

When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don't turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

TOWN OF BAY HARBOR ISLANDS PLANNING AND ZONING BOARD

September 5, 2017

FINAL AGENDA

CALL TO ORDER: Set for 7:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

1. Request for approval for an addition for a single family home for Rafael and Rebeca Kravec located at 9555 Broadview Terrace lot 7 of Block 31. The proposed addition and renovation of 1,037 sq. ft. will total 3,727 square feet of living space and a porch on the street side of the property. The residence will have four (4) bedrooms, four (4) full bathrooms, one (1) powder room and a playroom. Enclosed please find the site plan, elevations and landscape plan (Item 1A).

** Staff Review:* Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mrs. Ana Carolina Rocha.

2. Request for approval for an addition for a single family home for Dora Bay, LLC located at 1271 94 Street, Lots 13-14 of Block 32. In 2015 the Board approved plans for a new single family home on the subject property. The owners decided not to proceed with that project.. The owners are now proposing an addition and renovation to the existing single family home. The proposed addition and renovation will add 1,139 sq. ft. of new a/c floor area plus a 456 sq. ft. of garage totaling 4,809 square feet of living space. The residence will have five (5) bedrooms and six (6) full bathrooms. Enclosed please find the site plan, elevations and landscape plan (Item 2A).

** Staff Review:* Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mrs. Ana Carolina Rocha.

ADJOURNMENT

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AGENDA ITEM REPORT

September 5, 2017

ITEM NUMBER: 1.

ITEM: Request for approval for an addition for a single family home for Rafael and Rebeca Kravec located at 9555 Broadview Terrace lot 7 of Block 31. The proposed addition and renovation of 1,037 sq. ft. will total 3,727 square feet of living space and a porch on the street side of the property. The residence will have four (4) bedrooms, four (4) full bathrooms, one (1) powder room and a playroom. Enclosed please find the site plan, elevations and landscape plan (Item 1A).

DESCRIPTION:

RECOMMENDED ACTION:

Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mrs. Ana Carolina Rocha.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

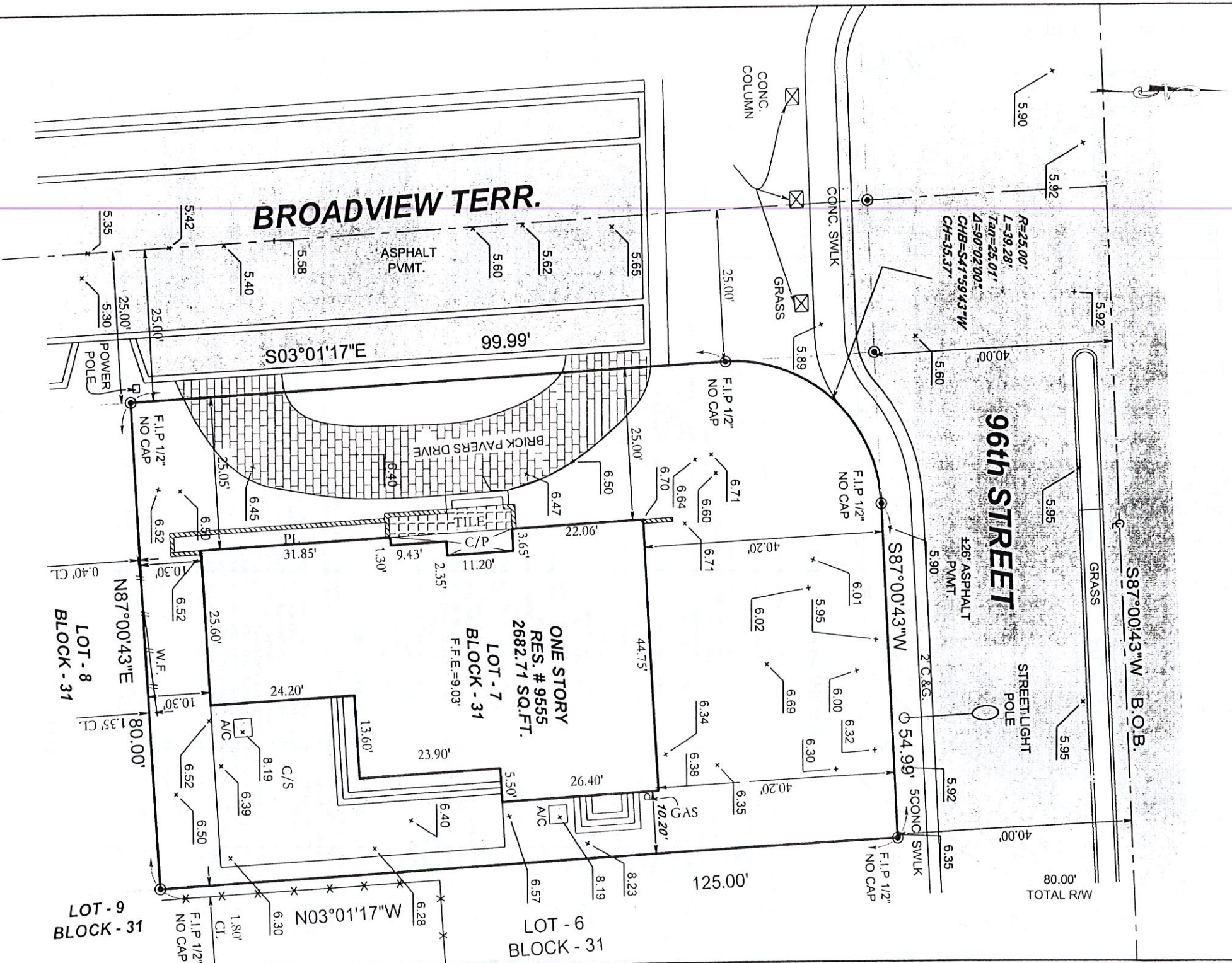
Submitted By: Ayanidys Martinez

ATTACHMENTS

1.	Survey	9555BRDVTERRSURVEY.pdf
2.	Site Plan and Elevations	9555BrdvTerr8.15.17.pdf
3.	Rendering	9555BVTRenderings.pdf
4.	Staff Report	9555 Staff Report Aug 4 2017.pdf

BOUNDARY SURVEY

SCALE = 1" = 20'



SURVEYOR'S NOTE:

- There may be Easements recorded in the Public Records not shown on this Survey.



1 LOCATION PLAN

1. WORK PERFORMED SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2014, (INCLUDING SECTION 515: ACCESSIBILITY BY HANDICAPPED PERSONS), ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, NATIONAL.
2. THE GENERAL NOTES AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL CONDITIONS IN CASE OF CONFLICT.
3. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THE GENERAL NOTES AND DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERABLE FROM THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.
5. TURNKEY FINISHED SPACE TO THE OWNER ANY AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE OWNER'S ARCHITECT PRIOR TO COMMENCEMENT. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.
6. ALL PERMITS, INSPECTIONS, AND APPROVALS, SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR FOR ALL DISCIPLINES OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF INSPECTIONS.
7. ALL COMPLETED WORK SHALL BE PROTECTED AT ALL TIMES AS THE CONTRACTOR IS RESPONSIBLE FOR THE FULL REPLACEMENT COST OF ALL DAMAGED WORK CAUSED BY HIS OPERATIONS. CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY.
8. BEFORE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER'S CURRENT INSURANCE CERTIFICATION FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THE CONTRACTOR SHALL INDEMNIFY THE LANDLORD, OWNER, AND ARCHITECT FOR ANT AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF WORK OF THE CONTRACTOR.
9. ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOG IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, MATCHING AND ALIGNING ALL SURFACED WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT OR REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES. ALL ADJACENT SURFACES SHALL BE LEFT AS THEY APPEAR PRIOR TO COMMENCEMENT OR REFINISHED AS REQUIRED TO LIKE-NEW CONDITION.
10. THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIAL INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COSTS TO THE OWNER SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED AND THE SPACE CAN BE USED FOR WHAT IS INTENDED (EXCLUDING PUNCH LIST ITEMS).
11. ALL WORK AND/OR MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OR STANDARDS.
12. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.
13. SURVEYOR TO LAY OUT ADDITION TO CONFIRM CONFORMANCE WITH SETBACKS BEFORE CONSTRUCTION STARTS.

2 GENERAL NOTES

SITE CALCULATIONS:

TOTAL SITE AREA: 9,864 SF. OR 22 NET ACRES

IMPERVIOUS AREA	EXISTING	PROPOSED	TOTAL
BUILDING FOOTPRINT AREA	2,690 SF.	1,031 SF.	3,721 SF.
CONCRETE ENTRY	142 SF.	-	142 SF.
DRIVEWAY	910 SF.	910 SF.	910 SF.
CONC. STAIRS	-	146 SF.	146 SF.
CONC. PAVERS	-	444 SF.	444 SF.
TOTAL AREA			5,369 SF.

TOTAL IMPERVIOUS AREA: 5,369 SF. (54.4%)
TOTAL PERVIOUS AREA: 4,495 SF. (45.6%)

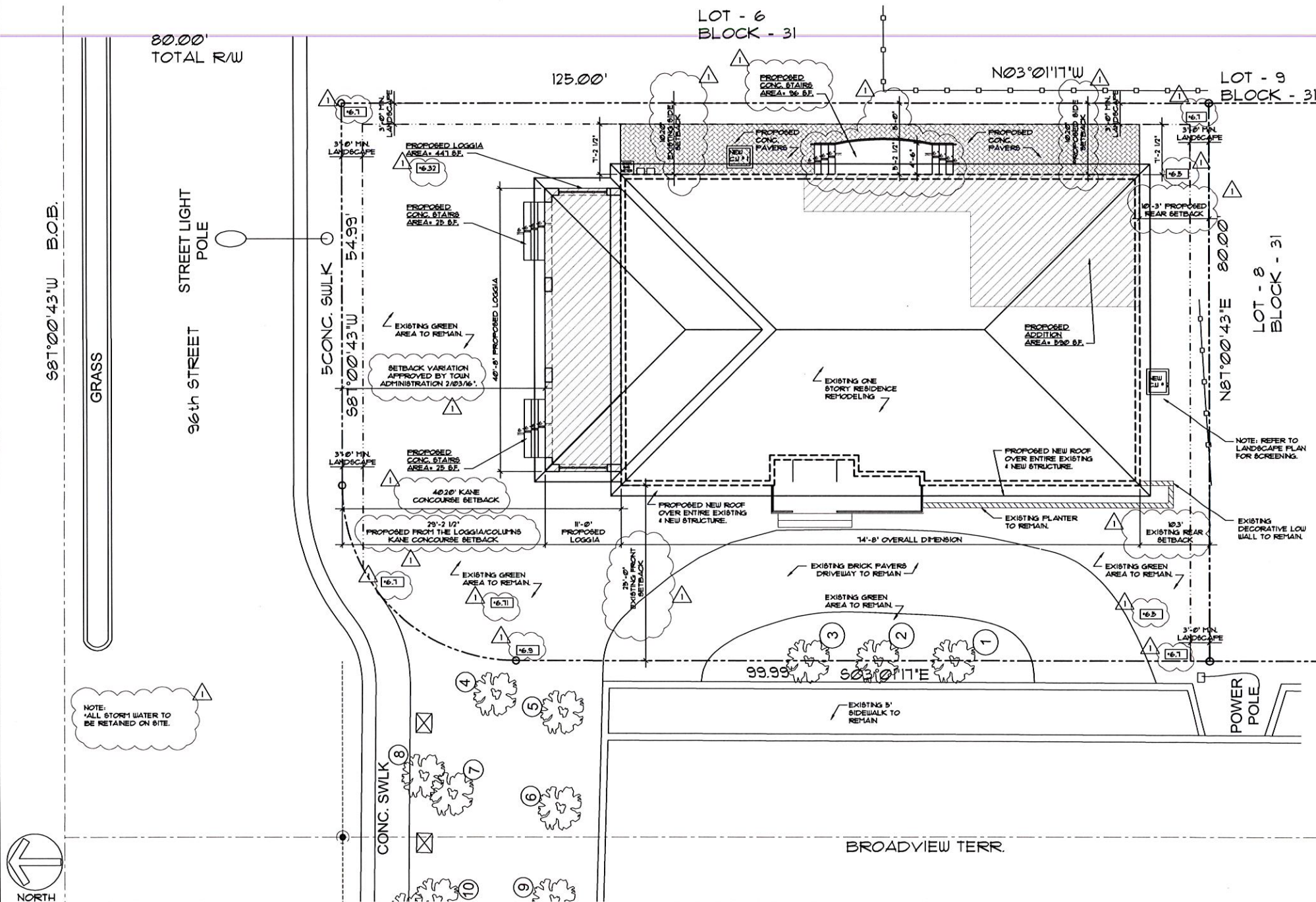
BUILDING CALCULATION

	EXISTING	PROPOSED	TOTAL
1ST. FLOOR LIVING AREA	2,690 SF.	590 SF.	3,280 SF.
LOGGIA		441 SF.	441 SF.
TOTAL GROSS SF.			3,721 SF.

ZONING DISTRICT-RD SINGLE FAMILY RESIDENTIAL DISTRICT

SETBACK	REQ.	PROVIDED
THE WESTERN FRONT	25'	25.00'
KANE CONCOURSE	10'	40.20'
FROM THE LOGGIA/COLUMNS	10'	29'-2 1/2'
THE EASTERN 'SIDE'	10'	10.20'
THE SOUTHERN 'REAR'	10'	10.30'

3 SITE DATA



4 SITE PLAN

SCALE: 1/8" = 1'-0"



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06/13/17 RESPONSE TO COMMENTS	CC

PROPOSED RESIDENCE FOR:
GOLDENBERG
9555 BROADVIEW TERRACE
BAY HARBOR, FLORIDA

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC
CHECKED	LLR
DATE	05/11/17
SCALE	AS NOTED
JOB NO.	011-010
SHEET	

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OF SHEETS

- 1) THE WORK SHALL INCLUDE THE FURNISHING OF ALL MATERIALS, CUTTING, EXTENDING, CONNECTING, REPAIRING, ADAPTING, AND OTHER WORK COINCIDENTAL HERETO, TOGETHER WITH SUCH TEMPORARY INSTALLATIONS AS MAY BE NECESSARY TO SATISFY THE DEMOLITION PROGRAM. APPROVAL SHALL BE SECURED FROM THE OWNER PRIOR TO CUTTING/DRILLING OF ANY STRUCTURAL SUPPORT.
- 2) ALL BUILDING CONSTRUCTION AFFECTED BY THE REMOVAL, RELOCATION, INSTALLATION OF ANY PIECE OF EQUIPMENT SHALL BE REPAIRED AND FINISHED AS REQUIRED TO MATCH EXISTING CONDITION OR AS DIRECTED BY THE ARCHITECTURAL DRAWINGS, SPECIFICATIONS, OR OWNER'S REPRESENTATIVE.
- 3) CONTRACTOR SHALL DEMOLISH ANY INTERIOR FINISHES TO COMPLETE THE NECESSARY AND PROPOSED WORK AS DIRECTED BY THE ARCHITECTURAL DRAWINGS, INTERIOR DESIGN DRAWINGS, SPECIFICATIONS, OR BY OWNER REPRESENTATIVE.
- 4) EXISTING FIXTURES, EQUIPMENT, AND ALL DEBRIS WHICH ARE REQUIRED TO BE REMOVED SHALL BE REMOVED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE WITH OWNER REPRESENTATIVE PRIOR TO REMOVAL OF SUCH.
- 5) ALL ELECTRICAL AND PLUMBING LINES WHICH REQUIRE REMOVAL OR ALTERATION ARE TO BE DONE SO BY THE CONTRACTOR. LINES TO BE CAPPED AND PREPARED FOR REMOVAL OR REROUTING AS SPECIFIED ON THE PLANS.
- 6) REMOVE ALL UTILITIES IN DEMOLITION AREAS AND CONSTRUCTION AREAS IN A MANNER, AND IN THE TIME, SATISFACTORY TO THE UTILITY COMPANY DESIRED TO EFFECT THE REMOVAL OF THE MATERIALS, THEY SHALL BE PERMITTED TO DO SO.
- 7) COVER ITEMS AS SPECIFIED BY OWNER REPRESENTATIVE TO PROTECT FROM DUST AND DEBRIS.
- 8) SALVAGED MATERIALS SHALL BE REMOVED, CLEANED, AND PREPARED FOR RE-INSTALLATION. OWNER MAINTAINS OWNERSHIP OF ALL MATERIALS UNLESS OTHERWISE SPECIFIED.
- 9) WHERE EXISTING WALLS, CEILINGS, AND FIXTURES HAVE BEEN REMOVED, AREAS SHALL BE PATCHED TO MATCH EXISTING FINISHES, OR FINISHES TO BE ADDED AS PER PLANS, OR AS PER OWNER'S REP.
- 10) WHERE EXISTING WORK IS DAMAGED IN THE EXECUTION OF THIS CONTRACT, OR WHERE OPENINGS ARE LEFT DUE TO THE REMOVAL OF PIPES, EQUIPMENT OR APPARATUS, THE SAME SHALL BE REPAIRED OR CLOSED UP TO CORRESPOND IN MATERIAL, QUALITY, SHAPE AND FINISH WITH THAT OF SIMILAR AND ADJOINING WORK, UNLESS OTHERWISE CALLED FOR. WHERE DAMAGE IS UNREPAIRABLE, NEW ITEMS OR EQUIPMENT SHALL BE PROVIDED. CONTRACTOR SHALL PROVIDE ALL NECESSARY WATERPROOFING, FIRE STOPPING AND SEALING OF PENETRATIONS LEFT FROM REMOVED EQUIPMENT OR PRODUCED BY THIS WORK.
- 11) INTERRUPTION OF EXISTING SERVICES AND/OR OPERATION OF FACILITIES SHALL BE KEPT TO A MINIMUM. CONTRACTOR SHALL FURNISH ALL MATERIALS REQUIRED WHENEVER TEMPORARY CONNECTIONS ARE NECESSARY TO MAINTAIN CONTINUITY OF SERVICE. INTERRUPTION OF EXISTING SERVICES, THE INSTALLATION OF TEMPORARY FACILITIES, AND THE WORK OF MAKING FINAL CONNECTIONS TO THE NEW WORK SHALL BE DONE ONLY AT SUCH TIMES PERMITTED AND SCHEDULED IN ADVANCE BY THE ARCHITECT/OWNER WITHOUT ADDITIONAL COST. CARE MUST BE USED IN REMOVING SERVICES TO AREAS BEING DEMOLISHED SO THAT SERVICES TO OTHER AREAS WHICH MIGHT BE SERVED THROUGH THESE AREAS WILL NOT BE INTERRUPTED.

