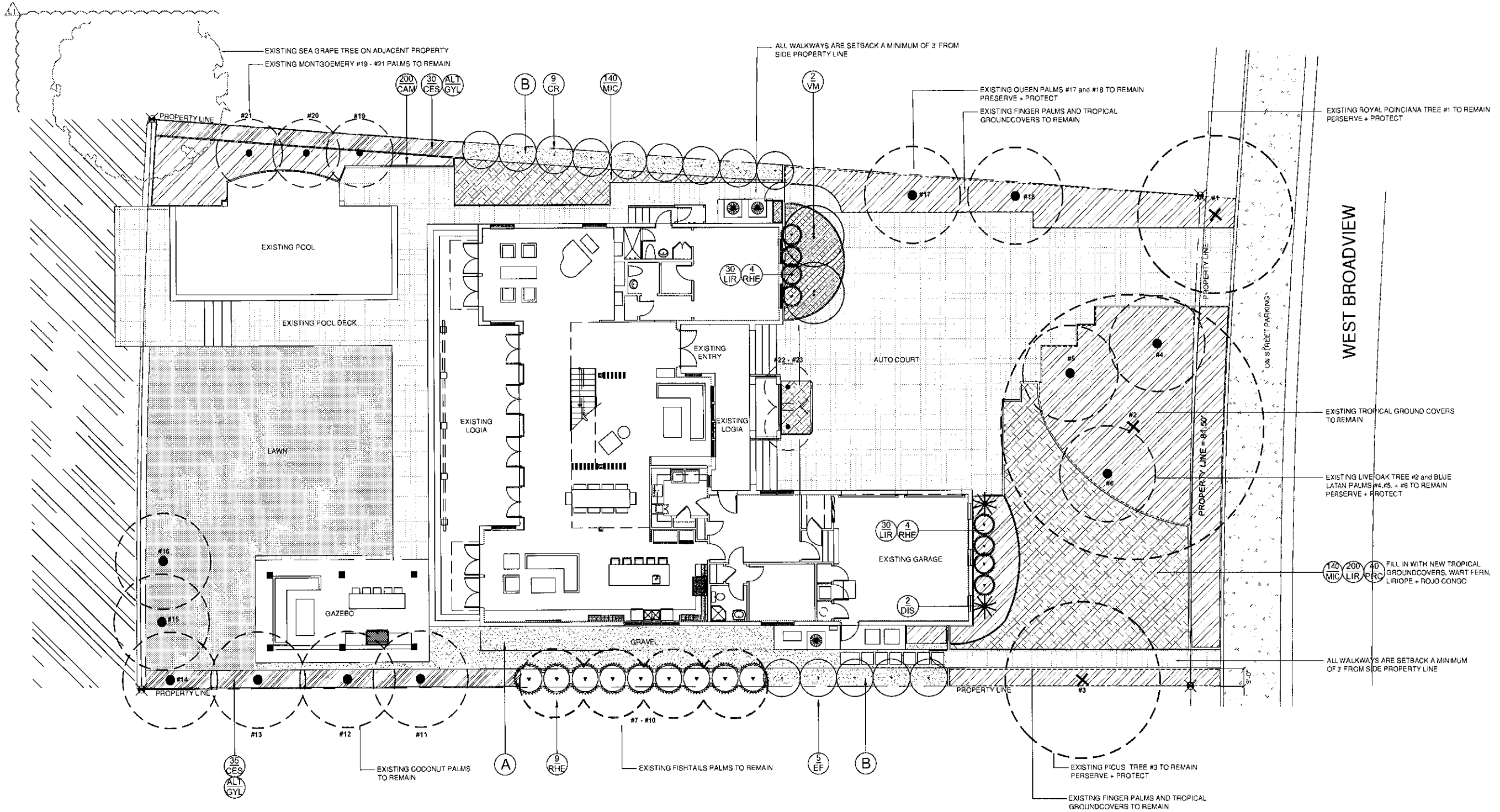
sheet no.

L-0



MIAMI DADE ERM - EXISTING TREE INVENTORY & DISPOSITION CHART									
NUMBER	COMMON NAME	BOTANICAL NAME	HT. X SPREAD	D.B.H.	CONDITION	ACTION	CANOPY LOSS	COMMENTS	
#1	ROYAL POINCIANA	<i>Delonix regia</i>	+/- 30' X 30'	24"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#2	LIVE OAK TREE	<i>Quercus virginiana</i>	+/- 35' X 40'	38"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#3	FIGUS TREE	<i>Ficus aurea</i>	+/- 30' X 25'	24"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#4	BLUE LATAN PALM	<i>Lalania loddigesii</i>	+/- 8' X 8'	8"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#5	BLUE LATAN PALM	<i>Lalania loddigesii</i>	+/- 8' X 8'	8"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#6	BLUE LATAN PALM	<i>Lalania loddigesii</i>	+/- 8' X 10'	8"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#7 - #10	FISHTAIL PALMS	<i>Caryota mitis</i>	+/- 15' X 8'	6"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#10	COCONUT PALM	<i>Cocos nucifera</i>	+/- 25' X 15'	12"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#11	COCONUT PALM	<i>Cocos nucifera</i>	+/- 25' X 15'	12"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#12	COCONUT PALM	<i>Cocos nucifera</i>	+/- 25' X 15'	12"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#13	COCONUT PALM	<i>Cocos nucifera</i>	+/- 25' X 15'	18"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#14	COCONUT PALM	<i>Cocos nucifera</i>	+/- 25' X 15'	18"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#15	COCONUT PALM	<i>Cocos nucifera</i>	+/- 20' X 15'	6"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#16	COCONUT PALM	<i>Cocos nucifera</i>	+/- 25' X 15'	24"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#17	QUEEN PALM	<i>Syagrus romanzoffiana</i>	+/- 20' X 15'	6"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#18	QUEEN PALM	<i>Syagrus romanzoffiana</i>	+/- 20' X 15'	6"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#19	MONTGOMERY PALM	<i>Veitchia montgomeryana</i>	+/- 25' X 8'	8"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#20	MONTGOMERY PALM	<i>Veitchia montgomeryana</i>	+/- 25' X 8'	8"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#21	MONTGOMERY PALM	<i>Veitchia montgomeryana</i>	+/- 25' X 8'	8"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	
#22	ALEXANDER PALM	<i>Psychosperma elegans</i>	+/- 25' X 8'	2"	GOOD	REMAIN	0 SF	PRESERVE + PROTECT. SEE PROTECTION DETAIL.	

EXISTING TREE SURVEY LEGEND	
 TREE or PALM TO REMAIN PRESERVE + PROTECT	 TREE or PALM PROTECTION FENCE
TREE INVENTORY + DISPOSITION PLAN NOTES	
1. EXISTING TREE, PALM, AND VEGETATION INFORMATION AS INDICATED HAS BEEN PREPARED AS AN OVERLAY ON THE SURVEY PREPARED BY RONALD WALLING DATED 04/25/17.	
2. NO TREES OR PALMS ARE BEING REMOVED FROM THIS SITE.	
3. ALL EXISTING TREE + PALM INFORMATION THAT HAS BEEN PROVIDED ON THIS PLAN FOLLOWS THE MIAMI DADE COUNTY ERM TREE PERMITTING GUIDELINES. ANY TREES OR PALMS CONSIDERED INVASIVE OR THAT FALLS UNDER THE TREE PERMIT EXEMPTION / PROHIBITED SPECIES LIST 24-94 (4) MAY NOT BE SHOWN FOR CLARITY PURPOSES. ANY DISCREPANCIES IF NOTED UPON FURTHER FIELD INSPECTION SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.	



TOWN OF BAY HARBOR ISLAND NOTES:

1. THIS LANDSCAPE PLAN MEETS + EXCEEDS THE LANDSCAPE CODE REQUIREMENTS OF THE TOWN OF BAY HARBOR ISLANDS AS STIPULATED IN THE LANDSCAPE CODE REQUIREMENTS. (SEC. 24-16)

2. EXISTING SITE CONDITIONS HAVE BEEN FIELD VERIFIED BY LANDSCAPE ARCHITECT.

3. ALL LANDSCAPE AREAS TO BE 100% COVERED BY A FULLY AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSOR. CONTRACTOR TO PROVIDE SHOP DRAWING OF MODIFIED IRRIGATION SYSTEM TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.

LANDSCAPE PLAN LEGEND

- A 3/8" GREY DECOMPOSED GRANITE AGGREGATE OVER FILTER FABRIC
- B AMERIGROW 'PREMIUM PINEBARK BROWN' SHREDDED MULCH

PLANT LIST - 9424 WEST BROADVIEW					
SYM.	NATIVE	QTY	COMMON NAME	BOTANICAL NAME	HT. X SPR. & SPECIFICATION
GROUND COVERS + ACCENTS					
CAM	NO	200	DWARF CARRISSA	Carrissa 'Emerald Blanket'	3 gallon, full, 12" on center
LIR	NO	200	LILY TURF	Liriope muscari	1 gallon, full, 12" on center
MIC	NO	280	WART FERN	Monstera deliciosa	3 gallon, full, 18" on center
PRC	NO	40	PHILODENDRON 'ROJO CONGO'	Same	3 gallon, full, space 24" o.c.
RHE	NO	16	LADY PALMS	Rhapis excelsa	15 gallon, full, space 26" o.c.
SOD, AGGREGATE, & MULCH					
LAWN	EMPIRE ZOYSIA GRASS - OVER 2" TOPSOIL REQ. SEE PLANTING SPECS.				
NLC	SHREDDED / MINI PINEBARK CLOSE UP AREAS, REGULAR PINEBARK LARGE BEDS - NO CYPRESS MULCH OR RED DYED MULCH				

PLANT LIST - 9424 WEST BROADVIEW					
SYM	NATIVE	QTY	COMMON NAME	BOTANICAL NAME	HT. X SPR. & SPECIFICATION
TREES					
CR	YES	9	PITCH APPLE TREE	Clusia rosea	65 gallon, 14-16" height x 6" spread, 3.5" caliper
EF	YES	8	SPANISH STOPPER TREES	Eugenia foetida	65 gallon, 12" height x 6" spread, 3" caliper, single
PALMS					
VM	YES	2	MONTGOMERY PALMS	Veitchia montgomeryana	20' overall height, 12" clear trunk, full, double
SHRUBS					
CES	YES	65	GREEN BUTTWOOD SHRUBS	Conocarpus erectus	15 gallon, 3-5' height, full, space 30" on center
GYL	YES	ALT	CRABWOOD	Gymnanthes lucida	25 gallon, full, 8' height, space 36" on center

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER
2. CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF, AVOID, AND PROTECT ALL UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES
3. TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ANY CHANGES TO R.O.W. (RIGHT OF WAY) MATERIAL IN REGARDS TO PLACEMENT OF SPECIES SHALL REQUIRE THE APPROVAL AND CONSULTATION OF THE CITY URBAN FORESTER AND OR CITY STAFF.

4. ALL PLANTING SOIL SHALL BE 50/50 TOPSOIL SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS

CARE SHALL BE TAKEN TO AVOID PLACEMENT OF CONSTRUCTION FILL, GRAVEL, AND OR DEBRIS OVER THE ROOTBALLS OF INSTALLED OR EXISTING TREES AND OR PALMS ON SITE.

SODDED-LAWN AREAS
2" DEPTH PLANTING SOIL SPREAD IN PLACE, THROUGHOUT.

GROUNDCOVER PLANTING BEDS
8" DEPTH PLANTING SOIL SPREAD IN PLACE, THROUGHOUT.

SHRUB AND HEDGE PLANTING AREAS
12" DEPTH PLANTING SOIL SPREAD IN PLACE, THROUGHOUT.

TREES, PALMS, SPECIMEN PLANT MATERIAL LOCATIONS
REMOVE ALL LIMESTONE PRESENT TO A DEPTH OF AT LEAST 30" BEFORE PLACING NEW PLANTING SOIL. APPLY NEW CLEAN PLANTING SOIL IN PLANTING AREA AS REQUIRED

THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50/50 TOPSOIL SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.

5. THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50/50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL SAND APPLICATION AND SUBSEQUENT PAYMENT OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID
6. ALL EXISTING TREE + PALM INFORMATION THAT HAS BEEN PROVIDED ON THIS PLAN FOLLOWS THE MIAMI DADE COUNTY ERM TREE PERMITTING GUIDELINES. ANY TREES OR PALMS CONSIDERED INVASIVE OR THAT FALLS UNDER THE TREE PERMIT EXEMPTION / PROHIBITED SPECIES LIST 24-94 (4) MAY NOT BE SHOWN FOR CLARITY PURPOSES. ANY DISCREPANCIES IF NOTED UPON FURTHER FIELD INSPECTION SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.

7. IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH 50% OVERLAP MINIMUM AND BE PROVIDED BY A FULLY AUTOMATIC IRRIGATION SYSTEM WITH RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX 7" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES. CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL SLEEVING AND PIPE ROUTING. ALL UNDERGROUND UTILITIES TO BE LOCATED BY DIALING 811 AS REQUIRED BY LAW

8. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 2" WITH A SMALL GRAY GRANITE AGGREGATE OR APPROVED ORGANIC MULCH FREE FROM WEEDS AND PESTS. NO "CYPRESS MULCH" OR "RED DYED MULCH" TO BE ACCEPTED. KEEP MULCH 6" AWAY FROM TREE OR PALM TRUNKS AS PER INDUSTRY RECOMMENDATIONS

9. SOD SHALL BE "EMPIRE TURF" ZOYSIA GRASS IN ALL LAWN AREAS AS SHOWN ON THE PLANS. SOD SHALL BE STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLANS OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED. SOD SHALL CARRY A 5-MONTH WARRANTY.

10. ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS, AND SOD / LAWN SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.

11. ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROWERS LANDSCAPE ASSOCIATION (FNGLA) AND ANSI A-300 (PART 6)-2012 TREE, SHRUB, AND OTHER WOODY PLANT MANAGEMENT STANDARD PRACTICES (PLANTING AND TRANSPLANTING). CONTRACTOR SHALL ENSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.

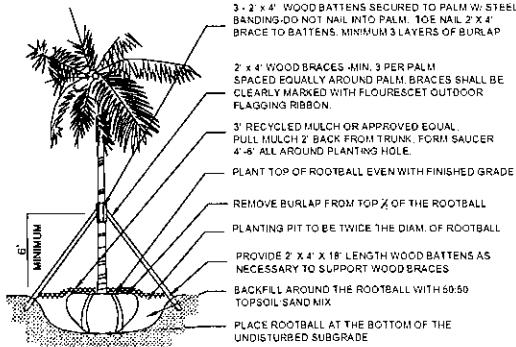
CONTRACTOR SHALL REMOVE ALL STAKES, POLES, WELLINGTON TAPE AND OR BRACING MATERIALS FROM ALL PALMS, TREES AND SHRUBS WITHIN 1 YEAR OF INSTALLATION.

12. THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.

13. IF NECESSARY, CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO ENSURE PROPER WATERING IN DURING INSTALLATION AND CONTRACTOR WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.

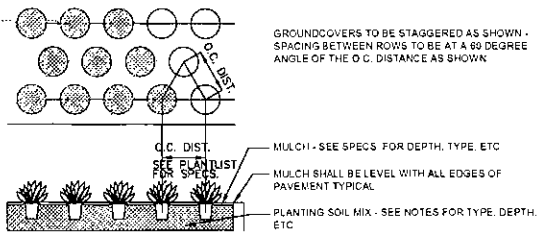
A MINIMUM OF 6 MONTHS OF SUPPLEMENTAL HAND OR AUTOMATIC IRRIGATION SYSTEM WATERING SHALL BE REQUIRED TO AID IN NEW TREE OR PALM ESTABLISHMENT.

14. FERTILIZATION: ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. FERTILIZER SHALL BE OSMOCOTE OR APPROVAL EQUAL.



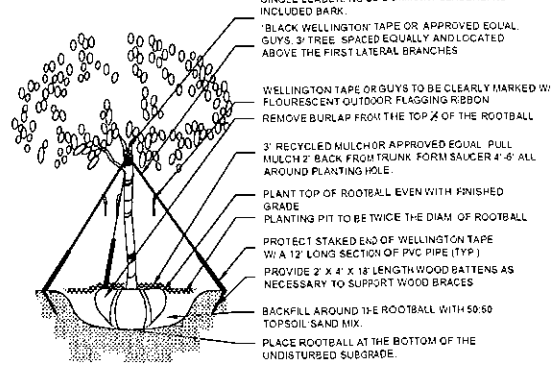
PALM PLANTING DETAIL

N.T.S.



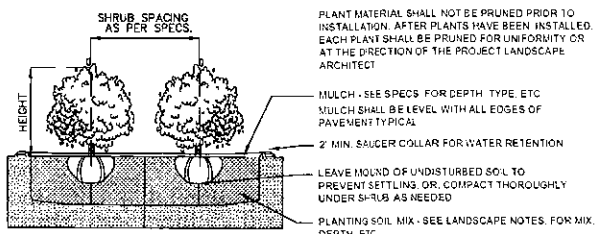
GROUNDCOVER PLANTING DETAIL

N.T.S.



TREE PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.

Town of Bay Harbor Islands
Landscape Code (Sec. 24-16) Requirements Legend

Residential - Single-Family and Two-Family Home Sites

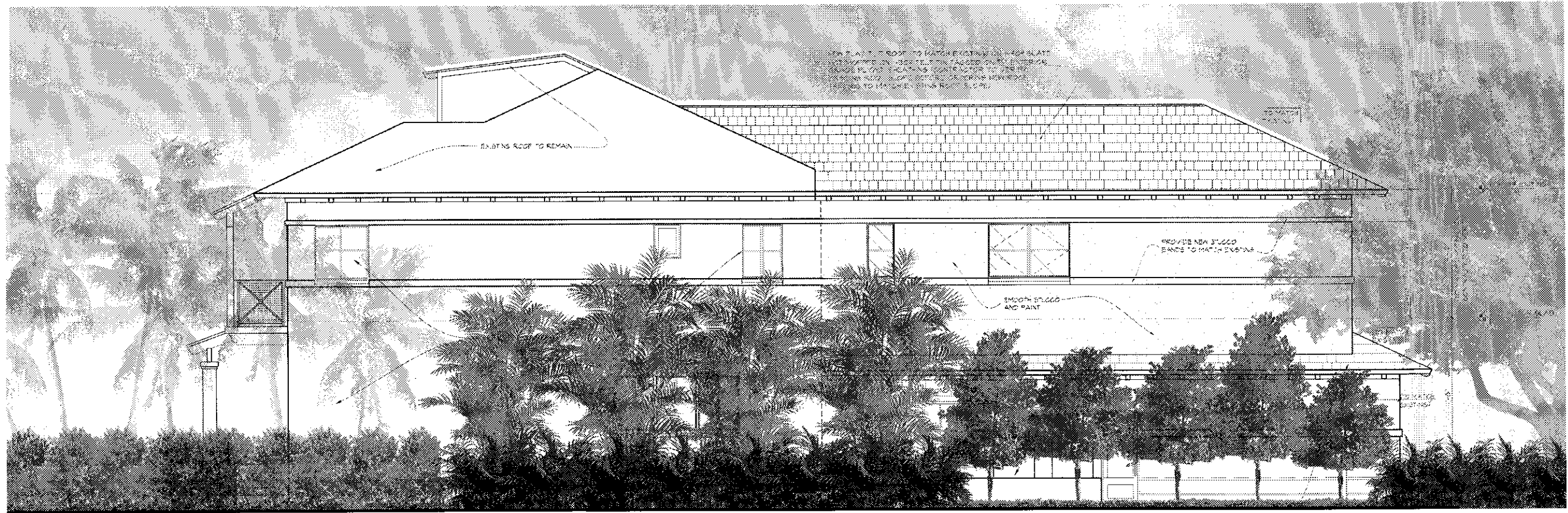
A. Shade Trees Required*	Required	Provided
1. Single-Family Non-Waterfront Lot	5	n/a
2. Single-Family Waterfront Lot	6	16
3. Two-Family Lot	5	n/a
4. Number of Shade Trees in Front Yard	2	3
5. Native Species Required - 50%	3	13
6. Drought Tolerant and Low Maintenance Species Require - 50%	3	13
B. Shrubs Required**		
1. Single-Family Non-Waterfront Lot	50	n/a
2. Single-Family Waterfront Lot	60	65
3. Two-Family Lot	50	n/a
4. Native Species Required - 30%	15 / 18	65
5. Drought Tolerant and Low Maintenance Species Require - 50%	25 / 30	65
C. Maximum Lawn Area Allowed*** 50% of Net Lot Area	(Max)	12%

Notes:
* Required Shade Trees at time of planting must be a minimum of 12 feet in overall height, have 4 feet of clear wood before branching, and have a 2 1/2 inch caliper. Palm Trees can be substituted at a 1:1 ratio, except approved larger varieties not more than 50% of the required trees.
** Required Shrubs at time of planting must be a minimum of 24 inches in overall height. If used as a visual screen must be a minimum of 25 inches in overall height.
*** Miami-Dade County Landscape Ordinance Sec. 19A-6 (A)(5).

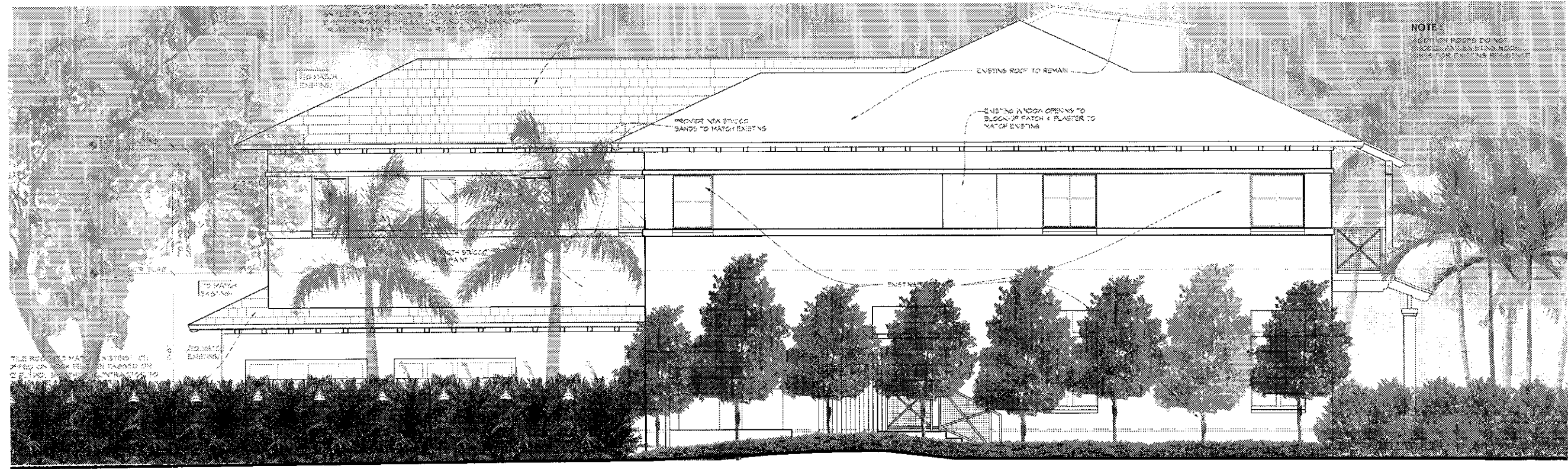


REAR ELEVATION (SOUTH)

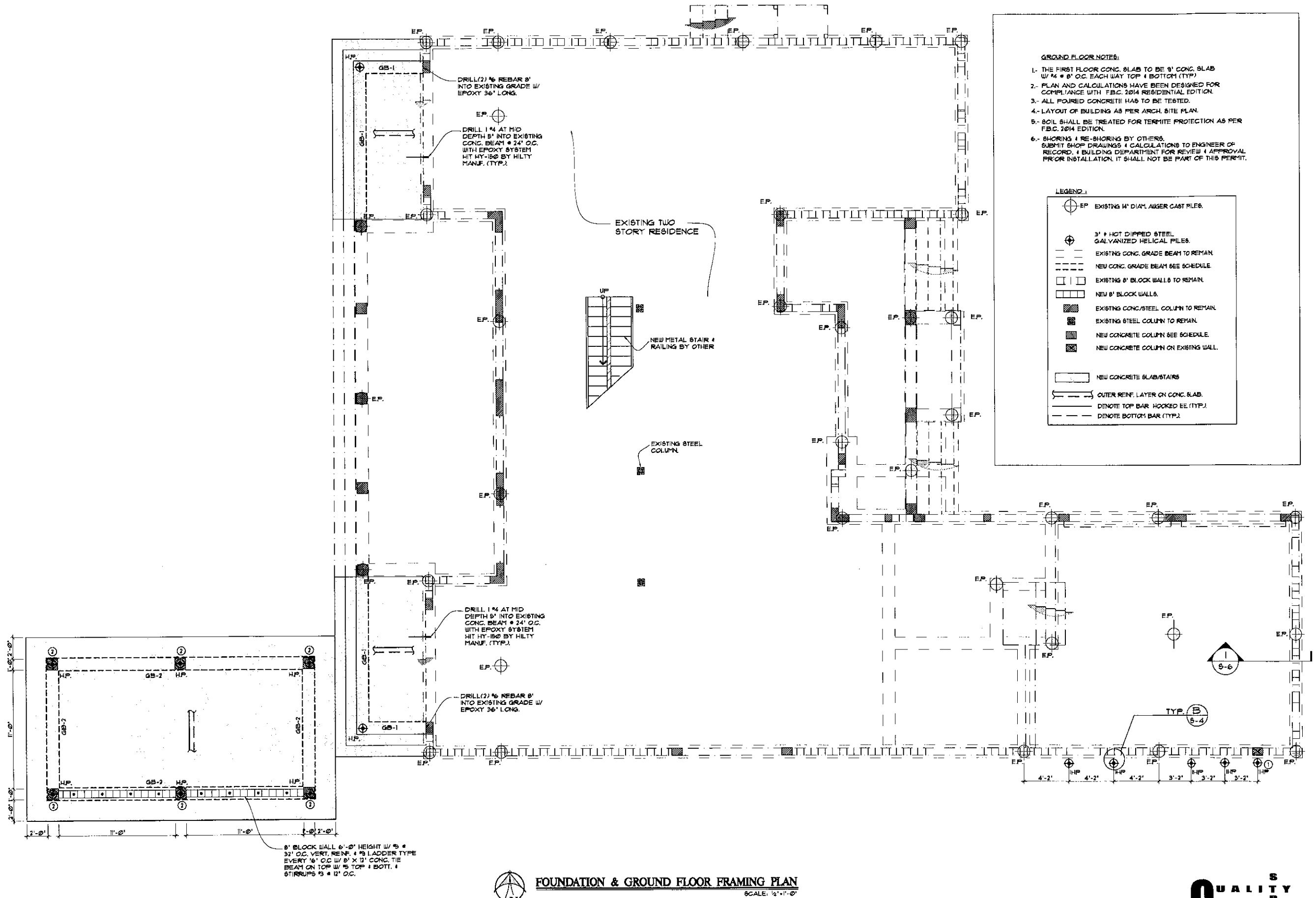
FRONT + REAR ELEVATIONS
CHRISTOPHER CAWLEY
CC
LANDSCAPE ARCHITECTURE LLC
LA
 BAY HARBOR ISLANDS PH2 LANDSCAPE SUBMITTAL 07.23.17
 Florida Landscape Architecture Business LC 26000460
 780 NE 69th Street | Suite 1106 | Miami, FL 33138
 T 305.979.1585 | www.christophercawley.com

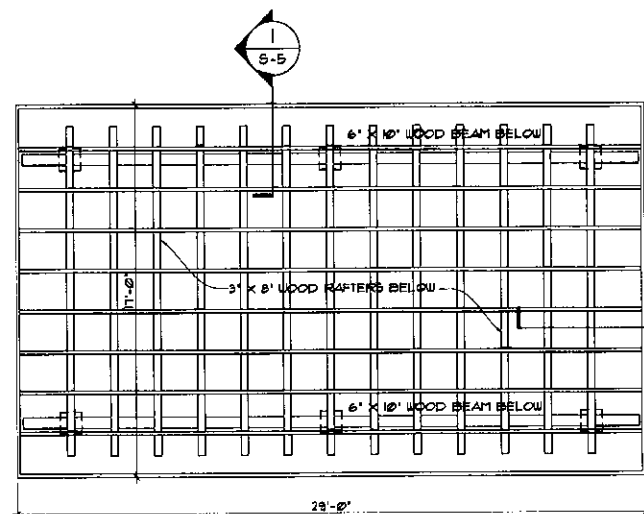


SIDE ELEVATION (WEST)

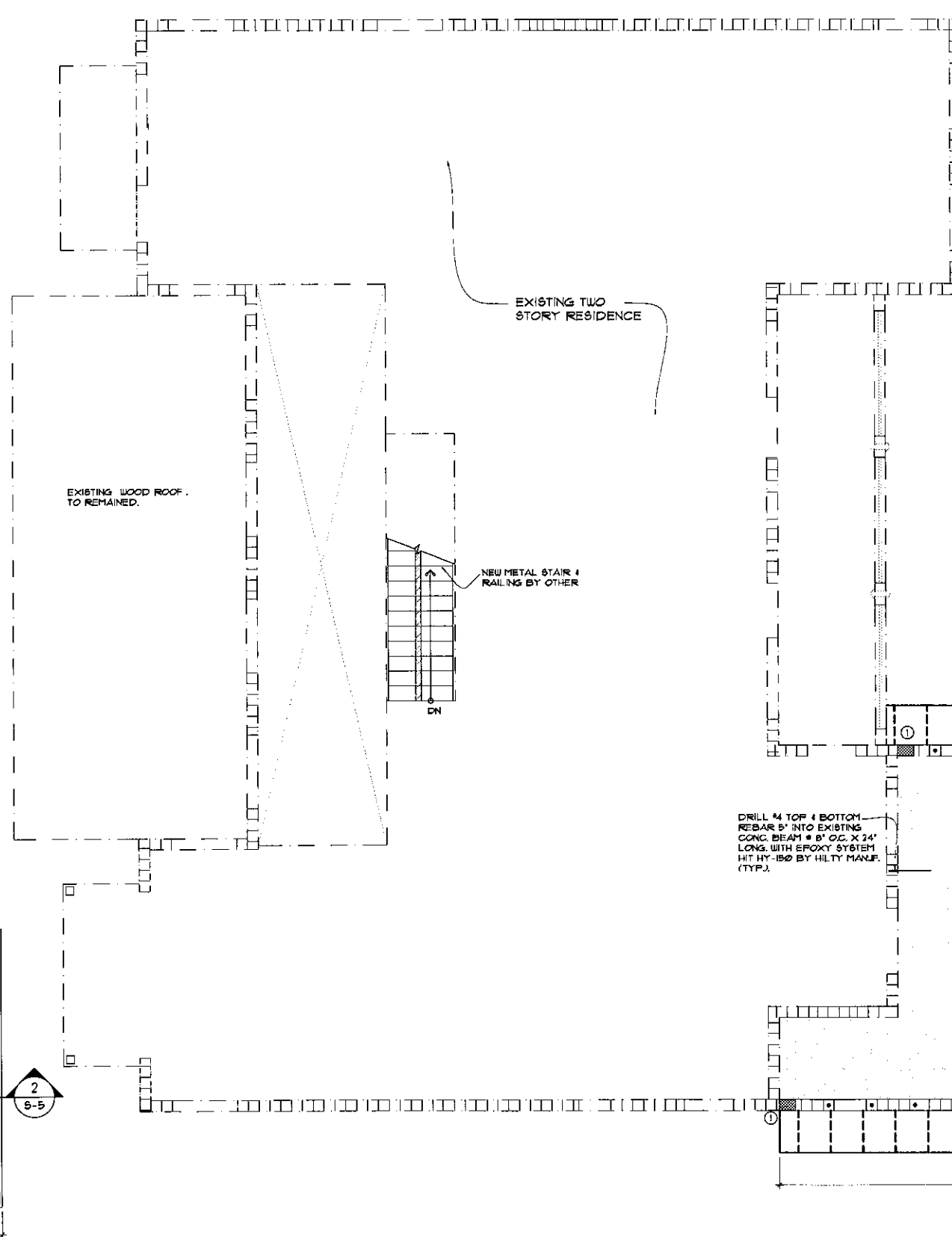


SIDE ELEVATION (EAST)





CABANA ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

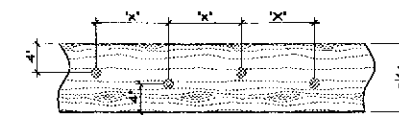


SECOND FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

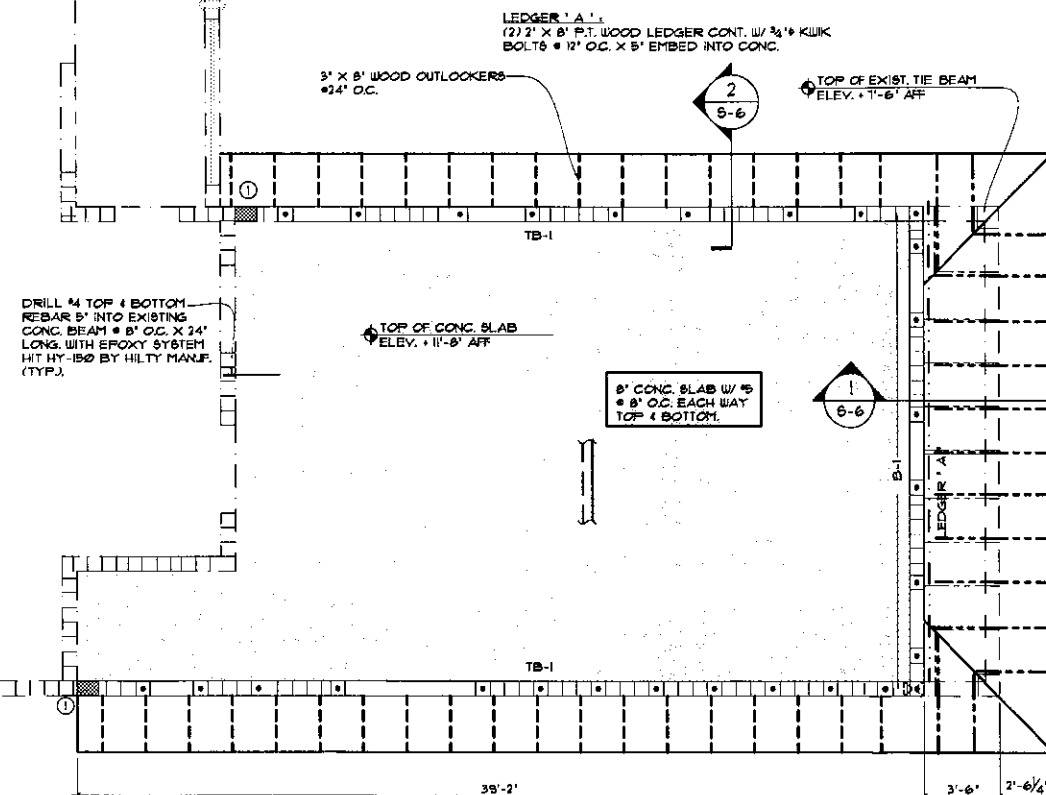
SECOND FLOOR NOTES:

1. THE SECOND FLOOR CONC. SLAB TO BE 8" CONC. SLAB W/ #5 @ 8" O.C. EACH WAY TOP & BOTTOM (TYP).
2. DESIGN LOADS:
FLOOR: LL = 40 PSF DL = 30 PSF SLAB WEIGHT
3. PLAN & CALCULATIONS HAVE BEEN DESIGNED IN COMPLIANCE WITH THE F.B.C. 2014 EDITION.
4. FOR GENERAL NOTES, DETAILS, BEAM SCHEDULE AND COLUMN SCHEDULE, SEE SHEET S-5.
5. RAILINGS BY OTHERS. SUBMIT SHOP DRAWINGS & CALCULATIONS TO ENGINEER OF RECORD, & BUILDING DEPARTMENT FOR REVIEW & APPROVAL PRIOR FABRICATION. IT SHALL NOT BE PART OF THIS PERMIT.
6. SHORING & RE-SHORING BY OTHERS. SUBMIT SHOP DRAWINGS & CALCULATIONS TO ENGINEER OF RECORD, & BUILDING DEPARTMENT FOR REVIEW & APPROVAL PRIOR INSTALLATION. IT SHALL NOT BE PART OF THIS PERMIT.

LEGEND	
	EXISTING 8' BLOCK WALLS TO REMAIN
	NEW 8' BLOCK WALLS
	EXISTING CONC. COLUMN TO REMAIN
	NEW CONCRETE COLUMN SEE SCHEDULE
	NEW CONCRETE COLUMN ON EXISTING WALL
	CONCRETE COLUMN BELOW
	NEW CONCRETE SLAB/STAIRS
	LEDGER 'A'



LEDGER BOLTS DISTRIBUTION
SCALE: 1"=1'-0" 1"=1'-0" SEE LEDGERS TYPE



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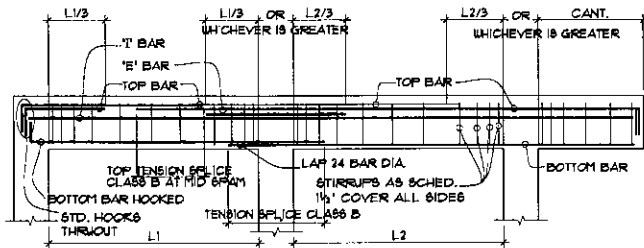
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S-2

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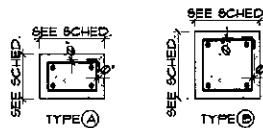
TYPICAL BEAM DIAGRAM

'C' BARS ARE TOP BARS AT NON-CONTINUOUS ENDS.
'E' BARS ARE TOP BARS OVER RIGHT INTERIOR SUPPORTS.
TOP BARS WHEN SPLICED, SHALL BE SPLICED IN THE MIDDLE THIRD OF THE SPAN.
'I' BARS IN SCHEDULE SHALL BE PLACED 1/2" EF.

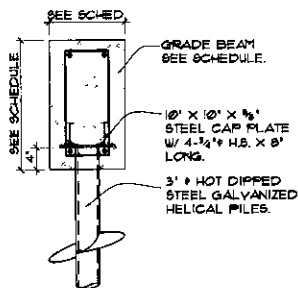
BEAM SCHEDULE									
MARK	ELEV	SIZE (IN)	REINFORCING				STIRRUPS	REMARKS	
			B	T	E	I			
GB-1	SEE PLAN	14 X 24	2 #5	2 #5			3 □	• 10' O.C.	TOP AT 12" MIN. BELOW GRADE
B-1	SEE PLAN	8 X 50	2 #5	2 #5	4 #5	3 □		• 12' O.C.	
TB-1	SEE PLAN	8 X 50	2 #5	2 #5	4 #5	3 □		• 12' O.C.	
RTB-1	SEE PLAN	8 X 12	2 #5	2 #5			3 □	• 12' O.C.	

NOTE: ALL BEAM'S REBARS SHALL BE HOOKED AT END TOP & BOTTOM.