1 DEMOLITION NOTES

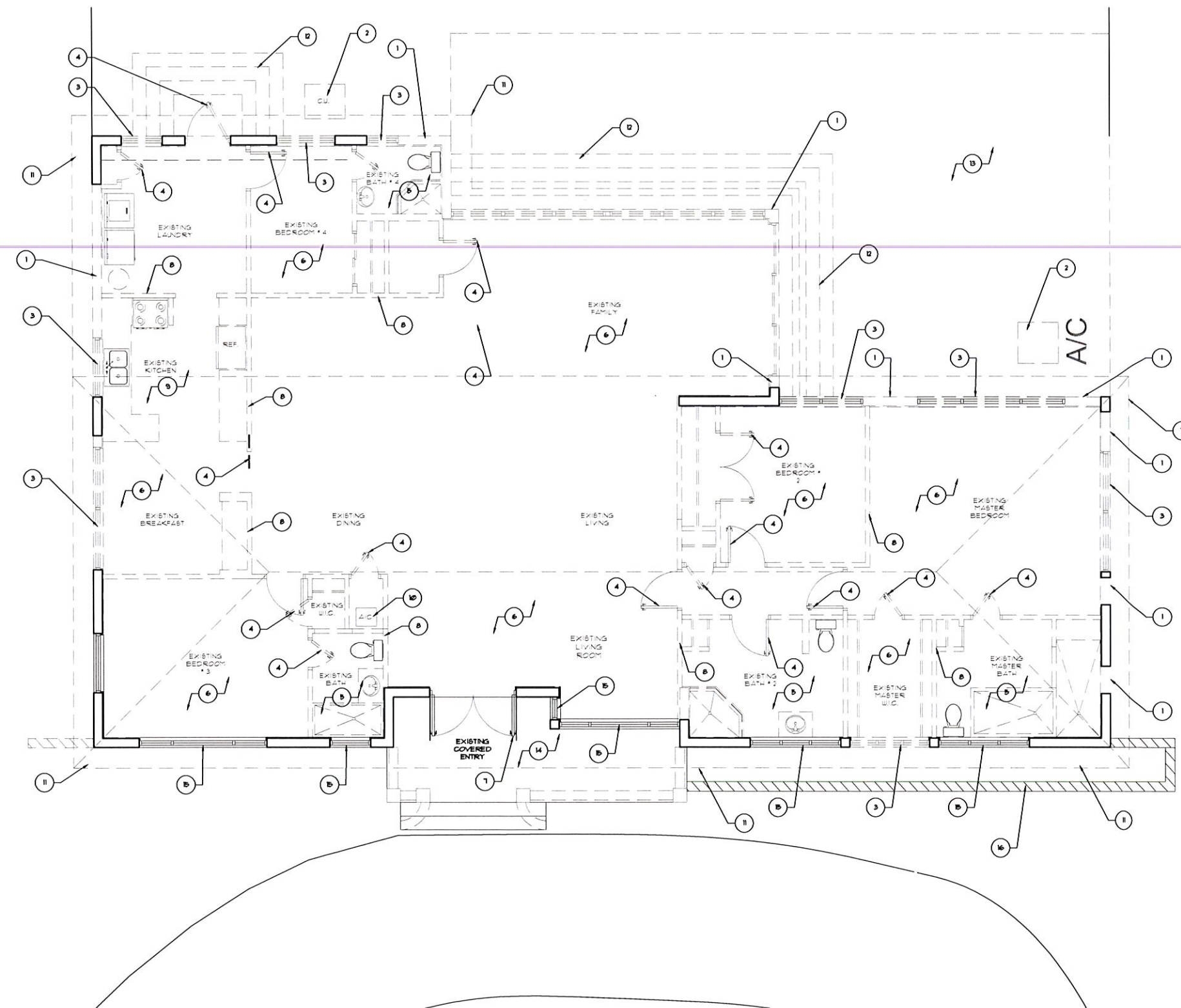
- LEGEND:
- 1) EXISTING EXTERIOR WALL TO BE REMOVED.
- 2) EXISTING C.U. TO BE REMOVED.
- 3) EXISTING WINDOW TO BE REMOVED.
- 4) EXISTING DOOR TO BE REMOVED.
- 5) EXISTING BATHROOM FIXTURES TO BE REMOVED.
- 6) EXISTING FLOORING & BASEBOARDS TO BE REMOVED.
- 7) EXISTING DOOR TO REMAIN.
- 8) EXISTING INTERIOR PARTITION TO BE REMOVED.
- 9) EXISTING KITCHEN FIXTURES, CABINETS & APPLIANCES TO BE REMOVED.
- 10) EXISTING A/C TO BE RELOCATED.
- 11) EXISTING TRUSSES/ROOF & ROOF TILE TO BE REMOVED.
- 12) EXISTING CONC. STEPS TO BE REMOVED.
- 13) EXISTING CONC. SLAB TO BE REMOVED.
- 14) EXISTING CONCRETE SLAB TO REMAIN.
- 15) EXISTING WINDOW TO REMAIN.
- 16) EXISTING PLANTER TO REMAIN.

2 DEMOLITION LEGEND



3 DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



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LUIS LA ROSA

DRAWN	C.C.
CHECKED	LLR
DATE	05/11/11
SCALE	AS NOTED
JOB. NO.	017-010
SHEET	

D = 1.1
OF SHEETS

DOOR SCHEDULE									
MARK	QTY.	SIZE	TYPE	MATERIAL	JAMB	HOUR	REMARKS	SHGC	V-VALVE
1	-	6'-0" x 8'-0"	SWING	GLASS	MTL	-	EXTERIOR DOOR 3'-0" x 8'-0" SIDELITES	-	-
2	-	(2) 2'-6" x 8'-0"	SWING	WOOD	WOOD	-	1 3/4" S.C. WOOD DOOR	-	-
3	-	2'-6" x 8'-0"	SWING	WOOD	WOOD	-	1 3/4" S.C. WOOD DOOR	-	-
4	-	3'-0" x 8'-0"	SWING	WOOD	WOOD	-	1 3/4" S.C. WOOD DOOR	-	-
5	-	3'-0" x 8'-0"	POCKET	WOOD	WOOD	-	1 3/4" S.C. WOOD DOOR	-	-
6	-	(2) 6'-0" x 8'-0"	SLIDER	GLASS	MTL	-	EXTERIOR DOOR	-	-
7	-	2'-0" x 8'-0"	SWING	-	-	-	SHOWER	-	-
8	-	2'-0" x 8'-0"	SWING	GLASS	-	-	SHOWER	-	-
9	-	(2) 2'-0" x 8'-0"	SLIDER	WOOD	WOOD	-	INTERIOR DOOR	-	-

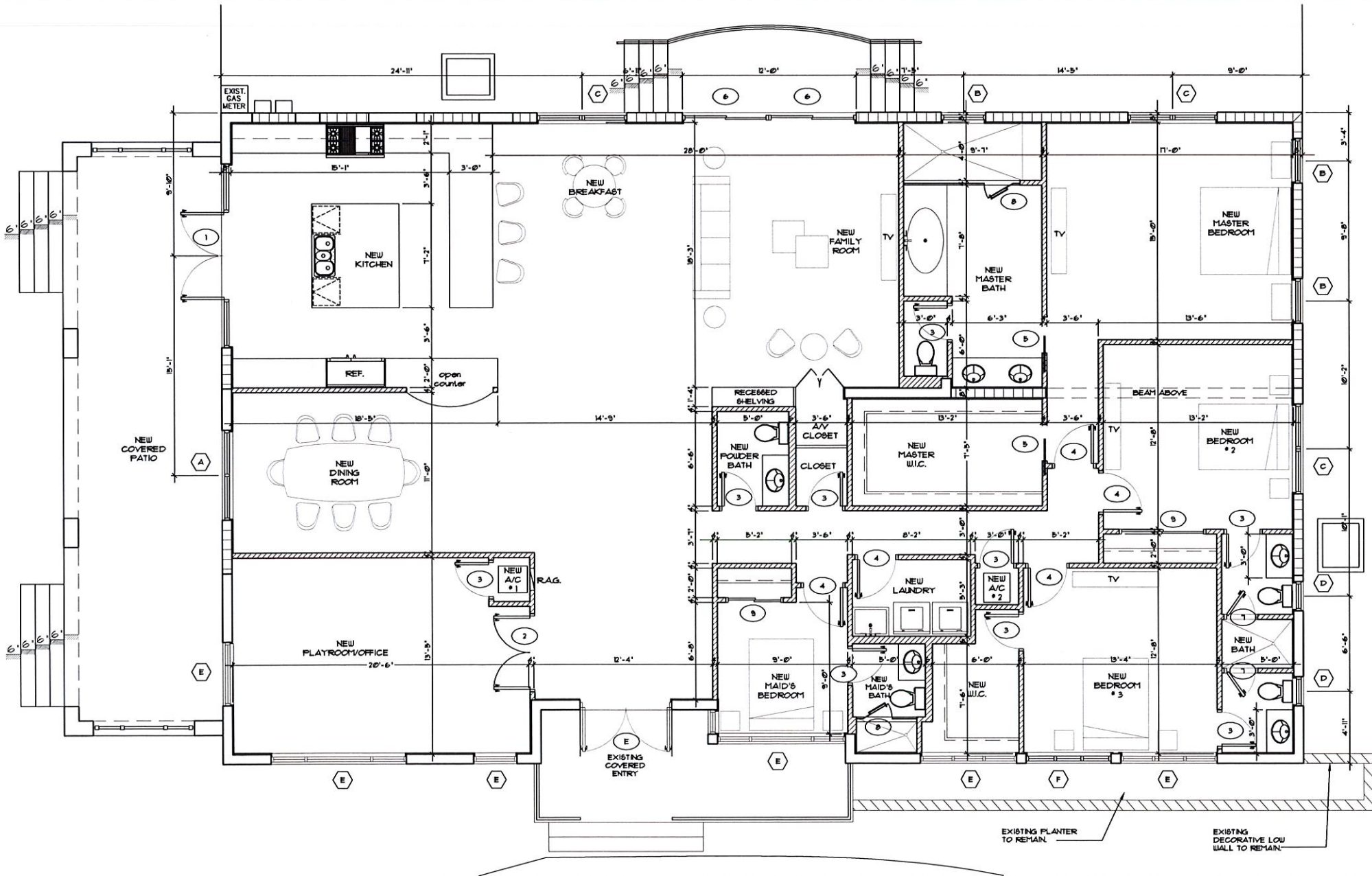
1) SOLID RABBETED JAMBS FROM 2 X 4 SELF CLOSER.
2) ALL SWINGING GLASS DOORS, SLIDING GLASS DOORS, SIDELITES & SHOWER ENCLOSURES WITHIN 6" AFF. OF TUBS & SHOWER SHALL HAVE CATEGORY 2 SAFETY GLAZING, AS PER F.B.C. 2413 & 2425.21 (1) & (2).
3) EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET AS PER 21-2.4.3
4) EVERY BATHROOM DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM THE OUTSIDE DURING AN EMERGENCY WHEN LOCKED.
5) CONTRACTOR TO FIELD VERIFY ALL INTERIOR DOOR OPENINGS AND DIMENSIONS PRIOR TO INSTALLATION OF DOORS AND IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY ARCHITECT SO OPENING DIMENSIONS MAY BE ADJUSTED.

WINDOW SCHEDULE												
MARK	QTY.	SIZE	TYPE	FRAME		GLAZING		REMARKS	ROUGH OPENING	SHGC	U-VALUE	HEAD HEIGHT AFF.
				MATERIAL	FINISH	GLASS	IMPACT					
(A)	-	12' X 60'	FIXED	ALUM.	ALUM.	TINT	YES	IMPACT	AS PER MANUF.	0.25	0.65	-
(B)	-	31' X 50 1/2'	H/S	ALUM.	ALUM.	TINT	YES	IMPACT	AS PER MANUF.	0.25	0.65	-
(C)	-	231' X 50 1/2'	H/S	ALUM.	ALUM.	TINT	YES	IMPACT	AS PER MANUF.	0.25	0.65	-
(D)	-	24' X 31'	H/S	ALUM.	ALUM.	TINT	YES	IMPACT	AS PER MANUF.	0.25	0.65	-
(E)	EXISTING WINDOW TO REMAIN											
(F)		SEE 3/A-U	H/S FIXED	ALUM.	ALUM.	TINT	YES	IMPACT	AS PER MANUF.	0.25	0.65	-

- NOTE:
1. ALL WINDOWS TO HAVE TINTED GLAZING.
 2. REFER TO ELEVATIONS FOR WIND PRESSURES. TYP.
 3. ALL OPENINGS AND DIMENSIONS TO BE FIELD VERIFIED BY CONTRACTOR WITH WINDOW MANUFACTURER PRIOR TO CONSTRUCTION. ADJUST OPENING DIMENSIONS FOR WINDOW MANUFACTURER, TYP.
 4. ALL EGRESS WINDOW SIZES AND DIMENSIONS TO BE VERIFIED WITH WINDOW MANUFACTURER EACH MANUFACTURER HAS THEIR OWN SPECIFIC WAY OF MEETING THE MINIMUM SIZE REQUIREMENTS WHICH MIGHT CHANGE THE WINDOW DIMENSIONS SHOWN, TYP.
 5. SHUTTERS NOT REQUIRED SINCE ALL EXTERIOR GLASS TO BE IMPACT RESISTANT, TYP.
 6. ALL EXISTING WINDOWS AND DOORS ARE IMPACT RESISTANT

1 DOOR SCHEDULE
SCALE: N.T.S.

2 WINDOW SCHEDULE
SCALE: N.T.S.



3 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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SEAL: AR 0017852
LUIS LA ROSA

DRAWN: C.C.

CHECKED: L.L.R.

DATE: 05/11/11

SCALE: AS NOTED

JOB. NO.: 011-010

SHEET

A-1.1

OF SHEETS



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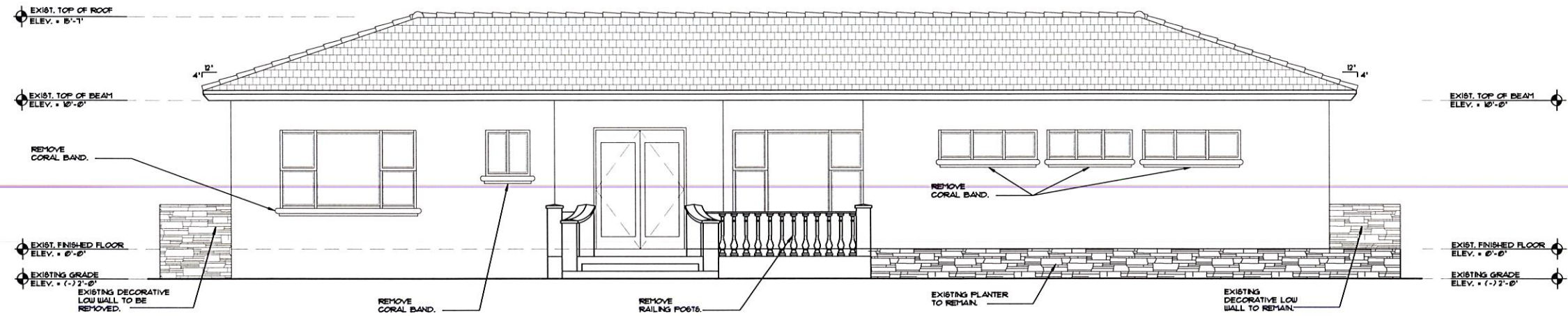
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A-2.1
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1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



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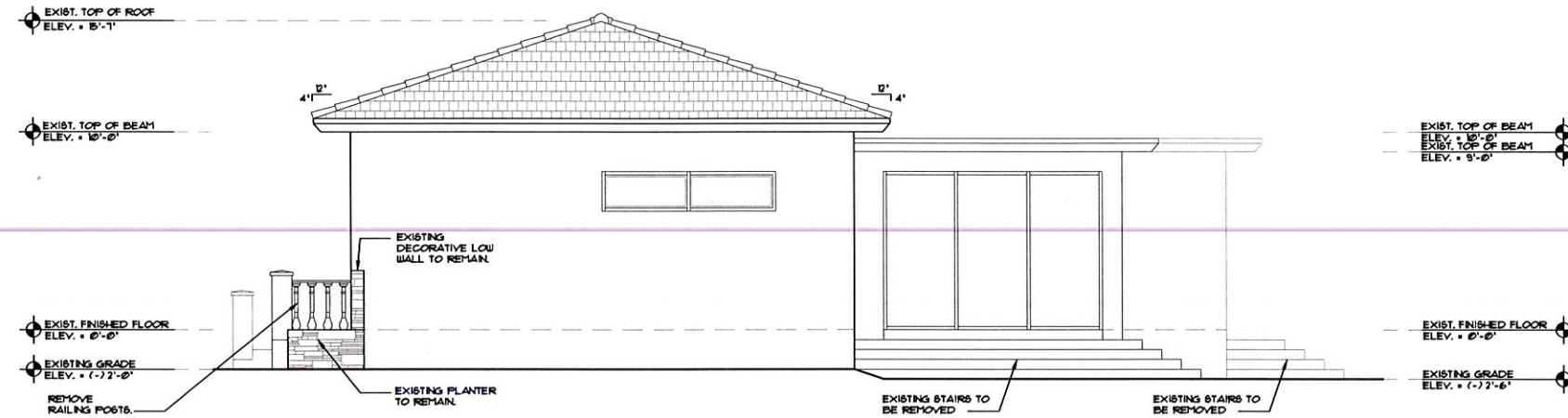
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06/29/17 RESPONSE TO COMMENTS	CC

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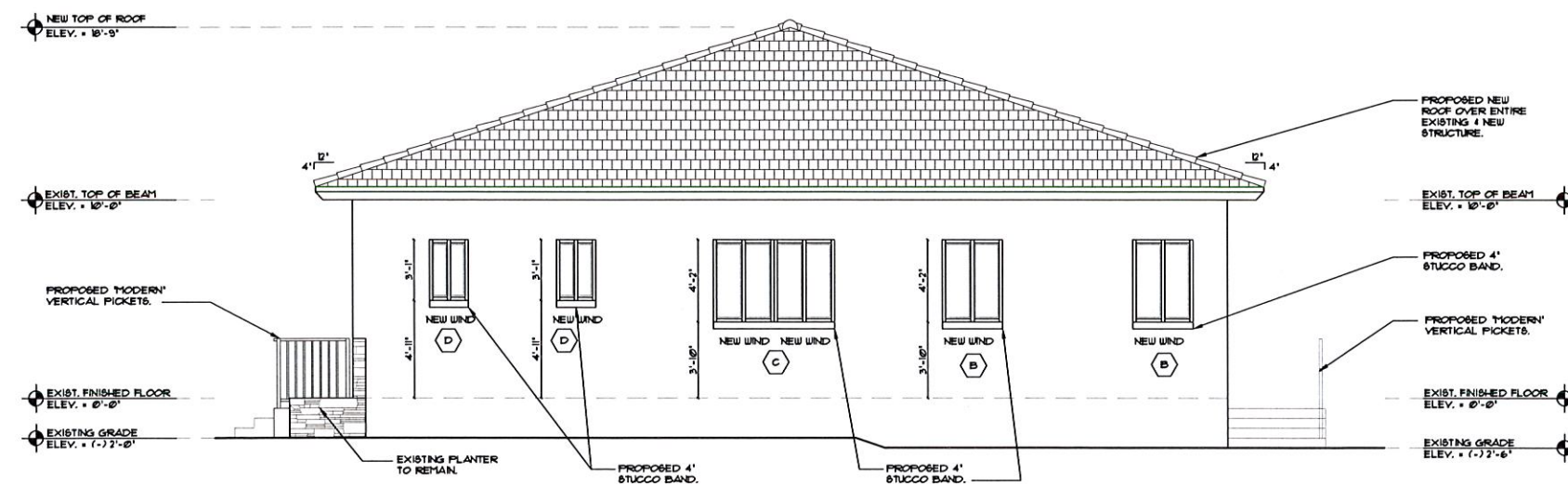
SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC
CHECKED	LLR
DATE	05/17/17
SCALE	AS NOTED
JOB. NO.	071-018
SHEET	

A-2.2
OF SHEETS



1 EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



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06/29/11 RESPONSE TO COMMENTS	C.C.

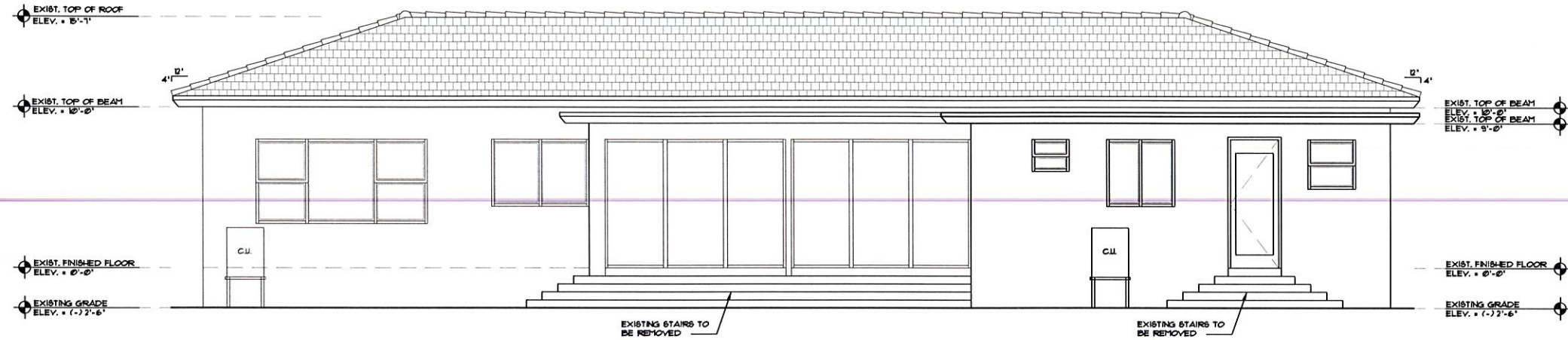
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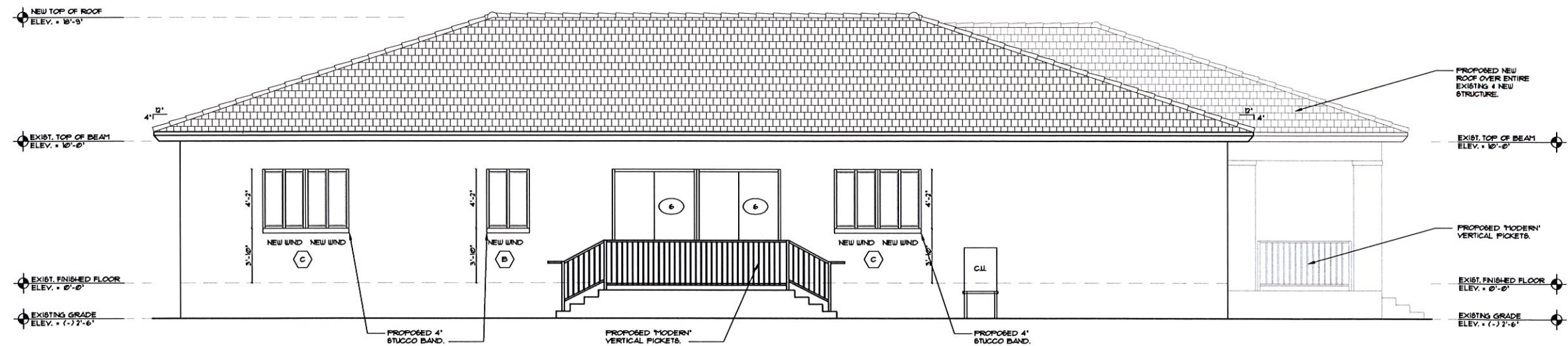
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DATE	05/17/11
SCALE	AS NOTED
JOB. NO.	071-018
SHEET	

A-2.3

OF SHEETS



1 EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"



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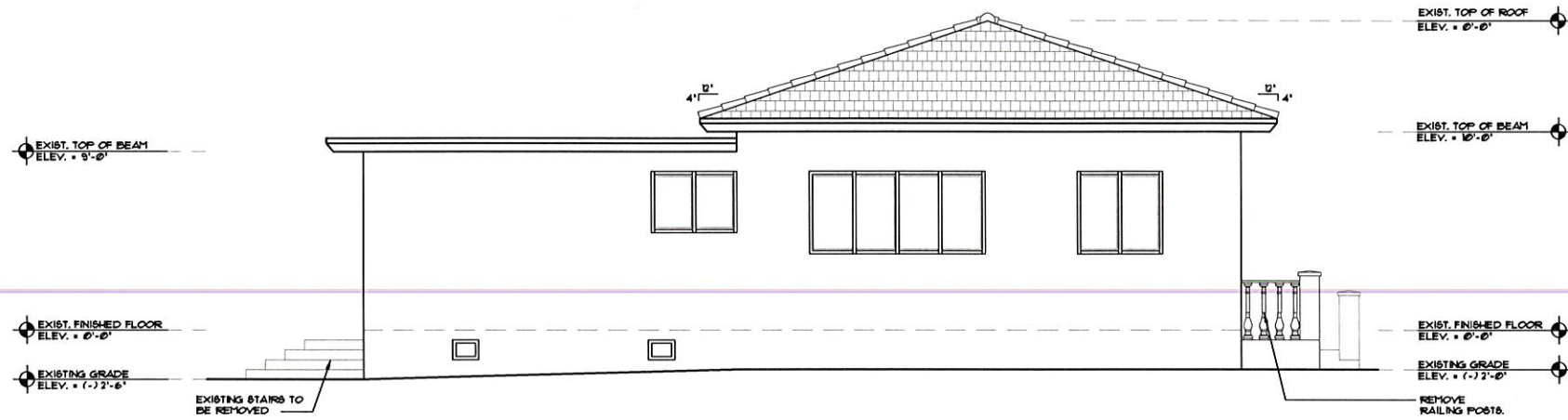
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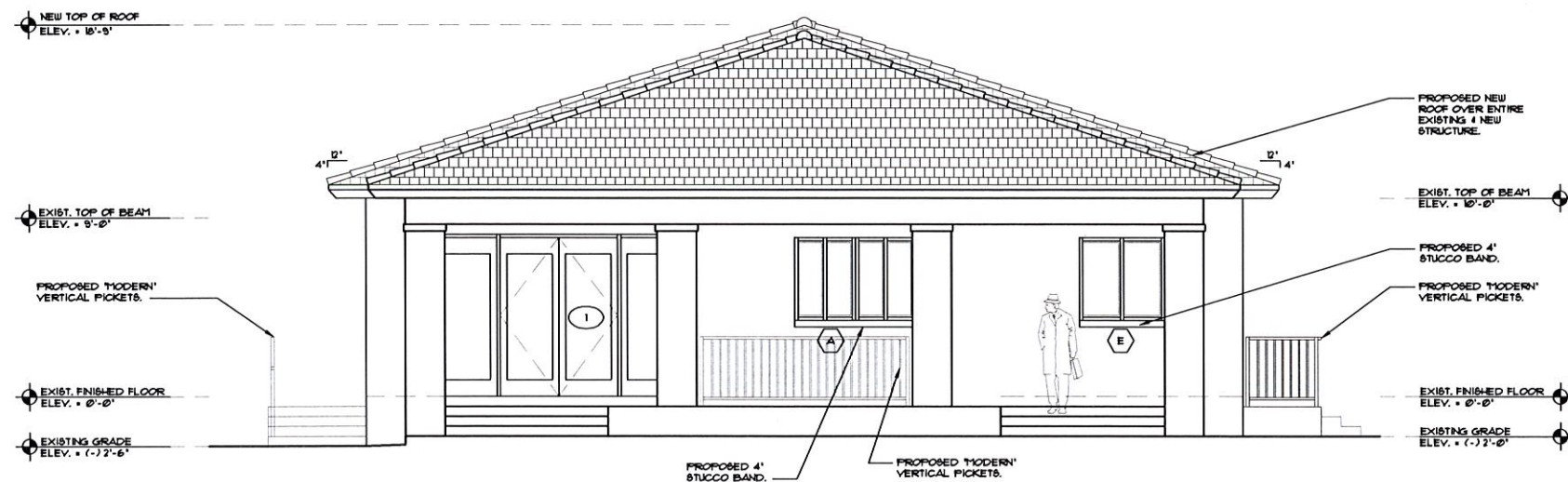
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SHEET	

A-2.4

OF SHEETS



1 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

SYMBOL

EXISTING SHRUBS TO REMAIN

EXISTING PALM TO REMAIN

EXISTING TREE ON ADJ. PROPERTY TO REMAIN

# EXISTING TREE INVENTORY LIST			
TREE NO. COMMON NAME	SIZE (DBH. HT. X SPR.)	COND.	DISPOSITION
1-3. CANARY DATE PALM	4' CT.	GOOD	REMAIN
NO TREES/PALMS SHALL BE REMOVED WITHOUT THE A TREE REMOVAL PERMIT ISSUED BY THE CITY OF FT. LAUDERDALE			

MASTER PLANT LIST			
KEY	PLANT NAME	SPECIFICATION	QUANTITY
AP12	PTYCHOSPERMA ELEGANS ALEXANDRA PALM	12'-14" OA. 3" DBH. 6' GW MIN. MATCHED HTS. B&B HIGH DROUGHT TOLERANCE	3
CES12	CONOCARPUS ERECTA SEROTINUS SILVER BUTTWOOD TREE	12'-14" X 5' SPR. SINGLE TRUNK. 2.5" DBH. MIN. 5' CT. NATIVE HIGH DROUGHT TOLERANCE	2
LI12	LAGERSTROEMIA INDICA CREPE MYRTLE 'TUSKEGEE'	12' X 6' SPR. 2.5" DBH. 5' CT. B&B SINGLE TRUNK. HIGH DROUGHT TOLERANCE	3
MG12	MAGNOLIA GRANDIFLORA 'LIL GEM'	12' X 5' SPR. 2.5" DBH. 4.5' CT. NATIVE HIGH DROUGHT TOLERANCE	1

KEY	PLANT NAME	SPECIFICATION	QUANTITY
AGV7	AGAVE SPP. FALSE AGAVE	7 GAL. SPECIMEN HIGH DROUGHT TOLERANCE	2
BROM7	BROMELIADS AECHMEA BLANCHETIANA ORANGE	7 GAL. SPECIMEN SUN GROWN HIGH DROUGHT TOLERANCE	3
CAS3	CRINUM ASIATICUM CRINUM LILLY, QUEEN EMMA PURPLE	36" X 30" O.A. 5 PFP MIN. HIGH DROUGHT TOLERANCE	1
CIR7	CHRYSOBALANUS ICACO COCOPLUM HEDGE	36" X 24" SPR. 24" O.C. FULL TO GROUND, NATIVE HIGH DROUGHT TOLERANCE	4
DV1	DIETES IRIODIDES AFRICAN IRIS	12" FULL TO POT 18" O.C. HIGH DROUGHT TOLERANCE	20
JPA3	JUNIPERUS PARSONII PARSONS JUNIPER GROUND COVER	12" HT. X 15" SPR. MIN. 18" O.C. HIGH DROUGHT TOLERANCE	35
PM7	PODOCARPUS MACROPHYLLA YEW PODOCARPUS	36" X 24" SPR. 24" O.C. HIGH DROUGHT TOLERANCE	28
PTV3	PITTOSPORUM T. VARIEGATA VAR. PITT	24" X 20" SPR. MIN. 7 GAL. MEDIUM DROUGHT TOLERANCE	37
SOD	ST. AUGUSTINE FLORITAM ADD AND REPLACE AS NEEDED	CONTRACTOR TO VERIFY QTY FOR AREAS MISSING OR IN POOR CONDITION	

CONTRACTOR SHALL DO TAKE OFF FROM PLANS. PLANS SHALL TAKE PRECEDENCE OVER PLANT LIST IF A DISCREPENCY OCCURS.

DROUGHT TOLERANCE IS NOTED PER THE SFWMD XERISCAPE PLANT GUIDE

IRRIGATION NOTES:
CONTRACTOR SHALL ADJUST ADD OR REMOVE EXISTING IRRIGATION EQUIPEMENT TO ENSURE 100% COVERAGE OF ALL LANDSCAPE MATERIALS.
CONTRACTOR SHALL PROVIDE RAIN SENSOR DEVICE IF NOT ALREADY INSTALLED.
CONTRACTOR SHALL UPDATE IRR. CONTROLLER, VALVES, PIPING AND HEADS AS NEEDED

TOWN OF BAY HARBOR ISLANDS LANDSCAPE CODE (SEC. 24-16) REQUIREMENTS LEGEND LOT AREA: 9,864 SF. ZONING: RD-(SINGLE FAMILY RESIDENTIAL DISTRICT)		
A. SHADE TREES REQUIRED	REQUIRED	PROVIDED
1. SINGLE FAMILY NON WATER FRONT LOT	5	5
2. NUMBER OF SHADE TREES IN FRONT YARD	2	1 3:1 PALMS DUE TO O.E.
3. NATIVE SPECIES 50% REQUIRED	3	6
4. DROUGHT TOLERANT AND LOW MAINTENANCE SPECIES REQUIRED 50%	3	6
B. SHRUBS REQUIRED		
1. SINGLE FAMILY NON WATER FRONT LOT	50	70
2. NATIVE SPECIES REQUIRED 30%	15	4 + 140 EXISTING
3. DROUGHT TOLERANT AND LOW MAINTENANCE SPECIES REQUIRED 50%	25	87 + 140 EXISTING
C. MAXIMUM LAWN AREA ALLOWED 50% OF NET LOT AREA	4,932	2,972 SF.
NOTES: REQUIRED SHADE TREES AT TIME OF PLANTING MUST BE A MIN. OF 12 FEET IN OVERALL HEIGHT, HAVE 4 FEET OF CLEAR WOOD BEFORE BRANCHING AND HAVE A 2-1/2" CALIPER. PALM TREES CAN BE SUBSTITUTED AT A 3:1 RATIO (EXCEPT APPROVED LARGER VARIETIES) TO A MAXIMUM OF 25% OF THE REQUIRED TREES. REQUIRED SHRUBS AT TIME OF PLANTING MUST BE A MIN. OF 24 INCHES IN OVERALL HEIGHT, IF USED AS A VISUAL SCREEN MUST BE A MIN. OF 36 INCHES IN OVERALL HEIGHT. MIAMI-DADE COUNTY LANDSCAPE ORDINANCE SEC. 18A-5(A0(5))		

LANDSCAPE NOTES:
CONTRACTOR SHALL PRESERVE ALL EXISTING LANDSCAPE MATERIALS AS NOTED ON PLAN. ANY EXISTING MATERIALS THAT ARE DAMAGED OR MISSING AT TIME OF INSPECTION SHALL BE REPLACED WITH MATCHING SIZE AND SPECIES.