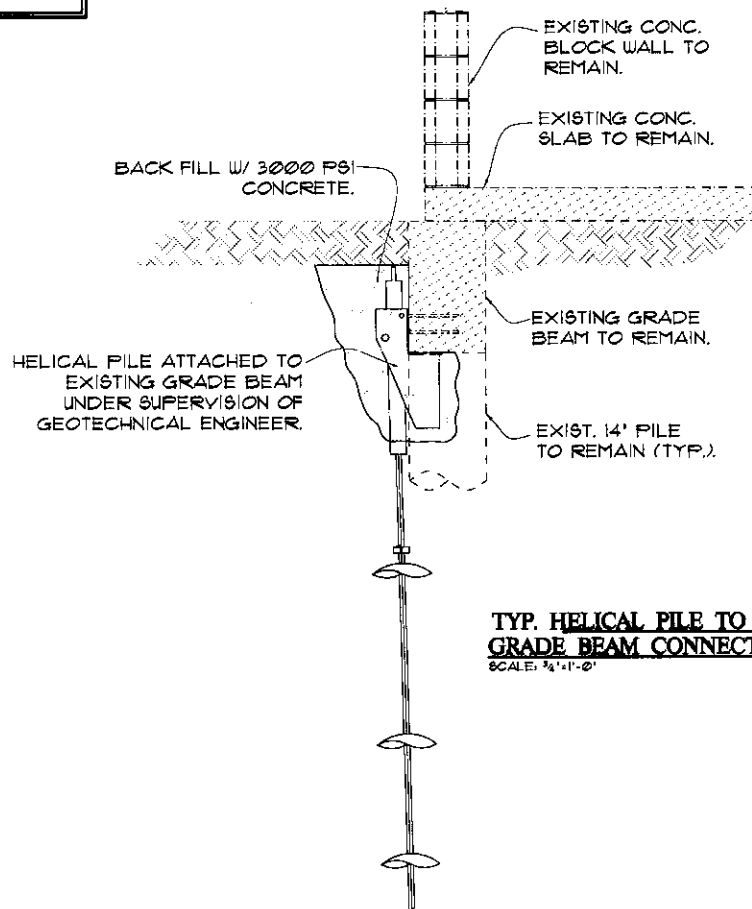
CONCRETE COLUMN SCHEDULE					
MARK	SIZE	REINFORCING		TYPE	REMARKS
		VERTICAL	TIES		
①	8' X 12'	4 #5	• 3 • 8' O.C.	A	CONCRETE
②	12' X 12'	4 #5	• 3 • 8' O.C.	B	CONCRETE



CONC. COLUMN TYPES
SCALE: 1/4"=1'-0"



TYP. HELICAL PILE & GRADE BEAM CONNECTION DETAIL
SCALE: 1/4"=1'-0"



TYP. HELICAL PILE TO EXIST. GRADE BEAM CONNECTION DETAIL
SCALE: 1/4"=1'-0"

GENERAL STRUCTURAL NOTES:

1. ALLOWABLE SOIL BEARING CAPACITY:

2. CONCRETE:

CONCRETE SHALL BE DESIGNED AS PER ACI-318-II CHAPTER 4, EXPOSURE CLASS C2 AND ATTAIN 5000 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
WATER/CEMENT RATIO = 0.40
WATER-SOLUBLE CHLORIDE PERCENT BY WEIGHT OF CEMENT = 0.5
AGGREGATES TO BE CLEAN AND WELL GRADED, MAXIMUM SIZE TO BE 1". CONCRETE SLUMP 3" MINIMUM TO 5" MAXIMUM. ALL SLEEVES, CONDUITS, INSERTS, BLOCK-OUTS, BOLTS, PLUMBING AND DRAINS SHALL BE SECURED IN PLACE BEFORE POURING CONCRETE.
AD MIXTURE, CONFORM TO ASTM C 494, TYPE 'D'.
SLUMP: 4" TO 5" MAXIMUM AND
AGGREGATE: CONFORM TO ASTM C 33, USING #51 ROCK.
FURNISH PRODUCER'S LABORATORY AFFIDAVIT AS TO THE PROPER PROPORTIONS AS SPECIFIED. SEE SPECIFICATIONS.
AN APPROVED LABORATORY SHALL BE EMPLOYED BY THE CONTRACTOR TO MAKE COMPRESSION TEST ON 3 CYLINDERS AT THE FOLLOWING INTERVALS:
1 • 3 DAYS, 1 • 7 DAYS, 1 • 28 DAYS, TEST CYLINDER TO BE TAKEN FROM EA. POUR AND DRAIN BEFORE POURING CONCRETE.
MIX DESIGNS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY CONCRETE WORK.
NO WATER SHALL BE ADDED TO THE CONCRETE AT THE JOB SITE.
TRANSPORTING, PLACING, CURING AND DEPOSITING OF CONCRETE SHALL COMPLY WITH ACI-318-II.

3. CONCRETE COVER:

TO BE AS FOLLOWS:	BOTTOM	TOP	SIDES
GRADE BEAMS	3"	2"	3"
BEAMS	2"	2"	2"
COLUMNS	---	---	2"
FLOOR SLAB	1"	1"	1"
GROUND FLOOR SLAB	3"	1"	3"

4. REINFORCING STEEL:

ALL REINFORCING STEEL TO BE DETAILED AND FABRICATED IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF DETAILING REINFORCED CONCRETE STRUCTURES AND THE ACI BUILDING CODE 318-05. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.

5. MASONRY WALLS:

MASONRY WALLS SHALL BE REINFORCED WITH #5 BARS VERTICAL IN GROUTED CELLS SPACED AS PER PLAN, LAP 48 BARS DIA. GROUT STRENGTH 3000 PSI.
MASONRY UNITS SHALL BE TWO CELLS HOLLOW UNITS CONFORMING TO ASTM C-90 GRADE N, WITH A COMPRESSIVE STRENGTH OF 1800 PSI ON THE NET CROSS SECTIONAL AREA AND 1 1/2 BAR SHALL BE PROVIDED AT EACH SIDE OF ALL MASONRY OPENING.
VERTICAL CELLS TO BE GROUTED SHALL HAVE A MINIMUM CLEAR DIMENSION OF 3 INCHES AND CLEAR AREA OF 6 SQ. IN. GROUTING SHALL BE DONE IN A CONTINUOUS OPERATION IN LIFT NOT EXCEEDING THE POUR HEIGHT INDICATED IN TABLE 4.3.3.4 FROM ACI 318-05 - 4.21. THE GROUTING SHALL BE CONSOLIDATED BETWEEN LIFTS BY PUDDLING, RODDING OR MECHANICAL VIBRATION.
PROVIDED IS STANDARD LADDER TYPE CUR-0 WALL HORIZONTAL JOINT REINFORCING AT 16 INCHES O.C. REINFORCED MASONRY DESIGN AND CONSTRUCTION SHALL COMPLY ACI 530-05/ASCE 5-05/TMS 402-05 & ACI 530-1-05/ASCE 5-05/TMS 602-05. REF. 51.53 (4) (9). GROUT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C416.
GROUT SLUMP = 8" TO 11", USE MORTAR TYPE M OR S.

6. STRUCTURAL STEEL:

SHALL CONFORM TO ASTM A-36 DETAILED, FABRICATED AND ERRECTED IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS. ALL STEEL TUBE FOR COLUMNS SHALL BE ASTM A-46 & TO BE FILL WITH 3000 PSI CONCRETE.
SUBMIT SHOP DRAWINGS SIGNED AND SEALED BY FLORIDA REGISTERED ENGINEERS FOR APPROVAL PRIOR TO FABRICATION. STRUCTURAL STEEL DESIGN & CONSTRUCTION SHALL COMPLY WITH AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION & ERECTION OF STRUCTURAL STEEL FOR BUILDING, NINTH EDITION.

7. WELDING:

ALL WELDING TO CONFORM WITH AWS, AND AISC SPECIFICATIONS AND TO BE DONE BY CERTIFIED WELDERS HOLDING CURRENT WELDING CERTIFICATION. WELDING TO BE E70XX ELECTRODES, BOLTS TO BE A325 AS SHOWN ON DRAWINGS.

8. DESIGN LOADS:

A. THE DESIGN COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2014 EDITION.			
B. WIND LOAD CRITERIA: BASIC WIND VELOCITY - 115 MPH (ASCE 7-10)			
LIVE LOADS:		DEAD LOADS:	
ROOF	30 PSF	TOP CHORD	30 PSF
FLOORS	40 PSF	BOTT. CHORD	10 PSF
			30 PSF + CONC. SLAB WEIGHT.

9. SAFETY:

A. THE CONTRACTOR SHALL COMPLY WITH THE SAFETY REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL LAWS.
B. PROVIDE ALL SHORING, BRACING AND SHEATHING AS REQUIRED FOR SAFETY AND FOR THE PROPER EXECUTION OF THE WORK, REMOVE WHEN THE WORK IS COMPLETED.

10. GENERAL:

STRUCTURAL DRAWINGS SHALL BE COORDINATED WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO LOCATE DEPREMISED SLOPES, OPENINGS AND DIMENSIONS, ETC. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BOTH THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE BEFORE STARTING WORK. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND RE-SHORING REQUIRED.

11. RAILING BY OTHERS:

ALL RAILINGS SHALL BE DESIGNED BY MANUFACTURER'S REGISTERED ENGINEER IN THE STATE OF FLORIDA TO RESIST A LOAD OF 80 LB/FT. APPLIED IN ANY DIRECTION AT TOP OF SUCH A BARRIER POSTS SHALL BE DESIGNED TO RESIST THE REACTION FROM THE RAILINGS OR A MINIMUM LOAD OF 1000 LBS. HANDRAILS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST A LOAD OF NOT LESS THAN 700 LBS. APPLIED IN ANY DIRECTION AND AT ANY POINT ON THE RAIL.

12. COORDINATE UNDOUS OPENING WITH UNDOUS MANUFACTURE SHOP DRAWINGS AND ARCHITECTURAL DRAWINGS BEFORE TO START WORKING ON MASONRY BLOCK WALLS.