REVISIONS:
CITY COMMENTS: 6/9/17
CITY COMMENTS: 8/1/17

SHEET TITLE:
LANDSCAPE PLAN

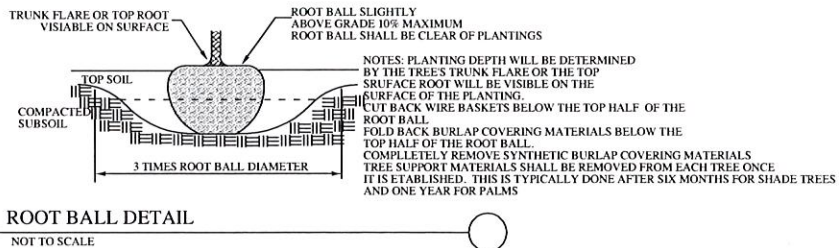
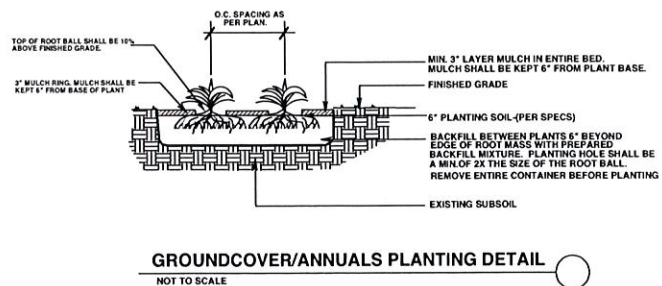
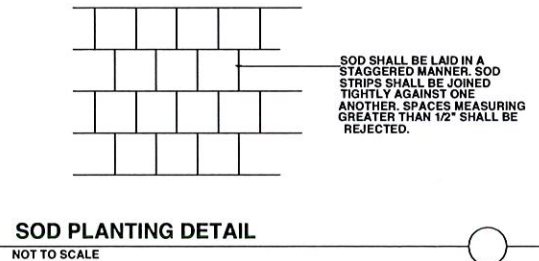
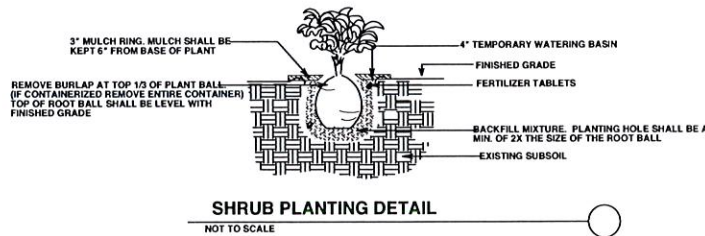
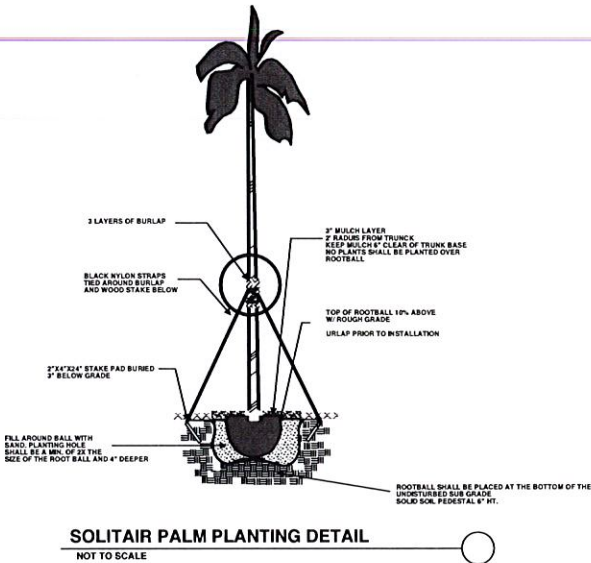
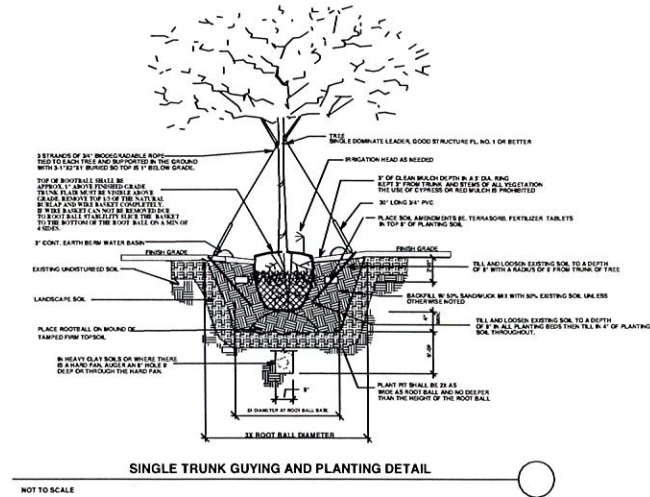
PROJECT:
GOLDBERG RESIDENCE
9555 BROADVIEW TERR
BAY HARBOR, FL

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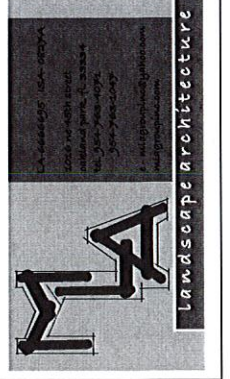
SCALE: 1"=10'
DATE DRAWN: 5/16/17
SHEET NO.

L-1



PLANTING NOTES:

1. ALL SIZES SHOWN FOR PLANT MATERIAL ON PLAN ARE TO BE CONSIDERED AS MINIMUMS. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN WILL ALSO BE REQUIRED FOR FINAL ACCEPTANCE.
2. ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR UNLESS OTHERWISE SPECIFIED SHALL BE FLORIDA NO. 1 OR BETTER ACCORDING TO GRADES AND STANDARDS FOR NURSERY PLANTS LATEST EDITION 2001. ALL TREES DESIGNATED AS SINGLE TRUNK TREES SHALL HAVE SINGLE DOMINANT LEADER AND STRAIGHT TRUNK. THE PROPER STRUCTURE OF TREES IS MOST IMPORTANT. ALL TREES DESIGNATED AS MULTI-TRUNK TREES SHALL HAVE AT LEAST THREE (3) TRUNKS WITH EQUAL CALIPERS ORIGINATING AT THE BASE OF THE TREES AND WITH ANGLES NO LESS THAN 45 DEGREES. TREES WITH BARK INCLUSION AND CODOMINANT TRUNKS AT ANY HEIGHT WILL NOT BE ACCEPTED. ALL TREES AND PALMS MUST BE GUYED WITH PROPER HORTICULTURAL AND ARBORICULTURAL TECHNIQUES. WE RECOMMEND THAT THE TREES BE STAKED WITH NATURAL HEMP IN LIEU OF WIRE OR OTHER SYNTHETIC MATERIAL. NAILING INTO TREES AND PALMS IS PROHIBITED. ALL STAKING SHALL BE REMOVED APPROX. SIX (6) MONTHS AFTER PLANTING OR AT TIME OF ESTABLISHMENT OF TREE. ALL PLANTING TO BE DONE IN ACCORDANCE WITH PROPER HORTICULTURAL PRACTICES.
3. IN ADDITION TO THESE REQUIREMENTS ALL LOCAL LANDSCAPE CODES AND REQUIREMENTS SHALL BE MET IN ORDER TO SATISFY THE REVIEW AND APPROVAL OF THE GOVERNING MUNICIPALITY.
4. ALL LANDSCAPING SCHEDULED TO OCCUR IN VEHICULAR USE AREAS SHALL BE PROTECTED FROM VEHICULAR ENCROACHMENT BY CURBING OR OTHER DURABLE BARRIERS.
5. ALL PLANTING HOLES SHALL BE A MINIMUM OF 2 1/2 TIMES THE DIAMETER OF THE PLANT BALL. ALL PLANTING AREAS SHALL BE EXCAVATED TO REMOVE ALL OBJECTIONABLE MATERIALS, SUCH AS ASPHALT, SUB-BASE, CONCRETE, ROCK, CAUSTIC MATERIALS WITH AN EXCESSIVE SOIL PH, OR SIMILAR MATERIALS NOT SUITED FOR LANDSCAPE PLANTING. ALL SYNTHETIC BURLAP, SYNTHETIC STRING OR CORDS OR WIRE BASKETS SHALL BE REMOVED BEFORE PLANTING. ALL SYNTHETIC TAPE SHALL BE REMOVED FROM TREES BEFORE INSPECTION. THE TOP 10% OF ANY NATURAL BURLAP SHALL BE REMOVED OR TUCKED INTO THE PLANTING HOLE BEFORE THE TREE IS BACK FILLED.
6. ALL PLANT MATERIALS SHALL BE PLANTED IN PLANTING SOIL THAT IS DELIVERED TO THE SITE IN A CLEAN, LOOSE AND FRIABLE CONDITION. ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 6" OF PLANTING SOIL. AND ALL SODDED AREAS SHALL HAVE 2" OF PLANTING SOIL. THIS SOIL SHALL BE TILED INTO EXISTING SOIL ON SITE. ALL SOIL SHALL HAVE A WELL DRAINED CHARACTERISTIC. SOIL MUST BE FREE OF ALL ROCKS, STICKS, OBJECTIONABLE DEBRIS INCLUDING WEEDS AND WEED SEED. RECYCLED COMPOST IS ENCOURAGED AS A SOIL AMENDMENT.
7. ALL PLANT MATERIALS SHALL BE THOROUGHLY WATERED IN AT THE TIME OF PLANTING. NO DRY PLANTING SHALL BE PERMITTED. ALL PLANT MATERIALS SHALL BE PLANTED SUCH THAT THE TOP OF THE PLANT ROOT BALL IS FLUSH WITH THE SURROUNDING GRADE OR PLANTED AT 10% ABOVE THE SURROUNDING GRADE PER SPECIFICATIONS ON THE PLANTING DETAILS.
8. ALL PLANT MATERIALS SHALL BE INSTALLED WITH FERTILIZER WHICH SHALL BE STATE APPROVED AS A COMPLETE FERTILIZER CONTAINING THE REQUIRED MINIMUM OF TRACE MINOR ELEMENTS IN ADDITION TO N-P-K, OF WHICH 50% OF THE NITROGEN SHALL BE DERIVED FROM AN ORGANIC SOURCE.
9. ALL LANDSCAPE AREAS NOT COVERED BY SHRUBS OR GROUND COVERED SHALL BE COVERED BY SOD AND ALL AREAS NOT COVERED BY SOD SHALL BE COVERED WITH NONCYPRESS ARSENIC FREE MULCH, TO A MINIMUM DEPTH OF THREE (3) INCHES OF COVER WHEN SETTLED. ALL MULCH SHALL BE KEPT 2" FROM THE BASE OF ALL PLANT MATERIAL. THE WATER BASIN PARTICULARLY ON OAKS SHALL REMAIN FOR AT LEAST THREE (3) MONTHS.
10. SOD SHALL BE (AS NOTED) SOLID SOD, AND SHALL BE LAID ON A SMOOTH PLANTING BASE WHICH HAS BEEN GRADED TO MEET THE DRAINAGE CHARACTERISTICS OF THE SITE. ALL SOD SHALL BE LAID WITH CLOSELY FITTED JOINTS, AND SHALL BE IN A GREEN AND HEALTHY GROWING CONDITION AT PLANTING.
11. ALL LANDSCAPE AREA SHALL BE IRRIGATED BY A FULLY AUTOMATIC SYSTEM ADJUSTED TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS WITH RAIN SENSOR. ALL HEADS SHALL BE ADJUSTED TO MIN. 50% OVERLAP. IRRIGATION SYSTEM SHALL BE RUST FREE WITH NO OVERSPRAY ONTO PVIOUS AREAS. PVC RISERS SHALL BE PAINTED FLAT BLACK.
12. ANY SUBSTITUTIONS TO PLANT MATERIALS FOR AREAS AND ITEMS ADDRESSED BY LOCAL CODES SHALL BE APPROVED BY THE GOVERNING MUNICIPALITY PRIOR TO WORK PERFORMED.
13. ALL LANDSCAPE AREAS SHALL BE FINISH GRADED SUCH THAT THEY ARE 3.5" BELOW SURROUNDING PAVED SURFACES AS NOT TO IMPEDE THE FLOW OF DRAINAGE INTO LANDSCAPE AREAS AND TO ALLOW FOR A 3" MULCH LAYER.
14. ALL NEW LANDSCAPED AREAS SHALL BE EXCAVATED OF ALL ROCK AND DEPRIS DOWN TO A DEPTH 30" AND BACK FILLED WITH CLEAN DEPRIS FREE 50/50 MIX SOIL.
15. CONTRACTOR SHALL PROVIDE SOD AND IRRIGATION TO EDGES OF OF RIGHT OF WAYS AND ALL PROPERTY LINES.
16. ALL FREE STANDING UTILITIES AND SITE EQUIPEMENT MUST BE SCREENED ON THREE (3) SIDES WITH SHRUB MATERIAL 36" IN HEIGHT AT TIME OF PLANTING.
17. PLANTING PLAN TAKES PRECEDENT OVER PLANT LIST.



REVISIONS:

SHEET TITLE:

**LANDSCAPE
DETAILS AND
SPECIFICATIONS**

PROJECT:

GOLDBERG RESIDENCE

**9555 BROADVIEW TERR
BAY HARBOR, FL**

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SEAL:

DATE DRAWN: 5/16/17

SHEET NO.

L-2

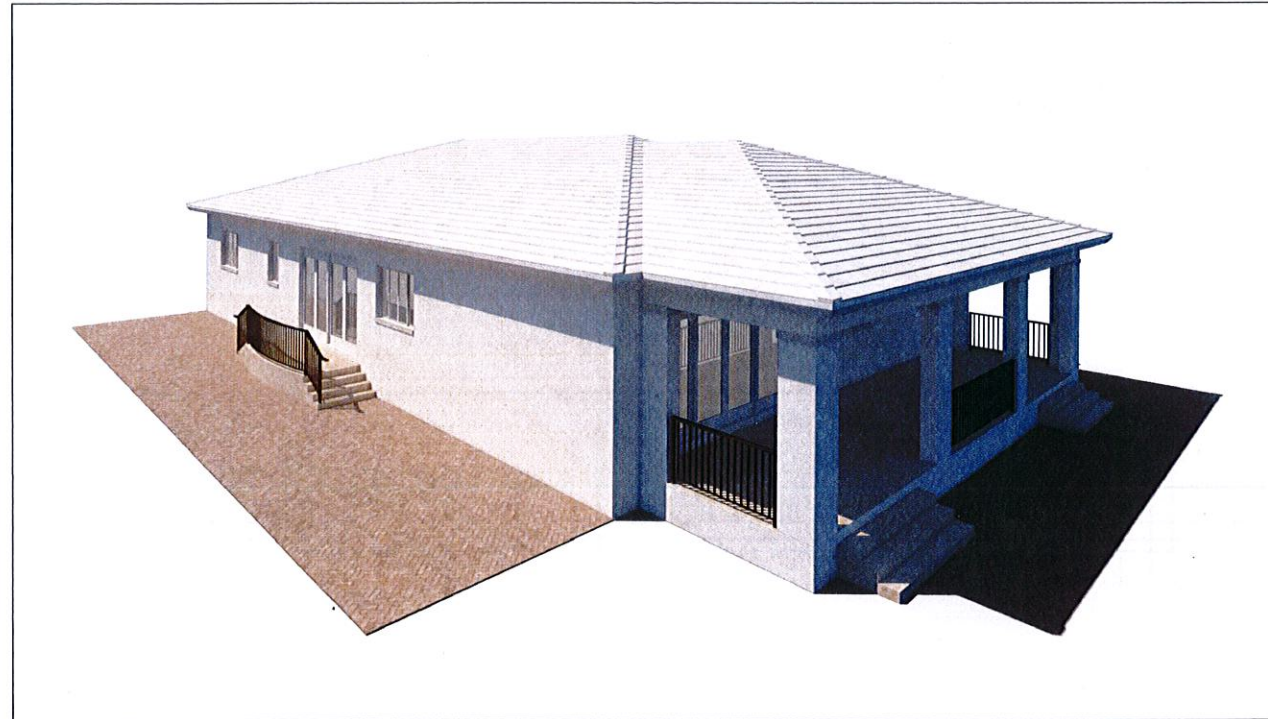
OF-2



1 WEST VIEW OF FRONT ENTRY



2 NORTH VIEW & FRONT ENTRY



3 EAST VIEW REAR YARD



LLR Architects, Inc.