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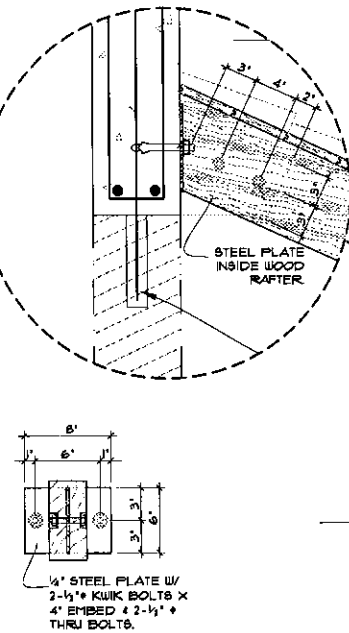
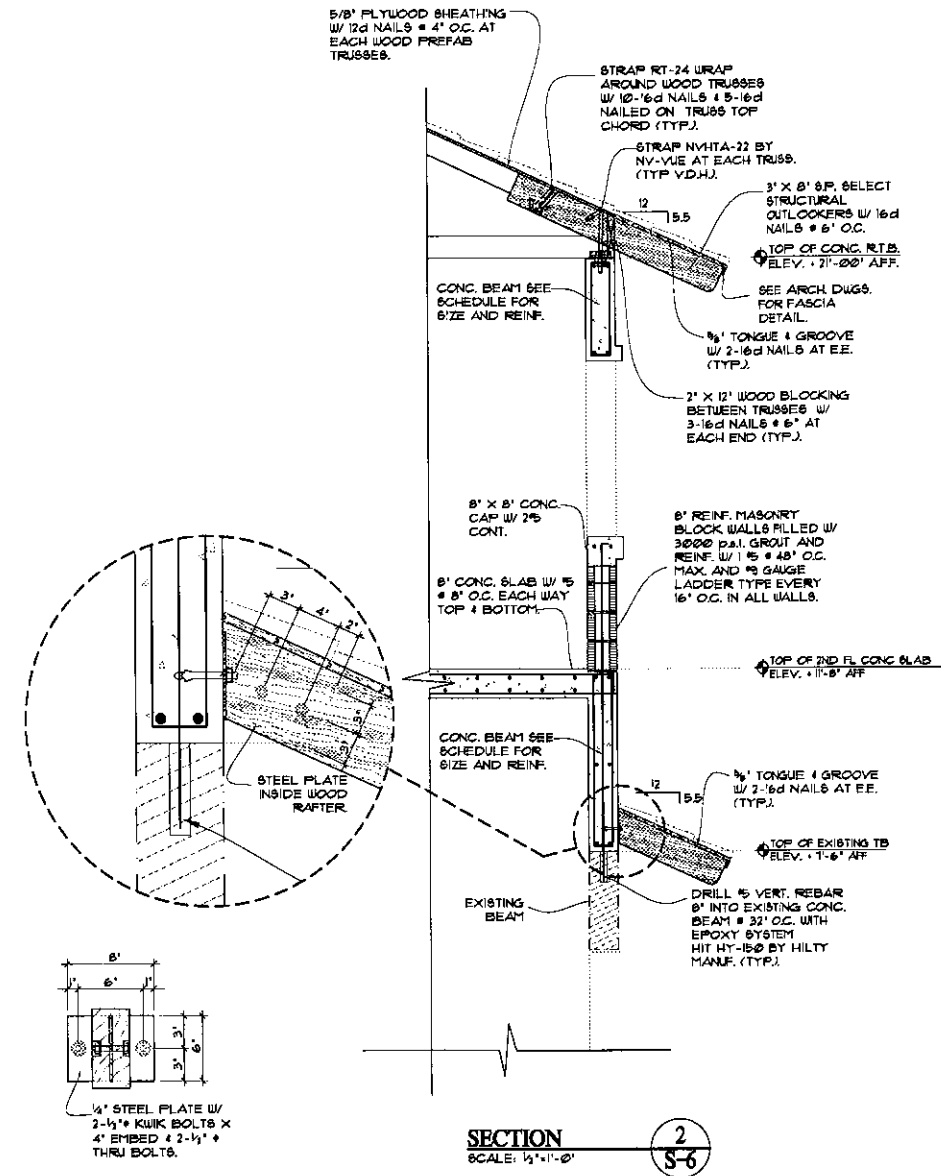
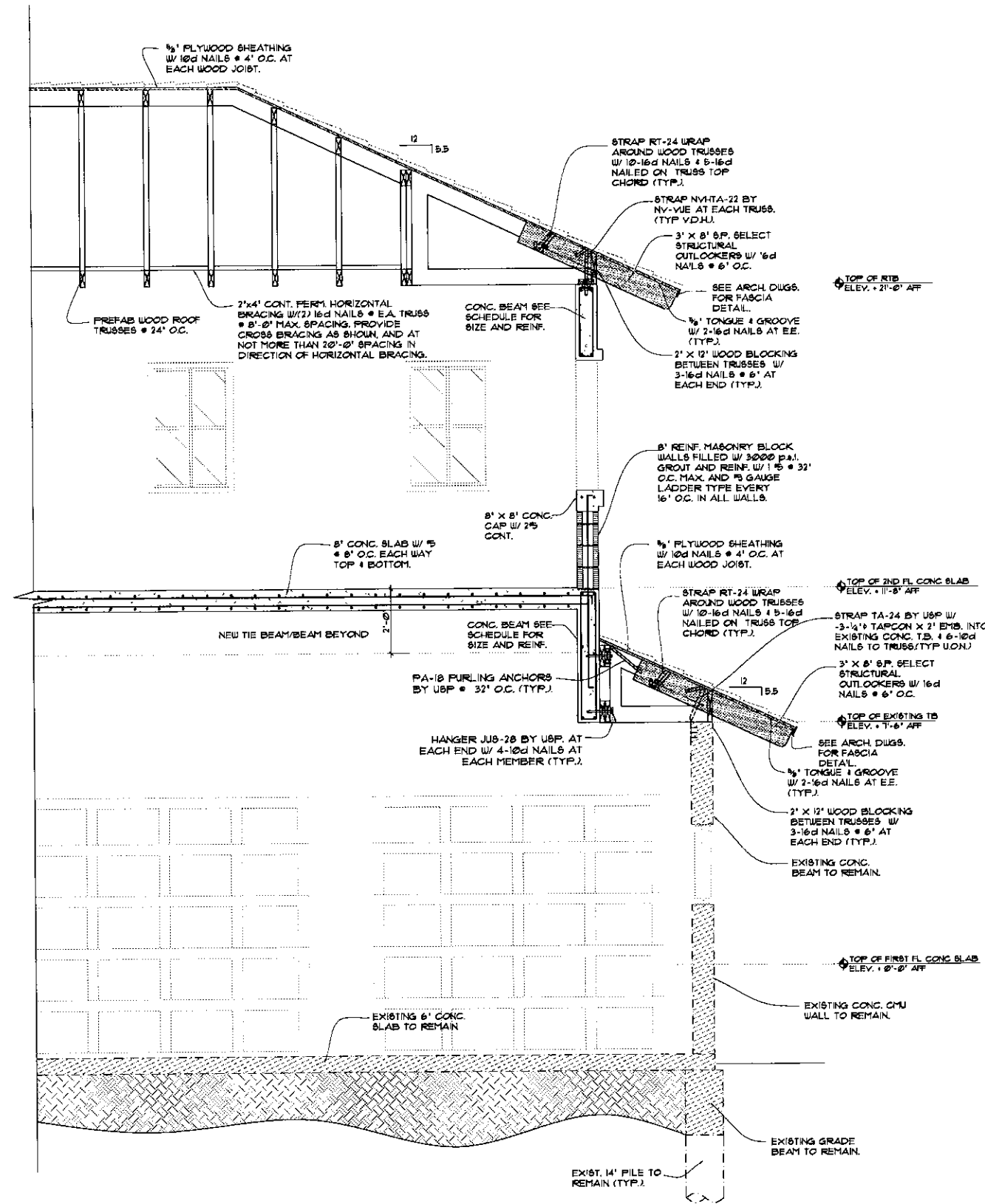
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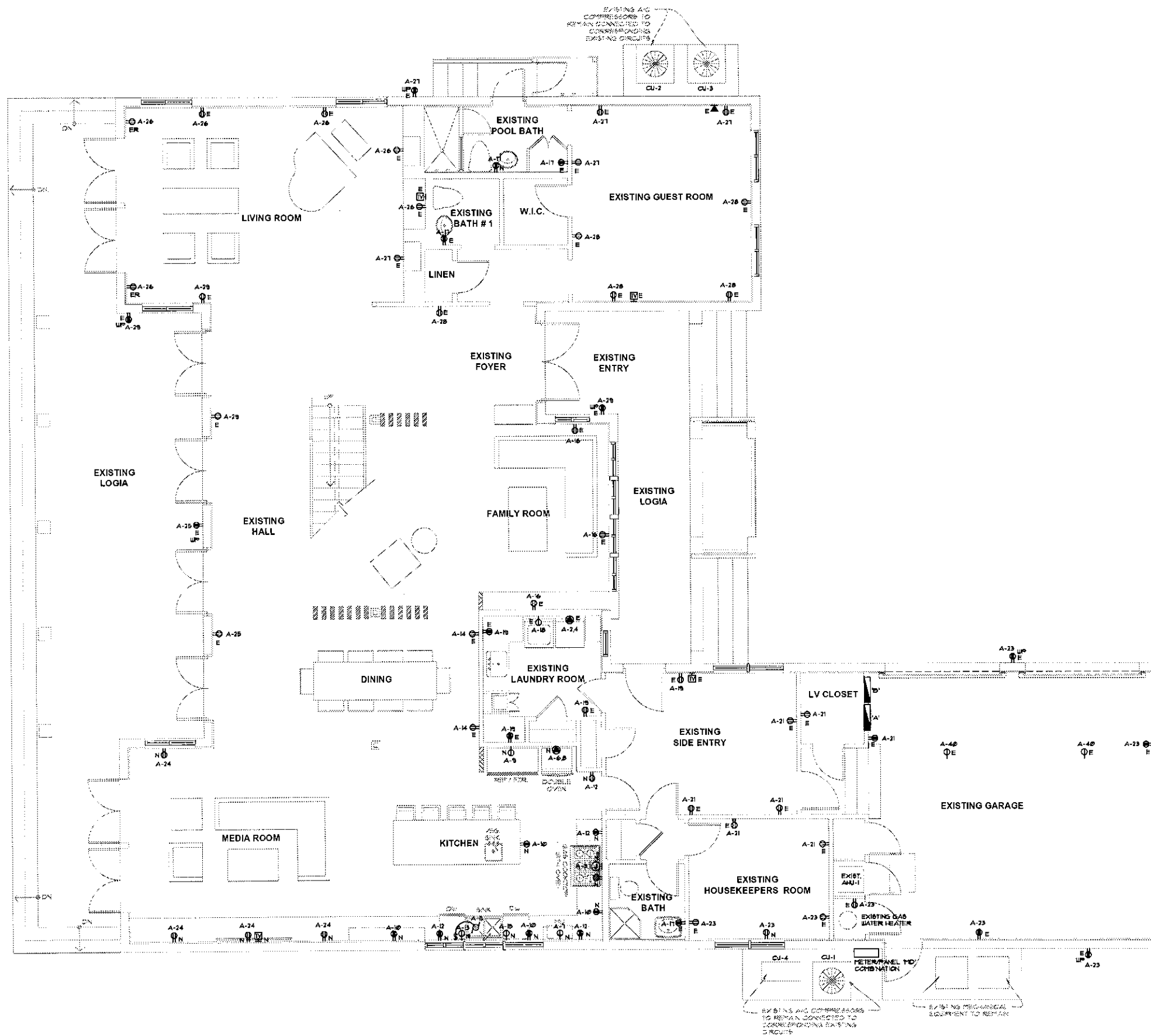
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MANUEL L. ORTEGA, P.E.
STRUCTURAL ENGINEER
FL. REG. # 20041
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BY: 42004
11/14/2017, 11:45:28 AM
C:\WORK\1725\1725.DWG
PLOT: 7/26/2017 11:45:28 AM

MANUEL L. ORTEGA
P.E. #12651

QUALITY
STRUCTURE
DESIGN
1725





PROPOSED NEW FIRST FLOOR POWER PLAN
SCALE: 1/4" = 1'-0"

seal

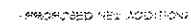
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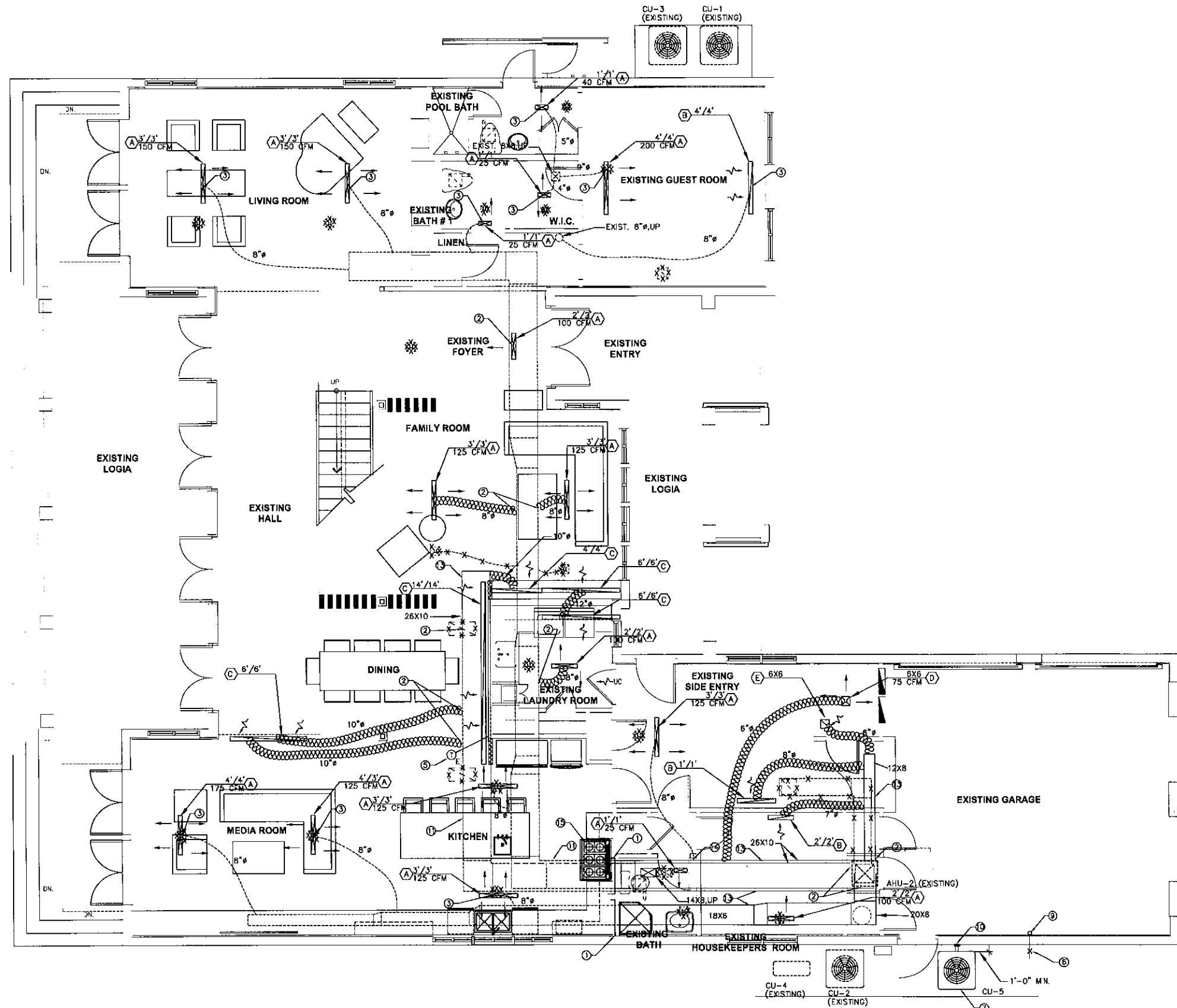
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E-1.1