ARCHITECTURE & PLANNING

14125 NW 80 AVE, SUITE 208
MIAMI LAKES, FLORIDA 33018

(O) - 305-403-7928
(F) - 305-403-7928
E-MAIL: LLR@LLRARCHITECTS.COM

REVISION	BY
06/23/11 RESPONSE TO COMMENTS	CC

PROPOSED RESIDENCE FOR:
GOLDENBERG
9555 BROADVIEW TERRACE
BAY HARBOR, FLORIDA

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	CC
CHECKED	LLR
DATE	05/11/11
SCALE	AS NOTED
JOB. NO.	011-010
SHEET	

R-1

OF SHEETS

**TOWN OF BAY HARBOR ISLANDS
COMMUNITY DEVELOPMENT
MEMORANDUM**

To: Planning and Zoning Board
Town of Bay Harbor Islands

From: Michael J. Miller, AICP *MDM*
Consultant Town Planner

Date: August 4th, 2017

Subject: Proposed Single-Family Residence Addition / Renovations
9555 Broadview Terrace
Bay Harbor Islands Acct. No.: MB2015-164
MMPA Acct. No.: 01-0702-1055

RECOMMENDED ACTION

MMPA recommends the Planning and Zoning Board review the contents of this staff report, the latest revised site plan and architectural plans (dated 06/29/17) and if felt to be acceptable, **APPROVE** the plans as submitted or with modifications as deemed appropriate and/or with conditions, to allow for the construction of additions/renovations to a single-family home located at 9555 Broadview Terrace.

GENERAL PROJECT INFORMATION

Land Use Designation: L – Low Density Residential
Zoning District: RD Single-Family District
General Location: 9555 Broadview Terrace
Legal Description: Lot 7 of Block 31, "Bay Harbor Island" according to the plat thereof, as recorded in Plat Book 46, at Page 5 of the Public Records of Miami-Dade County.

PROJECT DESCRIPTION

The project architect, Luis La Rosa Inc., as agent for the property owner, Rafael Kravec, has submitted an application for additions and renovations of an existing single-family residence on a non-waterfront lot located at 9555 Broadview Terrace. The existing one-story home has an existing square footage of 2,690 sq. ft. After the renovation, the home will have 3,727 sq. ft. of A/C living space with a porch on the "street side" (Kane Concourse) of the property. The residence will have four (4) bedrooms, four (4) full bathrooms, (1) powder room and a playroom.

**Town of Bay Harbor Islands
Planning and Zoning Board Staff Report
Single-Family Residence Additions / Renovations
9555 Broadview Terrace
August 4th, 2017
Page 2**

The overall height of the structure will be 15'-7" above Base Flood Elevation (BFE), which is below the maximum 30'-0" allowed within the RD Single-Family District with additional setbacks. The applicant is proposing two (2) driveways connection to Broadview Terrace. Extensive landscaping is proposed that meets the Miami-Dade County Landscape Code and Town Supplemental Landscape Code requirements, including the use of native and drought tolerant plant materials.

The current draft of the Street Tree Master Plan identifies the tree species along Broadview Terrace as Crape Myrtle under power lines and the Landscape Plan dated 8/1/17 identifies all the correct required species along the street.

The Historical Structure Survey for the Town of Bay Harbor Islands does not list the existing structure as it was not 50-years old at the time the survey was completed. The existing structure is to be demolished and the new single-family home will be a Spanish / Mediterranean design.

PROJECT HISTORY

In early 2016 the PZB reviewed / approved a new 2-story single-family for this site. The owners decided to not pursue the construction of a new residence but rather decided to renovate the existing home with additions. The applicant submitted an initial set and several revised sets of plans that were reviewed by MMPA for consistency with the Town Code requirements. Comments were given to the applicant each time and the current submitted plans are reflective of all requested changes.

COMPREHENSIVE PLAN / ZONING

Comprehensive Plan – The property has a Future Land Use Map (FLUM) designation of "Low Density Residential". The maximum allowable base density is six (6) DUA. The proposed use and density of the property would be consistent with the applicable FLUM designation of the property.

Land Development Regulations / Zoning Code –The property has a Zoning Classification of RD Single Family Zoning District. The proposed use and density of the property is consistent with this zoning classification. The following Zoning and Planning sections of the Code apply to this proposal: Section 23-3 (Use Regulations RD Single-Family District), Section 23-9 (Minimum Size of Living Units), Section 23-10 (Minimum Size of Building Lot), Section 23-11(A) (Land Development Regulations RD Single-Family Area) and Section 23-12 (Land Development Regulations General Provisions). In addition, the Town has separate regulations for landscaping, driveways and building material regulations.

PLATTING

The site will not require re-platting, as the site is currently platted as described above under the legal description.

SUMMARY / SITE PLAN COMMENTS

In early 2016 the PZB reviewed / approved a new 2-story single-family for this site. The owners decided to not pursue the construction of a new residence but rather decided to renovate the existing home with additions. During the 2016 PZB review an exterior patio was proposed on the north side of the home. A loggia is now proposed over that patio area. The main house and loggia (trellis) meet the minimum setback requirements (40' main house).

The latest site plan and architectural plans submitted for the renovation of an existing single-family home located at 9555 Broadview Terrace meet or exceed all minimum Town Land Development and Landscape Code requirements. The applicant previously submitted several sets of plans that were reviewed and commented on by MMPA, and all previous comments and issues have been addressed by the current plans.

It should be noted that there will be no solid fence in this renovation along the north side of the property (along Kane Concourse), only a dense hedge. The previous plans included a fence / wall.

The following conditions of approval are recommended:

- 1) This approval is based on the plans prepared by LLR Architects Inc. dated June 29th, 2017 and Landscape Plans dated August 1st, 2017 with any modifications required by the PZ Board. All modifications to the above plans shall be reviewed by Town staff and may require re-approval by the PZB if felt to be substantial.

AGENDA ITEM REPORT

September 5, 2017

ITEM NUMBER: 2.

ITEM: Request for approval for an addition for a single family home for Dora Bay, LLC located at 1271 94 Street, Lots 13-14 of Block 32. In 2015 the Board approved plans for a new single family home on the subject property. The owners decided not to proceed with that project.. The owners are now proposing an addition and renovation to the existing single family home. The proposed addition and renovation will add 1,139 sq. ft. of new a/c floor area plus a 456 sq. ft. of garage totaling 4,809 square feet of living space. The residence will have five (5) bedrooms and six (6) full bathrooms. Enclosed please find the site plan, elevations and landscape plan (Item 2A).

DESCRIPTION:

RECOMMENDED ACTION:

Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mrs. Ana Carolina Rocha.

FINANCIAL ANALYSIS:

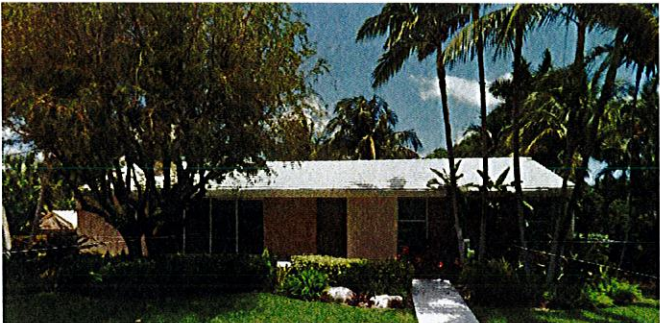
BUDGET IMPACT:

Submitted By: Ayanidys Martinez

ATTACHMENTS

1.	Site Plan & Elevations	1271.94streetP&Z.pdf
2.	Staff Report	1271 94 Street SFR - PZB Staff Report Sept 01 2017.pdf

EXISTING PROPERTY



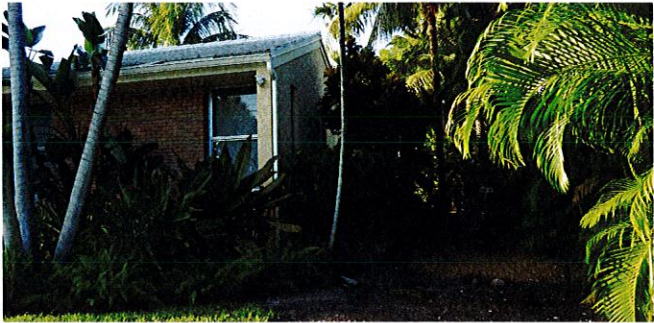
EXISTING PROPERTY SOUTH VIEW



EXISTING PROPERTY WEST VIEW



EXISTING PROPERTY NORTH VIEW



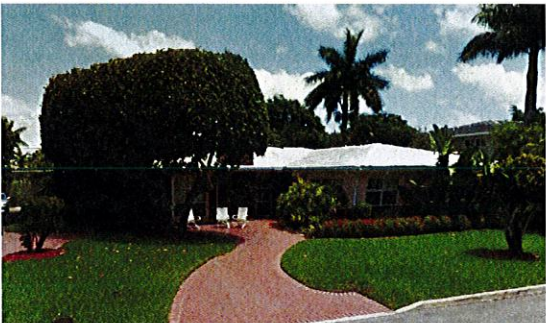
EXISTING PROPERTY EAST VIEW



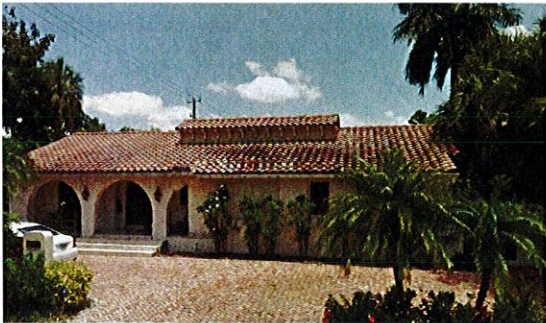
LOCATION MAP

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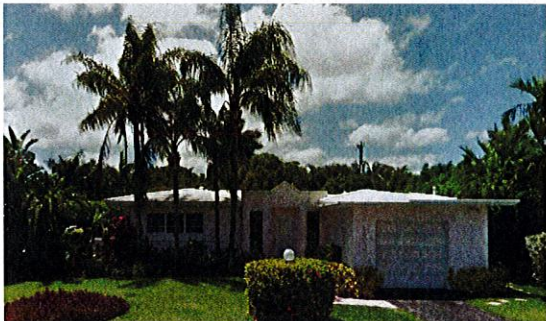
CONTEXT PROPERTIES



EAST PROPERTY - 1251 94TH ST.



WEST PROPERTY - 1281 94TH ST.



NORTH EAST PROPERTY - 1260 95TH ST.



NORTH WEST PROPERTY - 1260 95TH ST.

DRAWING INDEX:

- ARCHITECTURAL
- A-001: COVER SHEET, ZONING/BUILDING DATA, LOCATION MAP & CONTEXT PHOTOS
 - A-002: SURVEY
 - A-003: MATERIAL & INSPIRATION BOARD
 - A-100: SITE PLAN - EXISTING
 - A-101: SITE PLAN - PROPOSED
 - A-102: ROOF PLAN - PROPOSED
 - A-201: FLOOR PLAN - PROPOSED ENLARGED
 - A-401: EXTERIOR ELEVATIONS: PROPOSED & EXISTING - SOUTH FRONT
 - A-402: EXTERIOR ELEVATIONS: PROPOSED & EXISTING - NORTH REAR
 - A-403: EXTERIOR ELEVATIONS: PROPOSED & EXISTING - EAST SIDE
 - A-404: EXTERIOR ELEVATIONS: PROPOSED & EXISTING - WEST SIDE
- LANDSCAPE
- L-101: LANDSCAPE PLAN

SITE DATA:

LOT SIZE: 15,000 S.F. (0.34) ACRES 100%

LEGAL DESCRIPTION:

LOT 13 & WEST 1/2 LOT 14, BLOCK 32, OF BAY HARBOR ISLANDS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 48, AT PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
1271 94 STREET, BAY HARBOR ISLANDS, FL 33154
FOLIO# 13-2227-001-6080

ZONING DATA:

ZONING DISTRICT: RD - "SINGLE FAMILY DISTRICT"
COMPREHENSIVE PLAN FLUM DESIGNATION: LOW DENSITY RESIDENTIAL 60U/ACRE
BUILDING HEIGHT ALLOWED: 25'-0"
BUILDING HEIGHT PROVIDED: 20'-9 3/8"
(1 STORY)
PERVIOUS AND IMPERVIOUS / OPEN SPACE:
IMPERVIOUS AREA (51% OF LOT AREA): 7,708 S.F.
PERVIOUS AREA (49% OF LOT AREA): 7,292 S.F.

FINISH FLOOR ELEVATION NOTE:
ALL FLOOR ELEVATIONS ARE TAKEN ABOVE THE BASE FLOOD ELEVATION WHICH IS SHOWN AS 0'-0" B.F.E. (+8'-0" NGVD).
FLOOD ZONE = AE - ELEV. +8'-0" NGVD
COMMUNITY-PANEL# 120637, MAP# 12086C0144, SUFFIX L, REVISED 09/11/2009

BUILDING DATA:

AREA TABULATION:
EXISTING A/C: 3,034 S.F.
PROPOSED A/C: 1,319 S.F.
PROPOSED NON-A/C (GARAGE): 456 S.F.
SUB TOTALS:
A/C AREA: 4,353 S.F.
NON-A/C (GARAGE): 456 S.F.
GROSS TOTAL: 4,809 S.F.

PARKING DATA:

PARKING REQUIRED: 2
PARKING PROVIDED: 2

SETBACK CHART:

BUILDING SETBACKS	REQUIRED	PROVIDED
FRONT (SOUTH):	25'-0"	25'-0"
REAR (NORTH):	15'-0"	15'-0"
SIDE (EAST):	10'-0"	14'-0"
SIDE (WEST):	10'-0"	10'-0"
POOL SETBACKS	REQUIRED	PROVIDED
FRONT (STREET):	20'-0"	N/A
REAR (NORTH):	5'-0"	20'-1"
SIDE (EAST):	10'-0"	10'-1"
SIDE (WEST):	10'-0"	70'-8"

UTILITY NOTE:
THERE ARE NO OVERHEAD POWER LINES RUNNING IN FRONT OF THE SITE. ALL LATERAL CONNECTIONS WITHIN OUR PROPERTY WILL BE UNDERGROUND. ALL PROPOSED UTILITIES WILL BE INSTALLED IN COMPLIANCE WITH ALL APPLICABLE TOWN OF BAY HARBOR ISLANDS ORDINANCES.