HVAC KEY NOTES

- 1 ALL EXISTING DOWNSTREAM DUCTWORK TO BE DEMOLISHED & HAULED FROM THE SITE.
- 2 CONNECT TO EXISTING.
- 3 EXTEND EXISTING OR PLACE NEW FLEX DUCT TO NEW DIFFUSER.
- 4 4" TOILET EXHAUST DUCT TO WALL LOUVER W/ W.M.S., LOCATE 3' FROM ANY OPENING.
- 5 THERMOSTAT
- 6 3/4" SCHEDULE 40 PVC CONDENSATE DRAIN PIPE ABOVE GROUND, RUN TO DRYWELL OR GRASSY AREA. 2" UNDERGROUND TO GOOSENECK. SEPARATE MIN. 12" FROM WALL PROVIDE "P" TRAP AT UNIT CONNECTION. INSULATE WITH 1/2" ARMAFLEX A.G.
- 7 CONDENSING UNIT ON 4" CONCRETE PAD.
- 8 FULL SIZE DISCHARGE PLENUM
- 9 CONDENSATE PIPE INSIDE PARTITION, FLOOR SPACE OR ATTIC.
- 10 REF. PIPES UP BEHIND GALV. ENCLOSURE AND TO CEILING AND FAN COIL UNIT
- 11 EXISTING DUCTWORK TO REMAIN.
- 12 EXISTING AHU-4 IN THE LOFT IS TO BE RAISED FROM THE FLOOR & WALL MOUNTED.
- 13 NEW DUCTWORK.
- 14 EXISTING AHU-1 IN CEILING SPACE, ABOVE. ACCESS THROUGH LAY-IN CEILING TILES.
- 15 CONNECT NEW FLEX TO EXISTING DUCTWORK.
- 16 EXISTING OVEN COOKTOP EXHAUST HOOD



HVAC PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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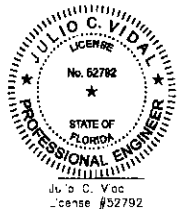
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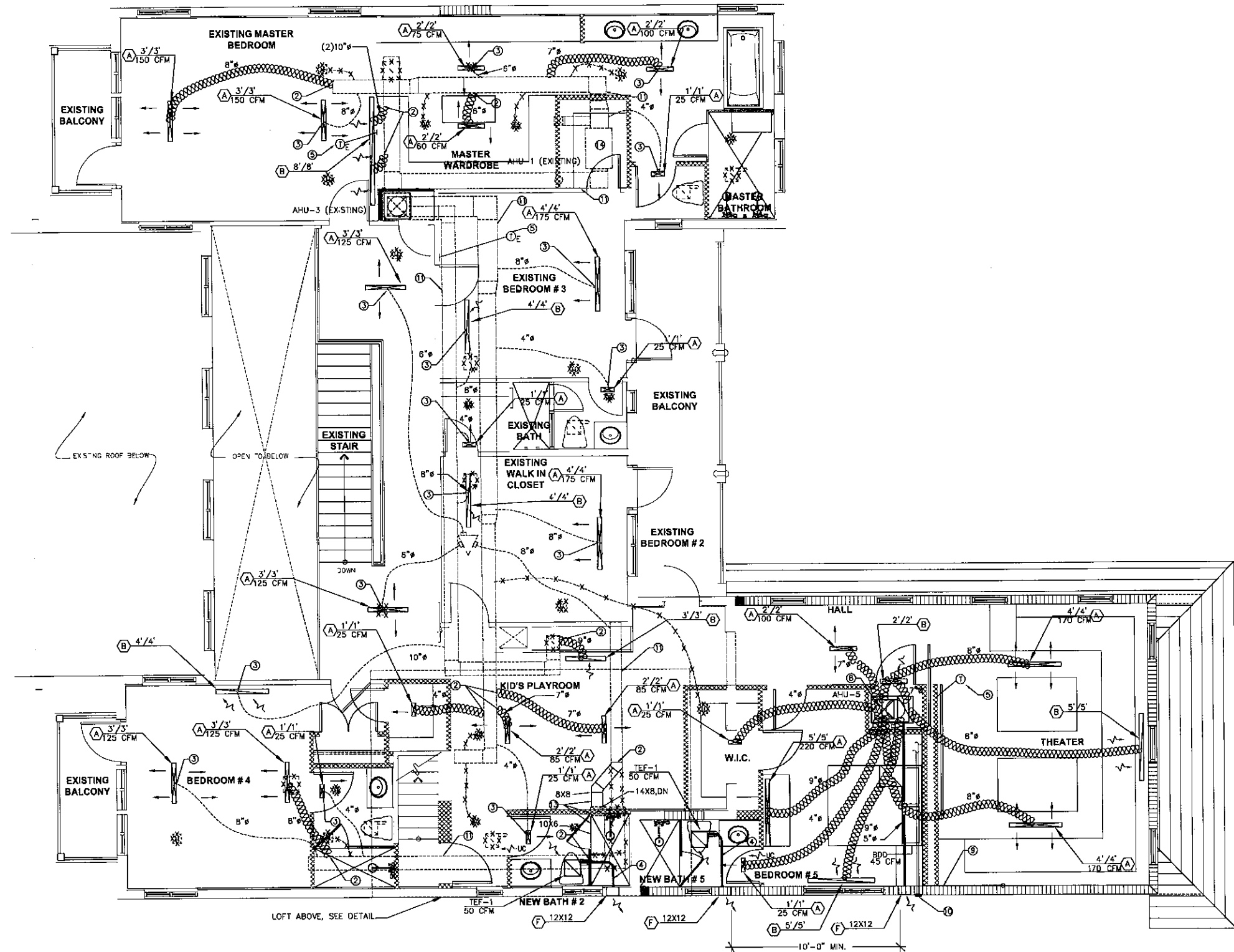
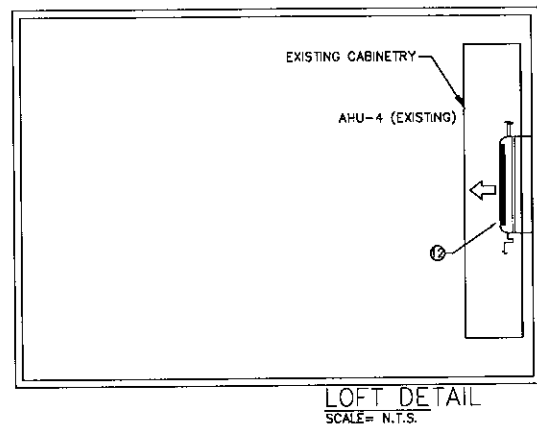
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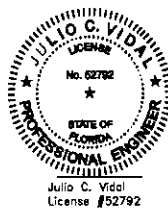
HVAC KEY NOTES

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2. CONNECT TO EXISTING.
3. EXTEND EXISTING OR PLACE NEW FLEX DUCT TO NEW DIFFUSER.
4. 4" TOILET EXHAUST DUCT TO WALL LOUVER W/ W.M.S., LOCATE 3' FROM ANY OPENING.
5. THERMOSTAT
6. 3/4" SCHEDULE 40 PVC CONDENSATE DRAIN PIPE ABOVE GROUND, RUN TO DRYWELL OR GRASSY AREA, 2" UNDERGROUND TO GOOSENECK, SEPARATE MIN. 12" FROM WALL PROVIDE "P" TRAP AT UNIT CONNECTION, INSULATE WITH 1/2" ARMAFLEX A.G.
7. CONDENSING UNIT ON 4" CONCRETE PAD.
8. FULL SIZE DISCHARGE PLENUM
9. CONDENSATE PIPE INSIDE PARTITION, FLOOR SPACE OR ATTIC.
10. REF. PIPES UP BEHIND GALV. ENCLOSURE AND TO CEILING AND FAN COIL UNIT
11. EXISTING DUCTWORK TO REMAIN.
12. EXISTING AHU-4 IN THE LOFT IS TO BE RAISED FROM THE FLOOR & WALL MOUNTED.
13. NEW DUCTWORK.
14. EXISTING AHU-1 IN CEILING SPACE, ABOVE. ACCESS THROUGH LAY-IN CEILING TILES.



HVAC NEW SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

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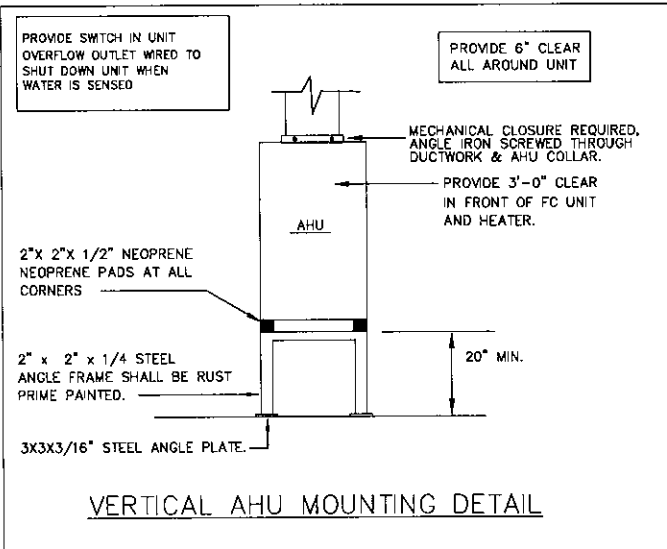
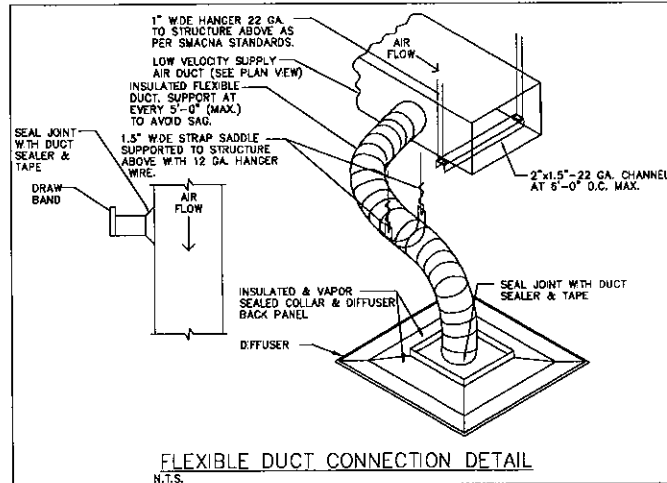
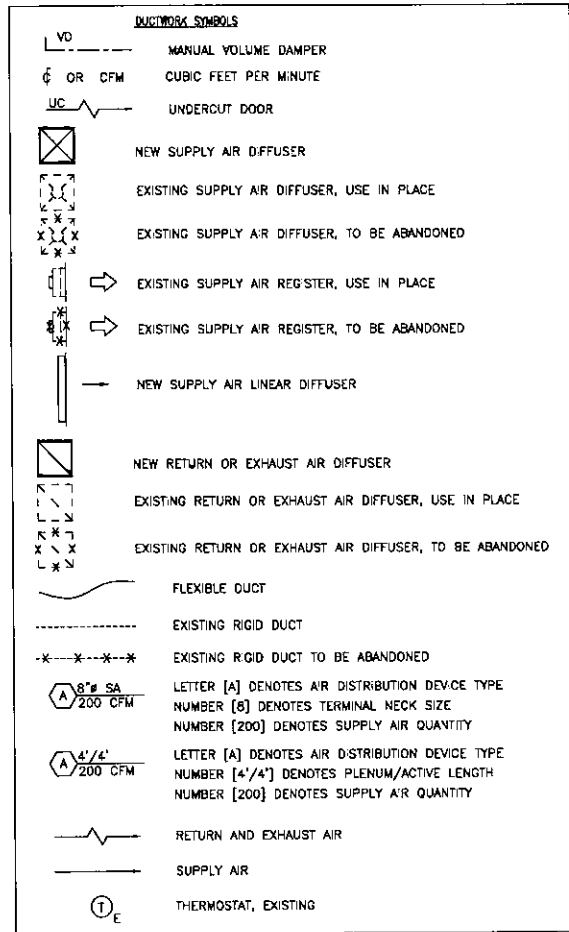
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SPLIT AC UNIT SCHEDULE		
UNIT DESIGNATION		AHU-5
AREA SERVED		ADDITION
LOCATION		A/C CLOSET
OPERATING WEIGHT, LBS		157
DESIGN MANUFACTURER		CARRIER
MODEL NUMBER		FX40N*037L
SEER / MIN.		16.0
FAN SECTION	TOTAL AIR, CFM	800
	VENT AIR, CFM	45
	EXTERNAL STATIC PRESSURE, IN. OF WATER	0.5
	FAN MOTOR HP. (NON-OVERLOAD)	1/2
	ELECTRICAL SERVICE AVAILABLE	230/1/60
CLG. COIL	MIN. CIRC. AMP	---
	MAX. CIRC. PROT.	---
	FACE VELOCITY - FPM	---
	DESIGN AIR ACROSS COIL, CFM	800
	GRAN TOTAL CAPACITY, BTU/HR	24,000
FILTER	TOTAL SENSIBLE CAPACITY, BTU/HR	18,000
	ENTERING AIR TEMP., F°DB/WS	89/67
	COIL MODEL NO.	---
HEATER	TYPE & THICKNESS	CLEANABLE 1"
	QUANTITY AND SIZE	1-21.5 X 19.875
	FACE VELOCITY FPM, MAX.	---
AIR COOLED CONDENSING UNIT	HEAT COIL TYPE	ELECT.
	ELECTRICAL SERVICE AVAILABLE	230/1/60
	AUXILIARY ELECTRIC HEAT, KW	4.9
	STAGES & KW PER STAGE	1/4.9
	UNIT DESIGNATION	CU-5
AIR COOLED CONDENSING UNIT	TYPE OF FAN	PROP.
	NO. OF FANS AND AMPS	1/0.70
	AMBIENT AIR TEMP. F° DB	95
	CONDENSING TEMP. F° DB	---
	NO. OF COMPRESSORS / TYPE	1/SCROLL
AIR COOLED CONDENSING UNIT	COMPRESSORS F.L.A./L.R.A. EACH	13.5/58.3
	CAPACITY REDUCTION	0-100%
	MIN. CIRC. AMP	17.6
	MAX. CIRC. PROT.	25
	ELECTRICAL SERVICE AVAILABLE	230/1/60
AIR COOLED CONDENSING UNIT	OPERATING WEIGHT, LBS	163
	DESIGN MANUFACTURER	CARRIER
	MODEL NUMBER	24AC0624A
AIR COOLED CONDENSING UNIT	REFRIGERANT PIPE SIZE, SUCTION/LIQUID	3/4" - 3/8"

NOTES: 1. ALL THERMOSTATS SHALL BE PROGRAMMABLE.
2. ALL FAN COIL UNITS SHALL BE PROVIDED WITH FACTORY INSTALLED CIRCUIT BREAKER.