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Seal of Project Architect

Alan R. Bartoli, AIA, LEED AP-BD+C
AA26003207 - AR92820

Consultants

Project Owner:
MS. CARLA LOWENSTEIN
1271 94th Street
Bay Harbor Islands, FL 33154
t. 305-769-1605

1271 RESIDENCE REMODEL
1271 94TH STREET
BAY HARBOR ISLANDS, FL 33154

Date Of Issue:
08/07/2017

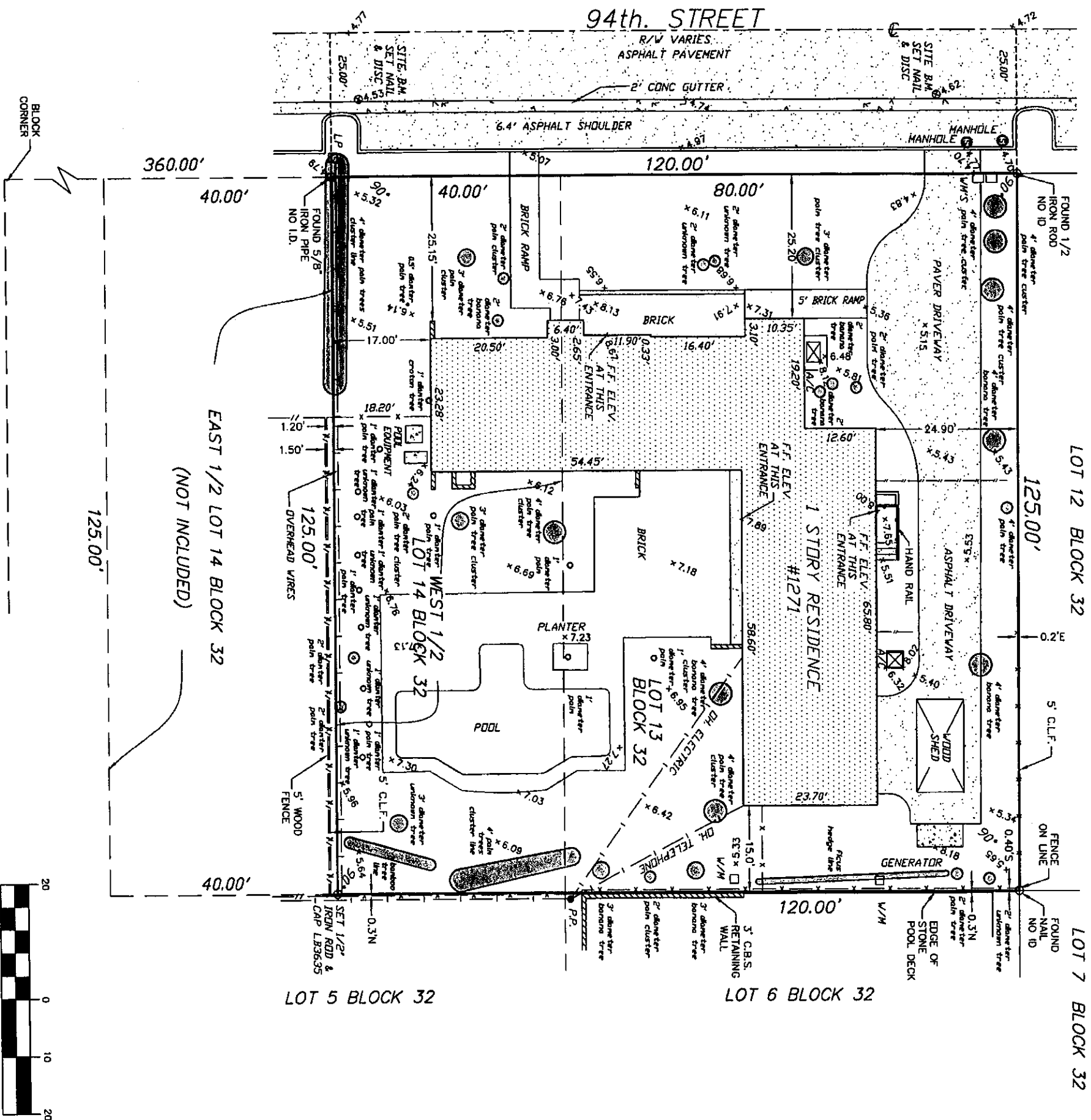
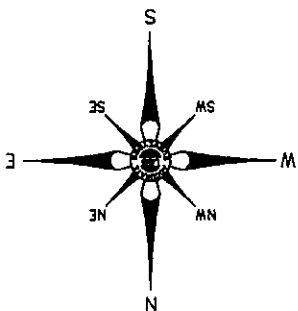
Revisions:

Submittal Type:
PLANNING & ZONING
BOARD

Drawn By:
ARB
Checked By:
ARB

Scale:
AS SHOWN
Job Number:
1707
Sheet Number:

A-001



NOTES:
1. UNLESS OTHERWISE NOTED FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS.
2. BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF N/A
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS, OR OTHER MATTERS OF RECORD BY ACCURATE LAND SURVEYORS, INC.
4. OWNERSHIP OF FENCES AND WALLS IF ANY NOT DETERMINED.
5. THIS DRAWING IS THE PROPERTY OF ACCURATE LAND SURVEYORS, INC. AND SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
6. THIS SURVEY CONSISTS OF A MAP AND TEXT REPORT. ONE IS NOT VALID WITHOUT THE OTHER.
7. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE CERTIFIED HEREON, TO BE VALID ONE YEAR FROM THE DATE OF SURVEY AS SHOWN.

CERTIFICATION:

THIS IS TO CERTIFY THAT I HAVE RECENTLY SURVEYED THE PROPERTY DESCRIBED IN THE FOREGOING TITLE CAPTION AND HAVE SET OR FOUND MONUMENTS AS INDICATED ON THIS SKETCH AND THAT SAID ABOVE GROUND SURVEY AND SKETCH ARE ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY MEETS MINIMUM TECHNICAL STANDARDS UNDER RULE 5J-17 ADOPTED BY THE FLORIDA BOARD OF LAND SURVEYORS, JANUARY 11, 2010.

SEAL

NOT VALID WITHOUT THE SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR

ROBERT L. THOMPSON (PRESIDENT)
PROFESSIONAL SURVEYOR AND MAPPER No.3869 - STATE OF FLORIDA

REVISIONS		DATE		BY	
UPDATE/TPQD/TEE SURVEY SU-15-3814		10-19-15		AL/JMS	
UPDATE SURVEY SU-12-1916		06-19-12		AL/RLT	
DATE OF SURVEY 5/28/02	DRAWN BY A.D.I.	CHECKED BY A.B.		FIELD BOOK 02-3455	

SCALE 1"=20'

SKETCH NUMBER SU-02-3455



FRONT VIEW - SOUTH



REAR VIEW - NORTH

RENDERINGS

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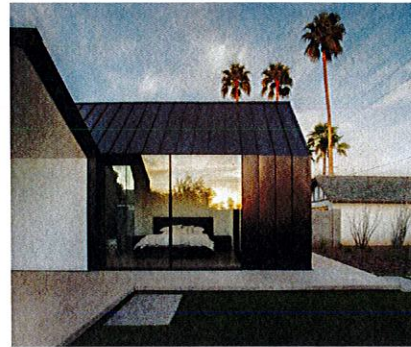
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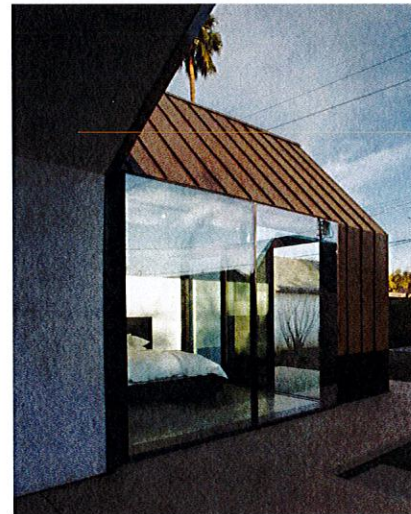
A-002



METAL ROOF AND CLADDING



METAL ROOF AND CLADDING



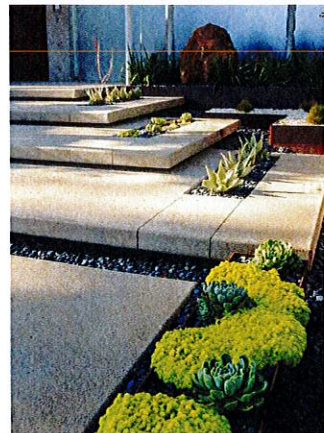
METAL ROOF AND CLADDING



CONCRETE WALKWAY - SIDEYARD



FRONT RENDERING



ENTRY STEPS AND PLANTERS



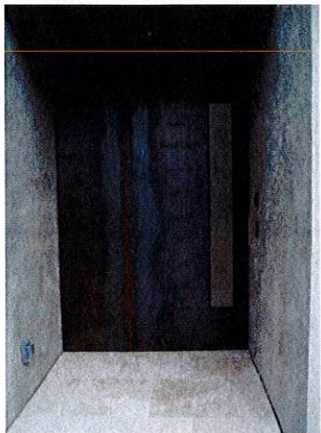
ENTRY WALK AND ADDRESS



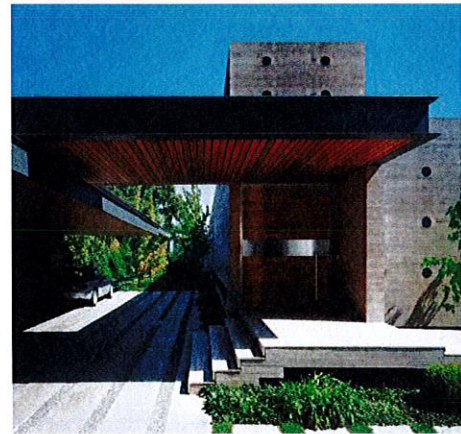
CORTEN STEEL FENCE AND GATES



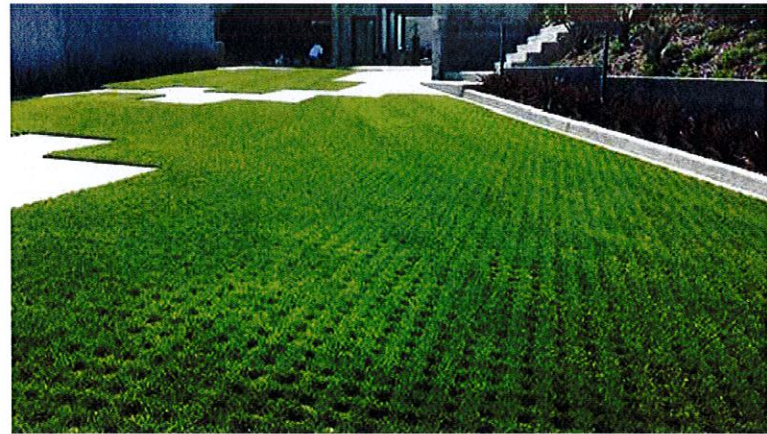
POND BRIDGE AND POOL DECK



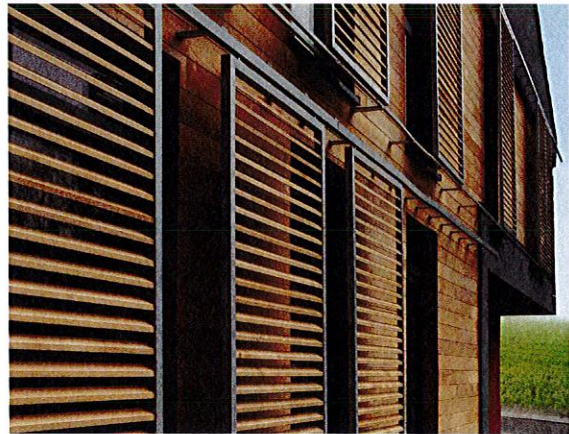
CORTEN STEEL ENTRY DOOR



PORTICO AND COVERED TERRACE ROOF



DRIVEWAY - GRASS PAVED



SLIDING SUN SCREEN "BRISE-SOLEIL"

MATERIAL & INSPIRATION BOARD

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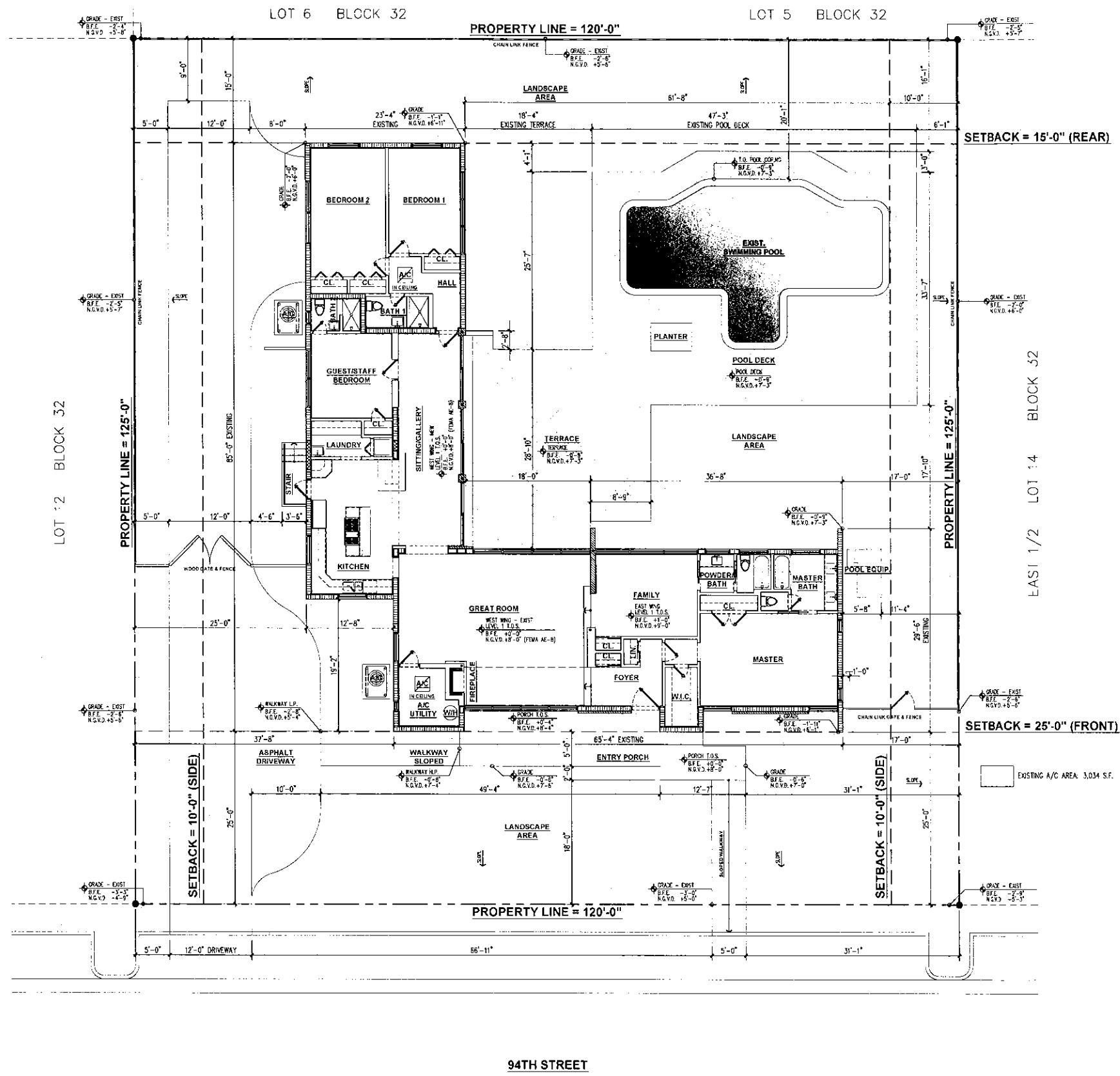
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Sheet Number:
A-003



SITE PLAN SCALE: 1/8" = 1'-0"
EXISTING

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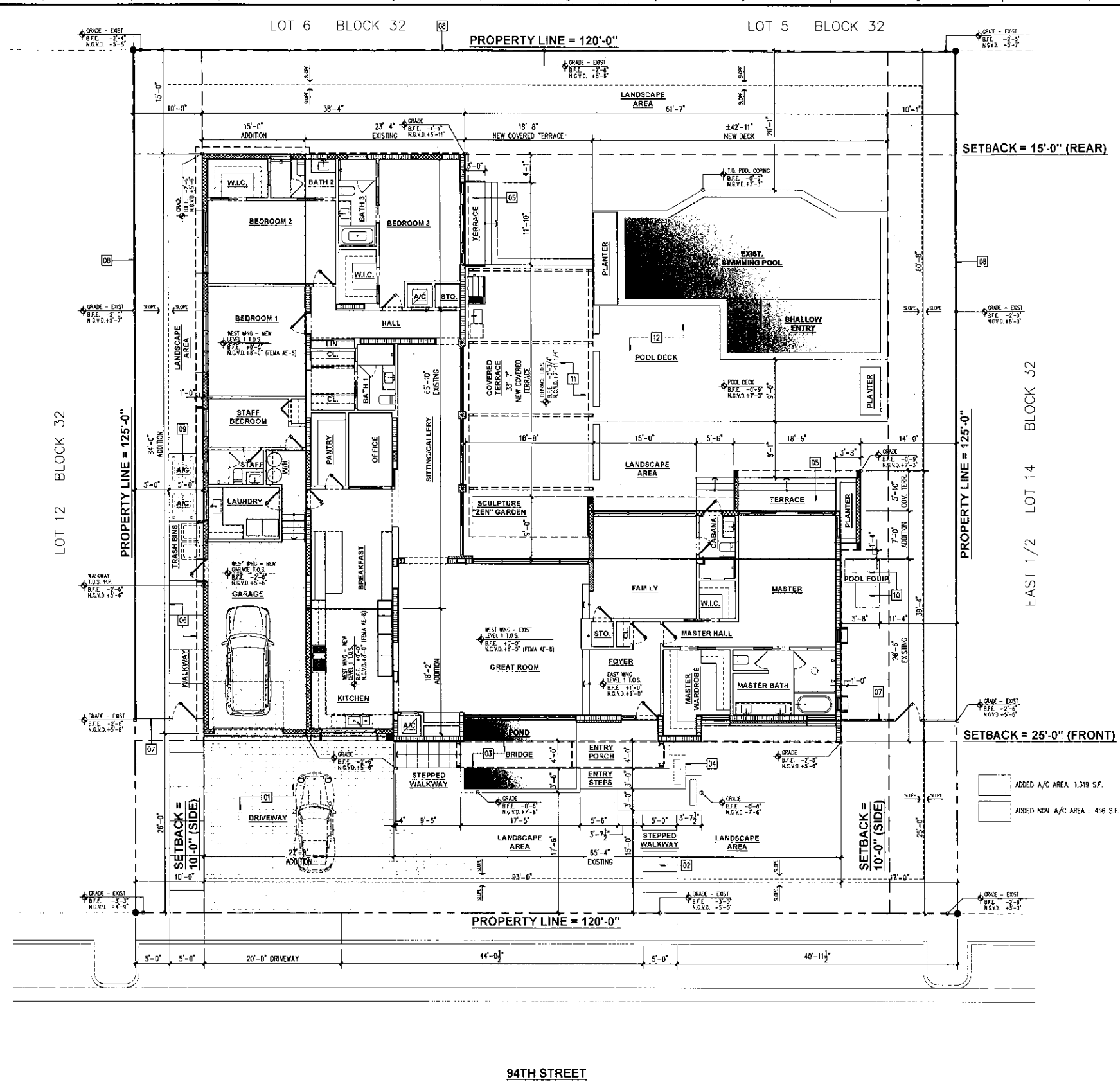
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Revisions

Submitted To
PLANNING & ZONING BOARD

Drawn By
I.B.H. / ARB
Checked By
ARB

Scale
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Job Number
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Sheet Number
A-100



SITE PLAN NOTES:

1. NEW PERVIOUS GRASS PAVE DRIVEWAY, TYP.
2. NEW CAST IN PLACE EXPOSED FRONT ENTRY STEPS, TYP.
3. NEW COMPOSITE WOOD DECKING BRIDGE OVER PROPOSED POND, TYP.
4. NEW CAST IN PLACE EXPOSED CONCRETE ENTRY STEPPING PADS WITH INTEGRATED LANDSCAPE, TYP.
5. NEW CAST IN PLACE EXPOSED REAR TERRACE LANDING & STEPS, TYP.
6. NEW CAST IN PLACE SERVICE ENTRY WALKWAY W/ INTEGRATED GRASS STRIPS, TYP.
7. NEW CUSTOM CORTEN STEEL FENCE AND GATES, TYP.
8. NEW ALUMINUM PICKET FENCE PAINTED GREEN TO MATCH PROPOSED LANDSCAPE HEDGE, TYP.
9. NEW A/C COMPRESSOR MOUNTED ON ALUMINUM STANDS OVER CONCRETE SLAB, TYP. MUST BE MOUNTED 1'-0" ABOVE FLOOD ELEVATION. PROVIDE HURRICANE STRAPS TO COMPLY WITH CODE REQUIRED WIND LOADS.
10. EXISTING POOL EQUIPMENT TO REMAIN, TYP.
11. NEW REAR COVERED TERRACE WITH PORCELAIN TILE FINISH, NON-SLIP, COLOR LIGHT GREY, TYP.
12. NEW COMPOSITE WOOD DECKING AROUND POOL TO MATCH BRIDGE AT FRONT, TYP.