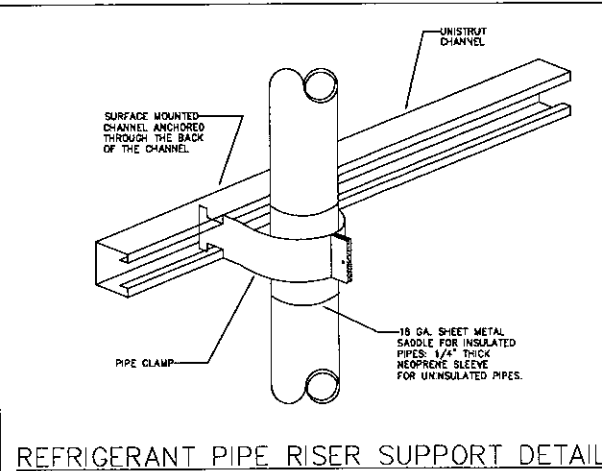
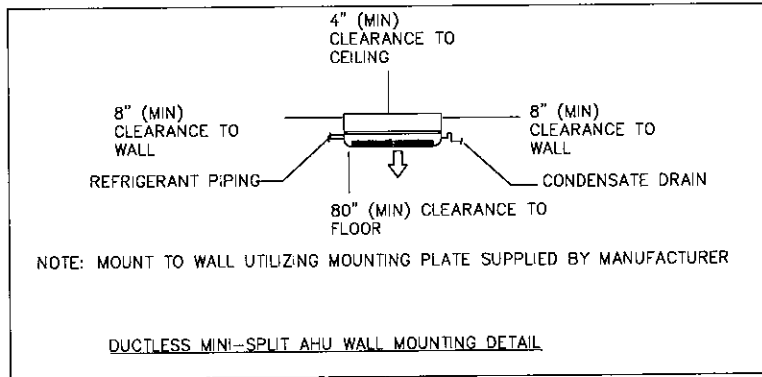
AIR DISTRIBUTION SCHEDULE				
SYMBOL	USE	TYPE	ACCESSORIES	MFG. & MODEL NO.
A	SUPPLY AIR	LINEAR DIFFUSER	O.B.D.	TITUS ML3B 2 SLOT
B	RETURN / TRANSFER AIR	LINEAR GRILLE	---	TITUS MLR3B 2 SLOT
C	RETURN / TRANSFER AIR	LINEAR GRILLE	---	TITUS MLR39 SLOT
D	SUPPLY AIR	CEILING DIFFUSER	O.B.D.	TITUS 250-AA
E	RETURN / TRANSFER AIR	CEILING/WALL GRILLE	---	TITUS 350F
F	EXHAUST / OUTDOOR AIR	WALL LOUVER	O.B.D.	RUSKIN ELF8375DXD

NOTE: ALL AIR DISTRIBUTION SHALL BE FINISHED WHITE BAKED ENAMEL.

HVAC DESIGN REQUIRES:	YES	NO
DUCT SMOKE DETECTOR	-	X
FIRE DAMPER(S)	-	X
SMOKE DAMPER(S)	-	X
FIRE RATED ENCLOSURE	-	X
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY	-	X
FIRE STOPPING	-	X
SMOKE CONTROL	-	X

HVAC GENERAL NOTES

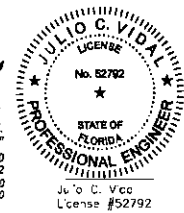
- GENERAL
 - ALL WORK SHALL BE DONE in accordance with the Florida Building Code and with all applicable regulations.
 - DRAWINGS: Refer to all drawings for coordination of the HVAC work.
 - ARRANGE AND PAY for all permits/licenses, inspections and tests. Obtain the required certificates and present to owner.
 - GUARANTEE: The completed installation shall be fully guaranteed against defective materials and/or improper workmanship for a minimum of one year for material and labor. All compressors shall be guaranteed for 5 years minimum.
- SHOP DRAWINGS: Contractors shall submit for approval, within 30 days after signing contract, a minimum of five copies of fully descriptive literature, including but not limited to: fans, air conditioning units, air outlets. No work shall proceed without approval of these submittals.
- DESIGN PARAMETERS:
 - Indoor design temperature (Summer): 78°F DB
 - Indoor design temperature (Winter): 70°F DB
- ALL THERMOSTATS SHALL have heating mode maximum setting of 75 F, and cooling mode minimum setting of 70 F. The thermostat shall be arranged to prevent the simultaneous operation of heating and cooling.
- ELECTRICAL CONTROLS AND POWER WIRING: Under electrical contract.
- EQUIPMENT SPECIFIED BY manufacturer's number shall include all accessories, controls, etc., listed in the catalog as standard with the equipment. Optional or additional accessories shall be furnished as specified.
- MATERIALS:
 - REFRIGERANT PIPING: Shall be type L soft drawn, copper tubing, dehydrated for refrigerant use. Sized as shown on drawings or as per air conditioning equipment manufacturer's recommendations.
 - INSULATION: Refrigerant suction piping shall be insulated with 3/4" thick foamed plastic insulation, fire retardant type. Insulation shall be installed in piping before assembly. No split insulation will be acceptable. Seal joints with manufacturer's approved adhesive and grey tape.
 - DUCTWORK:
 - All supply air ductwork shall be 1 1/2" thick fiberglass ductboard, fabricated and installed as per latest edition of SMACNA "Fibrous Glass Duct Manual". R-6.0 MIN.
 - All toilet & kitchen exhaust ductwork shall be galvanized sheet metal duct not lighter than 24 gage.
 - All duct dimensions are clear inside dimensions.
 - Flexible insulated ductwork with 1 1/2" thick fiberglass insulation with FRK vapor barrier. R-6.0 MIN.
- CONTROLS: Air conditioning units shall be started and stopped thru individual thermostat. Individual programmable thermostats shall start/stop supply fans and activate cooling/heating systems as selected.
- TEF-1 50 CFM at .1" TSP 1.5 zones max. Broan 670, provide BDD and service switch. 55 Watts at 120V-1-60.
- TEST AND BALANCE: Contractor shall test and balance all ventilation and air conditioning systems. Submit four copies of Test and Balance Report, to owner for approval.



HVAC SCHEDULES & DETAILS

SCALE: N.T.S.

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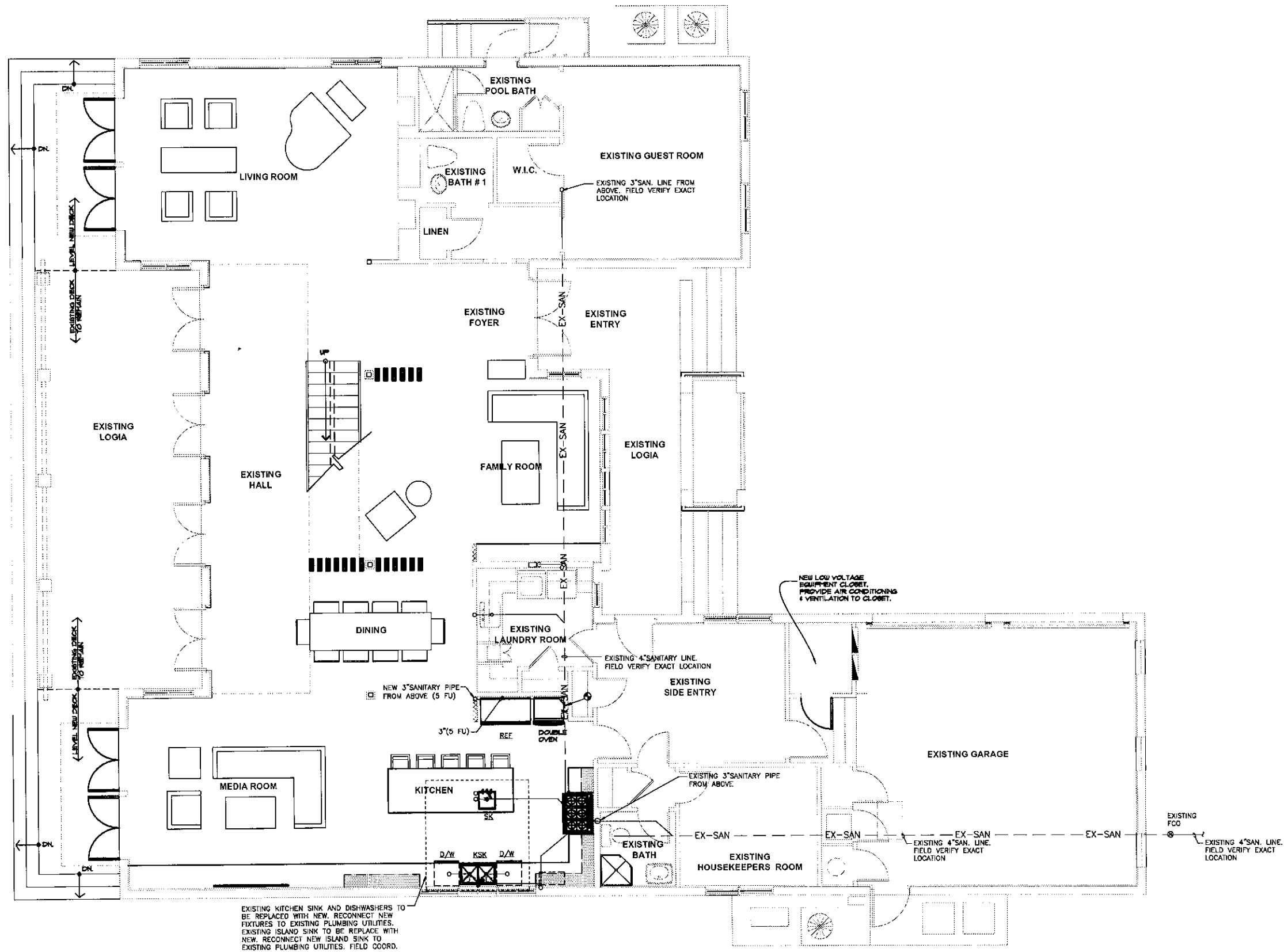


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BAY HARBOR RESIDENCE
9424 W BROADVIEW DR.
BAY HARBOR ISLANDS, FL 33154

comm no.
1725
date:
revised:

sheet no.
M-3



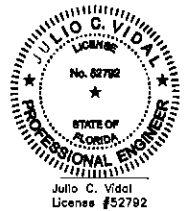
EXISTING KITCHEN SINK AND DISHWASHERS TO BE REPLACED WITH NEW. RECONNECT NEW FIXTURES TO EXISTING PLUMBING UTILITIES. EXISTING ISLAND SINK TO BE REPLACED WITH NEW. RECONNECT NEW ISLAND SINK TO EXISTING PLUMBING UTILITIES. FIELD COORD.



FIRST FLOOR PLAN - PLUMBING (SANITARY)

SCALE: 1/4"=1'-0"

LENI
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sheet no.

P-1

BAY HARBOR RESIDENCE
9424 W BROADVIEW DR.
BAY HARBOR ISLANDS, FL 33154

seal

comm no.
1725

date:

revised:

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EXISTING BATHROOM TO BE REMODELED. REMOVE ALL PLUMBING FIXTURES AND ALL PIPING ASSOCIATED WITH THESE FIXTURES EXCEPT MAIN 3" SANITARY LINE AND LAVATORIES CONNECTION AS SHOWN IN THIS SHEET. FIELD COORD.

EXISTING 1/2" CW & HW PIPES FROM BELOW

3/4" CW & HW PIPES FROM BELOW

3/4" CW & HW PIPES FROM BELOW

STEAM UNIT MR. STEAM MODEL MS SUPER 4E, 20 KW, 240 VOLTS IN ATTIC SPACE. ACCESS PANEL SHALL BE PROVIDED. FIELD COORD. FROM LOCATION.

NEW 1/2" CW PIPE FROM BELOW

NEW 1/2" CW PIPE FROM BELOW

1/2" STEAM PIPE FIELD COORD.

- NOTES:
- 1- ALL PLUMBING FIXTURES SHALL COMPLY WITH MIAMI WATER CONSERVATION REGULATION SECTION 8-31.
 - 2- PROVIDE CONTROL VALVES FOR EVERY INSTALLED FIXTURES AS PER FBCP 2903.9.3
 - 3- ALL WATER HEATER SHALL BE SET AT 110°F
 - 4- PROVIDE MIXING VALVE AT ALL BIDET, MIXING VALVE WATTS 1170 OR EQUAL. SET MIXING VALVE AT 110°F
 - 5- ALL SHOWER AND BATHTUB VALVES SHALL BE ANTI-SCALD/ PRESSURE BALANCING.

SECOND FLOOR PLAN - PLUMBING (WATER)
SCALE: 1/4" = 1' - 0"

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seal

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1725
date:

revised:

sheet no.
P-4

**TOWN OF BAY HARBOR ISLANDS
COMMUNITY DEVELOPMENT
MEMORANDUM**

To: Town of Bay Harbor Islands
Planning and Zoning Board

From: Michael J. Miller, AICP 
Town Planner
MMPA-Consultant Town Planner

Date: September 27th, 2017

Subject: Addition and Renovation to an Existing Single-Family Residence
9424 W. Broadview Drive
Bay Harbor Islands Acct. No.: MB20XX-XX
MMPA Acct. No.: 01-0702-1059

RECOMMENDED ACTION

MMPA recommends the Planning and Zoning Board review the contents of this staff report, the submitted site plan and architectural plans (dated 09/22/2017) and if felt to be acceptable, **APPROVE** the plans as submitted or with modifications as deemed appropriate and/or with conditions, to allow for the addition and renovation to an existing single-family house at 9424 W. Broadview Drive.

GENERAL PROJECT INFORMATION

Land Use Designation: L – Low Density Residential
Zoning District: RD Single-Family District
General Location: 9424 W. Broadview Drive
Legal Description: Lot 82 of Block 23, "Bay Harbor Island" according to the plat thereof, as recorded in Plat Book 46, at Page 5 of the Public records of Miami-Dade County.

PROJECT DESCRIPTION

The project architect, Choeff Levy Fischman Architecture and Design, as agent for the property owner, M/M Brett Reizen, has submitted an application for the addition and renovation to an existing single-family residence on a waterfront lot located at 9424 W. Broadview Drive. The proposed two-story home will have approximately 5,969 square feet of A/C living space with a two-car garage. The residence will have seven (7) bedrooms, seven (7) full bathrooms, one (1)

half bathrooms and a theater. The Town Code allows the top tie beam to be no more than 22' above BFE – the existing tie beam is 21' above BFE. The highest roof ridge is 31' above the existing slab (BFE)). The proposed addition will be 27' above BFE (roof ridge). The applicant is proposing an addition on the second floor of 754 sq. ft. over the existing garage. The addition will add a theater, a bedroom and a bathroom to the existing house. Extensive landscaping is proposed that meets the Miami-Dade County Landscape Code and Town Supplemental Landscape Code requirements, including the use of native and drought tolerant plant materials.

The Miami-Dade County Property Appraisers website lists the structure as being built in 2000. The single-family home will be a contemporary architectural design with a large stone accents.

PROJECT HISTORY

The applicant submitted an initial set and several revised sets of plans that were reviewed by MMPA for consistency with the Town Code requirements. Comments were given to the applicant each time and the current submitted plans are reflective of all requested changes.

COMPREHENSIVE PLAN / ZONING

Comprehensive Plan – The property has a Future Land Use Map (FLUM) designation of “Low Density Residential”. The maximum allowable base density is six (6) DUA. The proposed use and density of the property would be consistent with the applicable FLUM designation of the property.

Land Development Regulations / Zoning Code –The property has a Zoning Classification of RD Single Family Zoning District. The proposed use and density of the property is consistent with this zoning classification. The following Zoning and Planning sections of the Code apply to this proposal: Section 23-3 (Use Regulations RD Single-Family District), Section 23-9 (Minimum Size of Living Units), Section 23-10 (Minimum Size of Building Lot), Section 23-11(A) (Land Development Regulations RD Single-Family Area) and Section 23-12 (Land Development Regulations General Provisions). In addition, the Town has separate regulations for landscaping, driveways and building material regulations.

PLATTING

The site will not require re-platting, as the site is currently platted as described above under the legal description. If there is not already a Unity of Title for the site this is recommended, as the site is composed of portions of several lots.

SUMMARY / SITE PLAN COMMENTS

The current site plan and architectural plans submitted for the addition and renovation of an existing single-family house at 9424 W. Broadview Drive meet or exceed all Town Land Development and Landscape Code requirements. The applicant previously submitted plans that were reviewed and commented on by MMPA and all previous comments and issues have been addressed by the current plans.

**Town of Bay Harbor Islands
Planning and Zoning Board Staff Report
Additions and Renovations to an Existing Single-Family Residence
9424 West Broadview Drive
September 27th, 2017
Page 3**

It should be noted that the proposed plans show a pool cabana structure in the rear of the property. Per Section 23-12(15)(e)(iii), certain open, airy and decorative structures such as pool cabanas may project into the rear and side yard setback areas (or into the front and side yard setback areas of waterfront lots) to a point no closer than five feet from the lot line or the seawall for waterfront lots, subject to written approval by the Planning and Zoning Board. The applicant is requesting Planning and Zoning Board approval for the cabana structure per Sec. 23-12(15)(e)(iii).

The following conditions of approval are recommended:

- 1) This approval is based on the plans prepared by Choeff Levy Fischman Architecture and Design dated submitted electronically to MMPA on September 22nd, 2017 with any modifications required by the PZ Board. All modifications to the above plans shall be reviewed by Town staff and may require re-approval by the PZB if felt to be substantial.
- 2) The PZ Board finds the pool cabana structure design / location is acceptable.

AGENDA ITEM REPORT

October 3, 2017

ITEM NUMBER: 2.

ITEM: Approval of the minutes of the meeting held on April 5, 2017. Item #2A

DESCRIPTION:

RECOMMENDED ACTION:

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Martinez

ATTACHMENTS

1.	Minutes 4.5.2017	4-5-17 DRAFT.docx
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**TOWN OF BAY HARBOR ISLANDS
MINUTES OF A PLANNING AND ZONING MEETING**

A Planning & Zoning Board Meeting was held Tuesday April 5, 2017 at 7:00 p.m. in the Council Chambers. The meeting was opened with the Pledge of Allegiance. Upon roll call, the following Board Members responded:

Chair Steven Hurwitz	
Vice Chair Jerome Gavcovich	Board Member Alan Bebchik
Board Member Robert Saland	Board Member Oscar Sklar

QUASI-JUDICIAL PUBLIC HEARING

Town Attorney Simone swore in all individuals speaking at the Public Hearing.

Item 1. Request for approval for a new multi-family dwelling for “Capriccio” located at 9880-9900 W. Bay Harbor Drive, Lots 19-20 of Block 3. On February 21, 2017 the Board discussed but deferred action on the application and advised the applicant to make several changes. The applicant has attempted to address all of the P&Z requests. The developers are proposing to construct a thirty (30) dwelling unit mid rise residential development. The proposed units range from 1,540 to 2,474 sq. ft. of a/c space plus balconies. The proposed design incorporates one square shaped building positioned on top of a 12 foot tall (interior span) one-story parking garage. The proposed building is 7 stories in height (6 floors of residential over one floor of parking / common areas @ 65 feet above BFE. The developer will be required to obtain 12 Transfer of Development Rights (TDR). Enclosed please find the site plan and elevations.

Architect, Gustavo Ramos, 10305 NW 41 St, came forward and presented the revised project as requested by the Board. He explained the revised site plan that included the changes to the landscaping plan with a hedge to buffer the building; caddy service vehicle was added for the garbage; a handicap lift was added to access the terrace in the rear; the roof plan was revised so that the pool was leveled and a/c compressors were screened and the renderings were modified to show the lighter glass color. He also provided a 3-D rendering of the site plan that illustrated the proposed materials and vertical elements. He explained the proposed materials as glass railings, glass blocks, aluminum windows and stucco.

Board Member Frankel asked on how the boat slips would be sold or distribute. Architect Ramos clarified that the boat slips would sold to the unit owners only.

PUBLIC COMMENT

John Vetter, 10350 WBHD, came forward and was opposed to the proposed project. He felt that there was insufficient information on the lighting plan. He provided pictures of other developments that have issues with strong lighting. He urged the Board to ask for a lighting plan.

Frances Neuhut, 1060 Kane Concourse, came forward and stated the project had 62 parking spaces and 52 vertical parking lifts. She felt that the parking lifts needed approval from the Board.

CLOSED PUBLIC COMMENT

Town Planner Miller stated that the Town required a lighting plan be submitted for all new developments and suggested that the lighting ordinance be amended.

Town Clerk Siegel stated that staff has met and were mitigating with the Sereno Project to address their lighting system.

Architect, Ramos stated that the proposed project would have tinted glass and would choose a glass tone similar to what was shown on the rendering.

There was a brief discussion from the Board to make changes to the proposed materials; screen materials to the parking garage; FP&L transformer location; landscaping plan on the roof level; caddy service for the garbage; and the proposed materials for the front façade.

ACTION: Board Member Saland made a motion to approve the proposed project subject to the following conditions:

1. Subject to the conditions listed on staff report provided by the Town Planner Michael Miller.
2. No coconut palm shall be planted on the roof level; only palm trees that do not bear fruits may be planted.
3. The glass block materials feature on the east (front entrance) and west (rear) elevations shall be replaced with fritted glass.

Vice Chair Gavcovich seconded the motion and it passed on a 3-2 vote, with Board Members Bebachik and Frankel opposed.

CONCLUSION OF QUASI-JUDICIAL PUBLIC HEARING

Item 2. Request for approval for a new single family home for "1230 99 Street LLC" at 1230 99 Street, Lot 3 of Block 28. The owners are proposing to construct a two story single family residence on an interior lot. The home has approximately 5,248 square feet of living space with a two-car garage. The residence will have four (4) bedrooms, five (5) full bathrooms, One (1) half bath and an office. Enclosed please find the site plan, elevations and landscape plan.

Project representative, Matthew Shear, came forward and presented the proposed project. He explained that the owners were proposing to construct a single family home with concrete materials; clear lines; frameless glass and small roof top terrace.

PUBLIC COMMENT

Frances Neuhut, 1060 Kane Concourse, came forward and felt that the adjoining grade of the property lots were not equal and must be approved by the council.

CLOSED PUBLIC COMMENT

There was a brief discussion from the Board on the proposed retaining wall; neighboring property fence; property grade; proposed materials; windows; lighting; driveway material and rear ceiling.

Vice Chair Gavcovich made a motion to approve with the following conditions:

1. The height of the fence on the side property line to be a maximum of 6 feet, measure from the average grade level.
2. The retaining wall shall be extended a couple of inches from proposed grade elevation, so there is no water runoff from the rain.
3. The offset panel shall be porcelain material with no light as shown on the rendering.
4. Wood resista material shall be used on the fences, garage door and front entry door.
5. No water run-off from the roof level.

Board Member Bebachik seconded the motion and it passed 4-1, with Board Member Frankel opposed.

Item 3. Request for approval for renovations for "Scott Evan" located at 1231 101 Street, Lot 15 of Block 25. The owner is proposing to renovate the existing single family residence on an interior lot. The proposed home has approximately 3,272 of a/c living space. The applicant is proposing exterior façade changes, several exterior terraces, a gazebo, new driveway and a structure identified as a "portico" (design is essentially a carport / not a permitted use).

At this time Board Member Gavcovich recused himself for this item.

Architect, Ramiro Esteza, came forward and presented the project to the Board. He explained that the owner was proposing renovations to an existing single family residence that included a structure identified as a portico; outdoor kitchen; roof plan; trellis and gazebo.

Town Planner Michael Miller came forward and stated that the Town was objective to the proposed structure identified by the applicant as a portico. He explained that the Town Code does not allow

carports but did allow for portico. He felt that based on the renderings submitted by the applicant the proposed structure was a carport, which was not allowed by Code.

Town Attorney Simone clarified that the applicant proposed structure was not a portico because it was not connected to the front of the home. He explained that the intent of the Code was for the portico design to be mainly for circular driveway for cars to drive in and out of the driveway, as a drop off to the front door.

There was a detailed discussion on the applicant request for a structure identified as a portico; definition of a portico and carport; planters; staff objection of the proposed structure, as a carport and the owner request to move forward without the proposed structure identified as a portico.

PUBLIC COMMENT

Frances Neuhut, 1060 Kane Concourse, came forward and was opposed to the Board discussion on the proposed home. She felt that the home was projecting into the setbacks.

CLOSED PUBLIC COMMENT

ACTION: Board Member Bebchik made a motion to approve the proposed home renovations with the following conditions:

1. Additional landscaping to the eastern wall facing the street.
2. No carport on the plans.

Board Member Frankel seconded the motion and it passed unanimously.

Item 4. Approval of the minutes held on December 20, 2016.

ACTION: Board Member Bebchik made a motion to approve the proposed Minutes. Board Member Saland seconded the motion and it passed unanimously.

There being no further business to discuss meeting was adjourned at 9:57 a.m.

CHAIR

ATTEST

TOWN CLERK