SITE PLAN

SCALE: 1/8" = 1'-0"

PROPOSED

STORM DRAINAGE NOTE:
ALL STORM DRAINAGE WILL BE RETAINED ON SITE & NOT
ALLOWED TO DISCHARGE ONTO ADJACENT PROPERTIES

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ROOF PLAN NOTES:

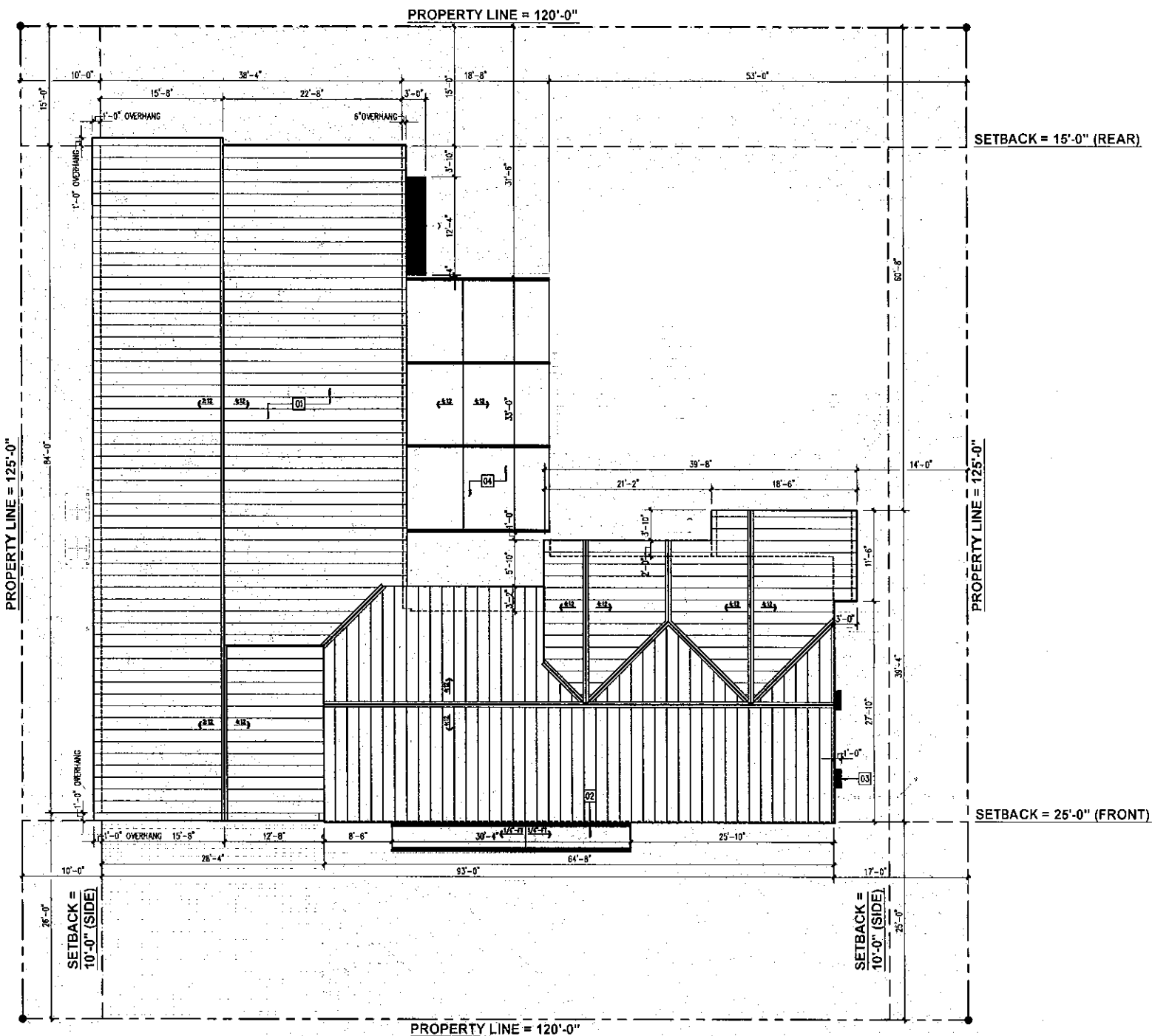
1. NEW ALUMINUM STANDING SEAM METAL ROOFING. COLOR CHARCOAL OR GRAPHITE GRAY, KYNAR 500 FINISH, TYP. ROOFING UNDER SEPARATE PERMIT. REQUIRES MAHARAJA COUNTY HOA OR FLORIDA PRODUCT APPROVAL. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
2. NEW STEEL I-SECTION FRAME ENTRY PORCHES W/ BLACKENED FINISH, TYP. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
3. NEW ALUMINUM BOX FRAME SURROUND AROUND WINDOW/DOOR BELOW, TYP. COLOR TO MATCH ENTRY CANOPY. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
4. NEW STEEL FRAME COVERED TERRACE CANOPY W/ BLACKENED FINISH TO MATCH ENTRY CANOPY, TYP. G.C. TO SUBMIT S&S ENG. SHOP DWGS.



ROOF PLAN

PROPOSED

SCALE: 3/16" = 1'-0"



94TH STREET

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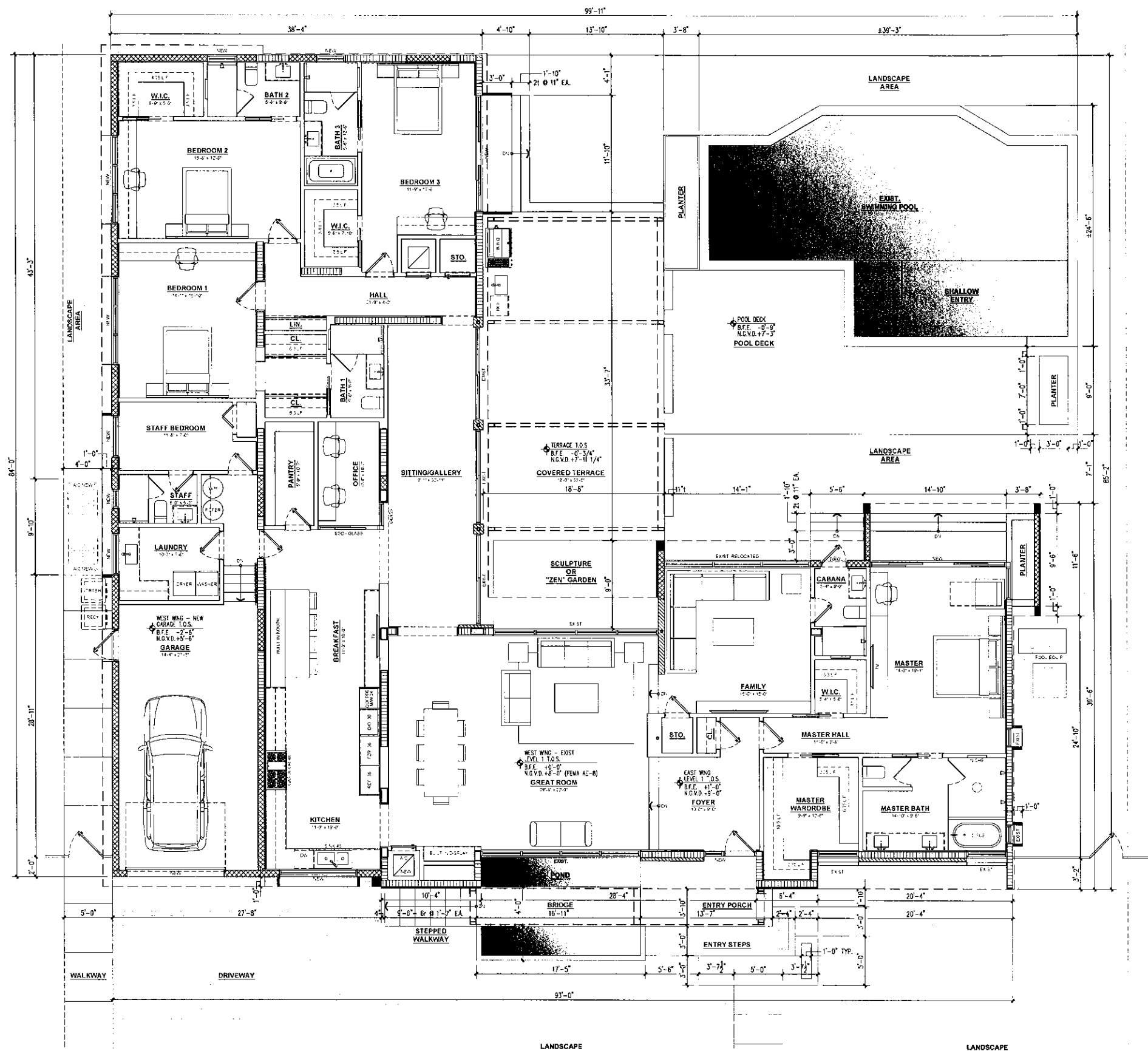
Revisions

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ARB

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Job Number
1707
Sheet Number

A-102



FLOOR PLAN SCALE: 3/16" = 1'-0"
PROPOSED - ENLARGED

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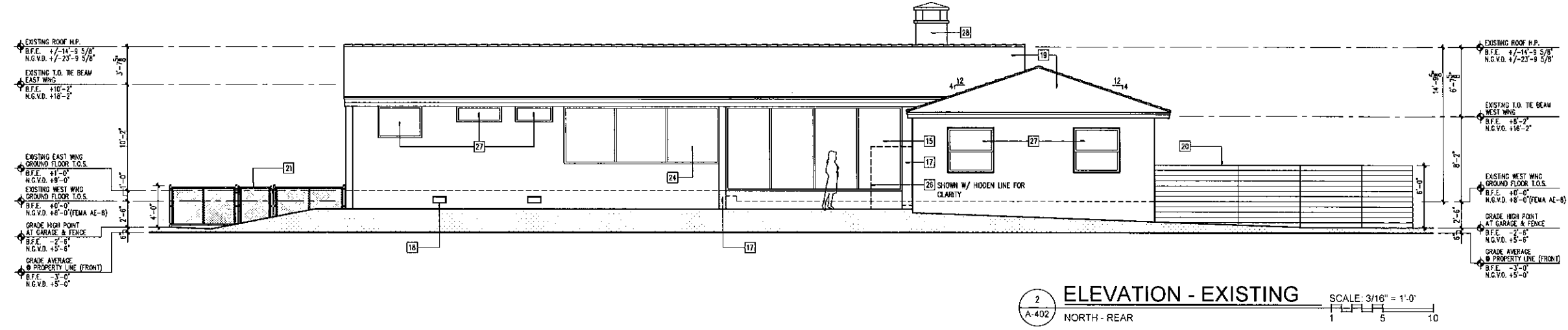
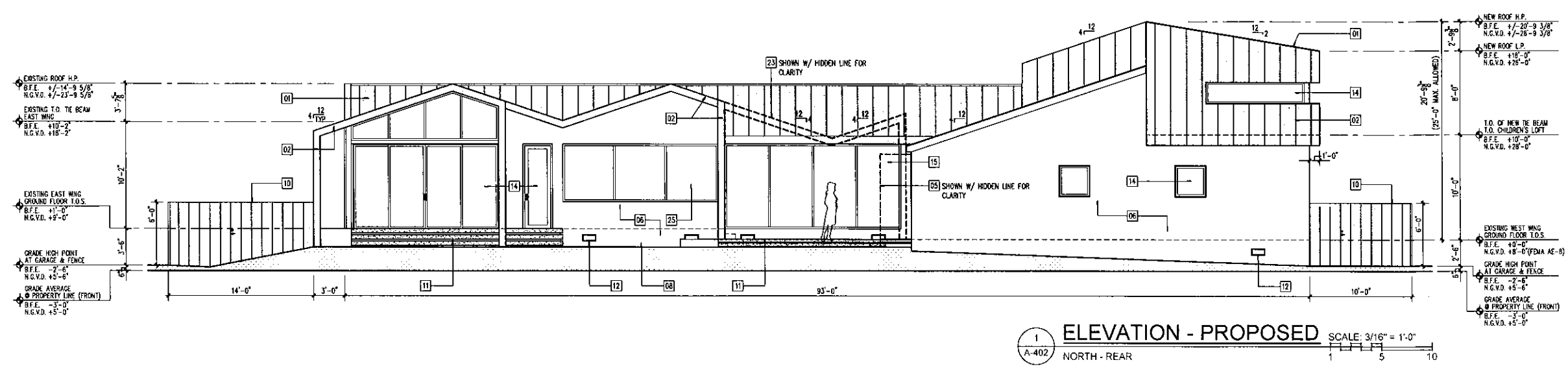
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Sheet Number
A-201



MATERIAL LEGEND:

1. NEW ALUMINUM STANDING SEAM METAL ROOFING. COLOR CHARCOAL OR GRAPHITE GRAY, KYMAR 500 FINISH, TYP. ROOFING UNDER SEPARATE PERMIT. REQUIRES MIAMI-DADE COUNTY NOA OR FLORIDA PRODUCT APPROVAL. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
2. NEW ALUMINUM STANDING SEAM METAL CLADDING TO MATCH ROOFING. TYP. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
3. NEW STEEL I-SECTION FRAMING ENTRY PORCH W/ BLACKENED FINISH. TYP. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
4. NEW CUSTOM ENTRY DOOR W/ CORTEN STEEL CLADDING. WEATHERED FINISH. REQUIRES MIAMI-DADE COUNTY NOA OR FLORIDA PRODUCT APPROVAL OR BE ENGINEERED TO COMPLY W/ WIND LOADS. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
5. NEW ALUMINUM BOX FRAME SURROUND AROUND WINDOW/DOOR. TYP. COLOR TO MATCH ENTRY CANOPY. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
6. SMOOTH STUCCO, PAINT FINISH, TYP. PATCH AND REPAIR EXISTING STUCCO TO MATCH NEW. TYP. G.C. TO PROVIDE FIELD MOCK UP FOR ARCHITECT APPROVAL PRIOR TO INSTALLATION OF STUCCO.
7. NEW SIMULATED WOOD BRIDGE & DECOR OVER ENTRY POND. COLOR MATTIE GREY WEATHERED FINISH TBS. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
8. NEW SITE CAST, EXPOSED CONCRETE STEPS, TYP.
9. NEW SIMULATED WOOD, SLIDING SUN SCREEN "BRISÉ-SOLEIL" IN ALUMINUM FRAME & TRACK. COLOR MATTIE GREY WEATHERED FINISH TBS. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
10. NEW CORTEN STEEL FENCE, WEATHERED FINISH TO MATCH ENTRY DOOR. TYP. FENCE UNDER SEPARATE PERMIT. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
11. NEW SITE CAST DEBOSSED ADDRESS NUMBERS IN VERTICAL FACE OF SLAB. FONT TO BE NEUTRA TYPEFACE 4" TALL.
12. NEW 6" X 18" DUAL FUNCTION (FLOOD/DRAWL SPACE/ GARAGE VENTILATION) VENT, TYP. MANUF. BY SMART VENT. COLOR TBS.
13. NEW MOTORIZED ALUMINUM / GLASS GARAGE DOOR. ALUMINUM COLOR CLEAR ANODIZED TO MATCH WINDOWS - GLASS TO BE TRANSLUCENT (FROSTED OR MILK) FINISH. DOOR UNDER SEPARATE PERMIT. REQUIRES MIAMI-DADE COUNTY NOA OR FLORIDA PRODUCT APPROVAL. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
14. NEW ALUMINUM & GLASS IMPACT RESISTANT WINDOW, FIXED GLAZING, FRENCH DOOR OR SLIDING GLASS DOOR. TYP. COLOR AND FINISH TO MATCH EXISTING GLAZING TO REMAIN. WINDOWS UNDER SEPARATE PERMIT. REQUIRES MIAMI-DADE COUNTY NOA OR FLORIDA PRODUCT CONTROL APPROVAL. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
15. EXISTING ALUMINUM & GLASS IMPACT RESISTANT WINDOW, FIXED GLAZING OR SLIDING GLASS DOOR TO REMAIN, TYP.
16. EXISTING SMOOTH STUCCO PAINT FINISH W/ VERTICAL REVEALS TO BE CLAD W/ ALUMINUM AS SHOWN ON PROPOSED ELEVATIONS, TYP.
17. EXISTING BRICK FACING TO BE STUCCOED AS SHOWN ON PROPOSED ELEVATIONS, TYP.
18. EXISTING CRAWL SPACE VENT TO BE REMOVED AND REPLACED WITH NEW SMART VENT AS SHOWN ON PROPOSED ELEVATIONS, TYP.
19. EXISTING FLAT CEMENT ROOF TILES & ROOFING TO BE REMOVED & REPLACED W/ NEW ALUMINUM STANDING SEAM ROOFING AS SHOWN ON PROPOSED ELEVATIONS, TYP.
20. EXISTING WOOD FENCE TO BE REMOVED & REPLACED W/ NEW FENCE AS SHOWN ON PROPOSED ELEVATIONS, TYP.
21. EXISTING CHAIN-LINK FENCE TO BE REMOVED & REPLACED W/ NEW FENCE AS SHOWN ON PROPOSED ELEVATIONS, TYP.
22. EXISTING CONCRETE ENTRY PORCH, STEPS & RAMP TO BE REMOVED & REPLACED W/ NEW ENTRY PORCH / STEPS AS SHOWN ON PROPOSED ELEVATIONS, TYP.
23. NEW STEEL FRAME COVERED TERRACE CANOPY W/ BLACKENED FINISH TO MATCH ENTRY CANOPY, TYP. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
24. EXISTING ALUMINUM & GLASS IMPACT RESISTANT WINDOW, FIXED GLAZING TO BE REMOVED & RELOCATED AS SHOWN ON PROPOSED ELEVATIONS, TYP.
25. RELOCATED ALUMINUM & GLASS IMPACT RESISTANT WINDOW, FIXED GLAZING AS SHOWN, TYP.
26. EXISTING CMU LOW WALL TO BE REMOVED, TYP.
27. EXISTING ALUMINUM & GLASS IMPACT RESISTANT WINDOW, FIXED GLAZING TO BE REMOVED, TYP.
28. EXISTING BRICK FIRE PLACE CHIMNEY TO BE REMOVED, TYP.
29. NEW CUSTOM BUILT-IN OUTDOOR BBQ, TYP.
30. NEW ALUMINUM PICKET FENCE PAINTED DARK GREEN TO BLEND WITH PROPOSED LANDSCAPING HEDGE, TYP.
31. NEW IMPACT RESISTANT HOLLOW METAL DOOR, PAINT FINISH, COLOR TBS, TYP. UNDER SEPARATE PERMIT. DOOR REQUIRES MIAMI-DADE NOA OR FLORIDA PRODUCT CONTROL APPROVAL. G.C. TO SUBMIT S&S SHOP DRAWINGS.
32. EXISTING EXTERIOR DOOR TO BE REMOVED, TYP.
33. EXISTING CONCRETE STEPS AND RAILING TO BE REMOVED, TYP.

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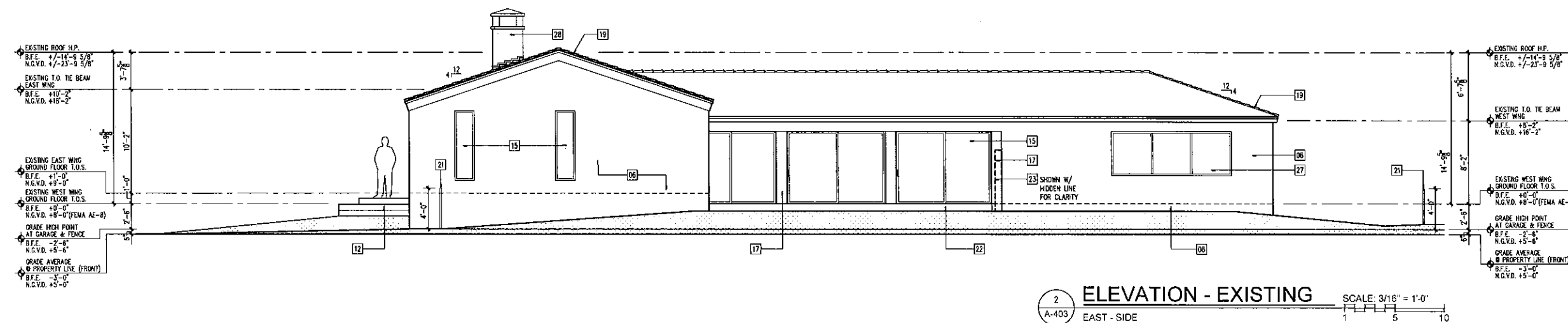
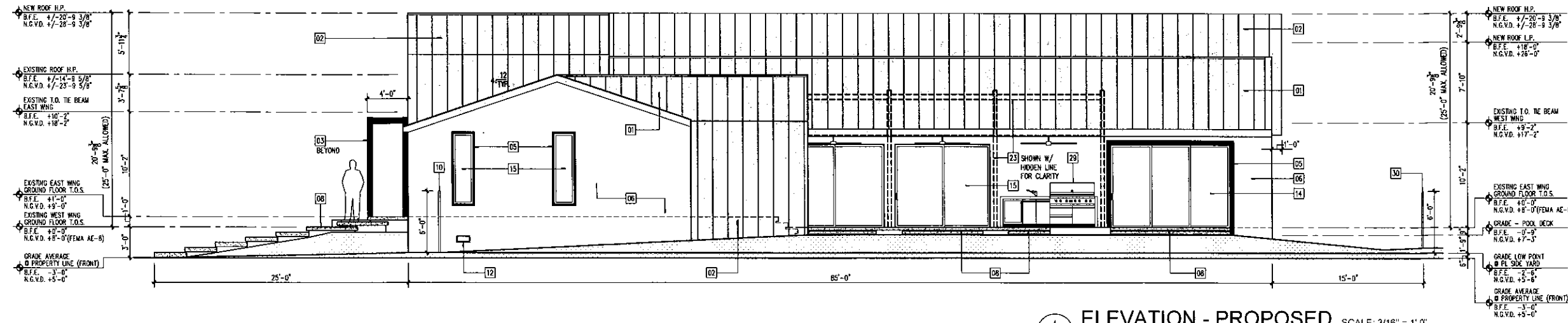
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- EXISTING BRICK FACING TO BE STUCCOED AS SHOWN ON PROPOSED ELEVATIONS. TYP.
- EXISTING CRAWL SPACE VENT TO BE REMOVED AND REPLACED WITH NEW SMART VENT AS SHOWN ON PROPOSED ELEVATIONS. TYP.
- EXISTING FLAT CEMENT ROOF TILES & ROOFING TO BE REMOVED & REPLACED W/ NEW ALUMINUM STANDING SEAM ROOFING AS SHOWN ON PROPOSED ELEVATIONS. TYP.
- EXISTING WOOD FENCE TO BE REMOVED & REPLACED W/ NEW FENCE AS SHOWN ON PROPOSED ELEVATIONS. TYP.
- EXISTING CHAIN-LINK FENCE TO BE REMOVED & REPLACED W/ NEW FENCE AS SHOWN ON PROPOSED ELEVATIONS. TYP.
- EXISTING CONCRETE ENTRY PORCH, STEPS & RAMP TO BE REMOVED & REPLACED W/ NEW ENTRY PORCH / STEPS AS SHOWN ON PROPOSED ELEVATIONS. TYP.
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- EXISTING ALUMINUM & GLASS IMPACT RESISTANT WINDOW, FIXED GLAZING TO BE REMOVED & RELOCATED AS SHOWN ON PROPOSED ELEVATIONS. TYP.
- RELOCATED ALUMINUM & GLASS IMPACT RESISTANT WINDOW. FIXED GLAZING AS SHOWN. TYP.
- EXISTING GOLF LOW WALL TO BE REMOVED. TYP.
- EXISTING ALUMINUM & GLASS IMPACT RESISTANT WINDOW. FIXED GLAZING TO BE REMOVED. TYP.
- EXISTING BRICK FIRE PLACE CHIMNEY TO BE REMOVED. TYP.
- NEW CUSTOM BUILT-IN OUTDOOR BBQ. TYP.
- NEW ALUMINUM PICKET FENCE PAINTED DARK GREEN TO BLEND WITH PROPOSED LANDSCAPING HEDGE. TYP.
- NEW IMPACT RESISTANT HOLLOW METAL DOOR. PAINT FINISH, COLOR TBS. TYP. UNDER SEPARATE PERMIT. DOOR REQUIRES MIAMI-DADE NOA OR FLORIDA PRODUCT CONTROL APPROVAL. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
- EXISTING EXTERIOR DOOR TO BE REMOVED. TYP.
- EXISTING CONCRETE STEPS AND RAILING TO BE REMOVED. TYP.

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1271 RESIDENCE REMODEL
1271 94TH STREET
BAY HARBOR ISLANDS, FL 33154

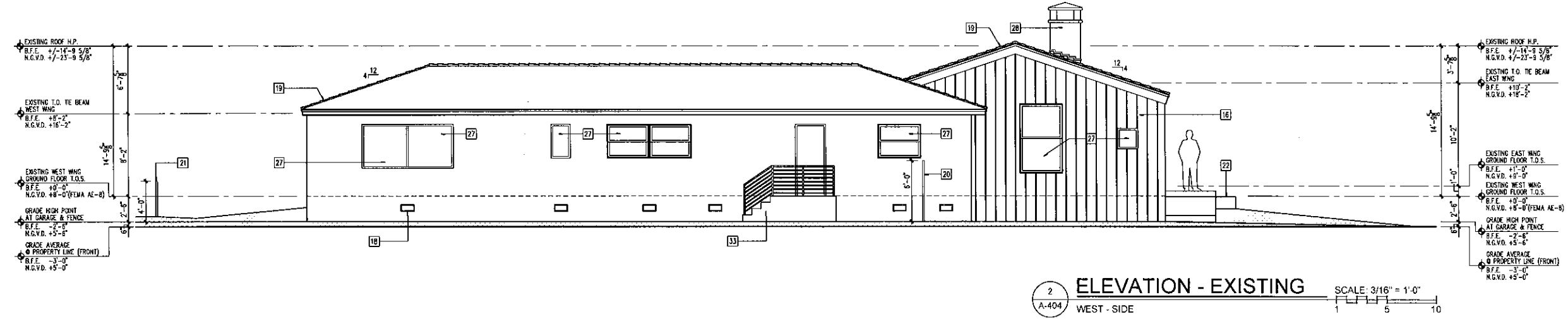
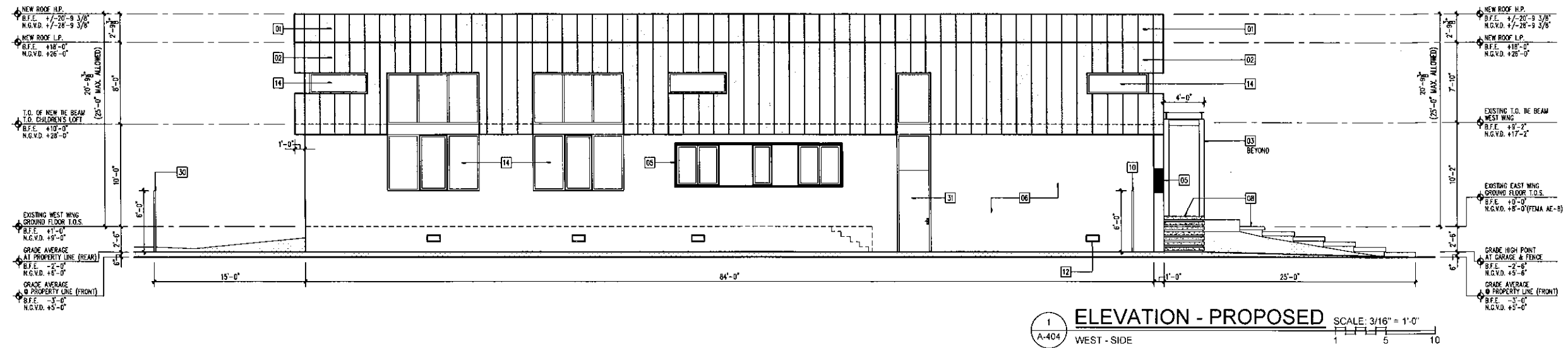
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I.B.H./ARB
Checked By
ARB

Scale
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Job Number
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Sheet Number
A-403



MATERIAL LEGEND:

1. NEW ALUMINUM STANDING SEAM METAL ROOFING. COLOR CHARCOAL OR GRAPHITE GRAY, KYNAR 500 FINISH, TYP. ROOFING UNDER SEPARATE PERMIT. REQUIRES MIAMI-DADE COUNTY NOA OR FLORIDA PRODUCT APPROVAL. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
2. NEW ALUMINUM STANDING SEAM METAL CLADDING TO MATCH ROOFING. TYP. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
3. NEW STEEL I-SECTION FRAME ENTRY PORCH/DOOR W/ BLACKENED FINISH, TYP. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
4. NEW CUSTOM ENTRY DOOR W/ CORTEN STEEL CLADDING. WEATHERED FINISH. REQUIRES MIAMI-DADE COUNTY NOA OR FLORIDA PRODUCT APPROVAL OR BE ENGINEERED TO COMPLY W/ WIND LOADS. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
5. NEW ALUMINUM BOX FRAME SURROUND AROUND WINDOW/DOOR. TYP. COLOR TO MATCH ENTRY CANOPY. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
6. SMOOTH STUCCO, PAINT FINISH, TYP. PATCH AND REPAIR EXISTING STUCCO TO MATCH NEW. TYP. G.C. TO PROVIDE FIELD MOCK UP FOR ARCHITECT APPROVAL PRIOR TO INSTALLATION OF STUCCO.
7. NEW SIMULATED WOOD BRIDGE & DECKING OVER ENTRY POND. COLOR MATTE GREY WEATHERED FINISH TBS. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
8. NEW SITE CAST, EXPOSED CONCRETE STEPS, TYP.
9. NEW SIMULATED WOOD, SLIDING SUN SCREEN "BRISÉ-SOLEIL" IN ALUMINUM FRAME & TRACK. COLOR MATTE GREY WEATHERED FINISH TBS. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
10. NEW CORTEN STEEL FENCE, WEATHERED FINISH TO MATCH ENTRY DOOR. TYP. FENCE UNDER SEPARATE PERMIT. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
11. NEW SITE CAST DEBOSSED ADDRESS NUMBERS IN VERTICAL FACE OF SLAB. FONT TO BE NEUTRA TYPEFACE 4" TALL.
12. NEW 8" X 16" DUAL FUNCTION (FLOOD/CRAWL SPACE/ GARAGE VENTILATION) VENT, TYP. MANUF. BY SMART VENT. COLOR TBS.
13. NEW MOTORIZED ALUMINUM / GLASS GARAGE DOOR. ALUMINUM COLOR CLEAR ANODIZED TO MATCH WINDOWS - GLASS TO BE TRANSLUCENT (FROSTED OR MILK) FINISH. DOOR UNDER SEPARATE PERMIT. REQUIRES MIAMI-DADE COUNTY NOA OR FLORIDA PRODUCT APPROVAL. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
14. NEW ALUMINUM & GLASS IMPACT RESISTANT WINDOW, FIXED GLAZING, FRENCH DOOR OR SLIDING GLASS DOOR, TYP. COLOR AND FINISH TO MATCH EXISTING GLAZING TO REMAIN. WINDOWS UNDER SEPARATE PERMIT. REQUIRES MIAMI-DADE COUNTY NOA OR FLORIDA PRODUCT CONTROL APPROVAL. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
15. EXISTING ALUMINUM & GLASS IMPACT RESISTANT WINDOW, FIXED GLAZING OR SLIDING GLASS DOOR TO REMAIN, TYP.
16. EXISTING SMOOTH STUCCO PAINT FINISH W/ VERTICAL REVEALS TO BE CLAD W/ ALUMINUM AS SHOWN ON PROPOSED ELEVATIONS, TYP.
17. EXISTING BRICK FACING TO BE STUCCOED AS SHOWN ON PROPOSED ELEVATIONS, TYP.
18. EXISTING CRAWL SPACE VENT TO BE REMOVED AND REPLACED WITH NEW SMART VENT AS SHOWN ON PROPOSED ELEVATIONS, TYP.
19. EXISTING FLAT CEMENT ROOF TILES & ROOFING TO BE REMOVED & REPLACED W/ NEW ALUMINUM STANDING SEAM ROOFING AS SHOWN ON PROPOSED ELEVATIONS, TYP.
20. EXISTING WOOD FENCE TO BE REMOVED & REPLACED W/ NEW FENCE AS SHOWN ON PROPOSED ELEVATIONS, TYP.
21. EXISTING CHAIN-LINK FENCE TO BE REMOVED & REPLACED W/ NEW FENCE AS SHOWN ON PROPOSED ELEVATIONS, TYP.
22. EXISTING CONCRETE ENTRY PORCH, STEPS & RAMP TO BE REMOVED & REPLACED W/ NEW ENTRY PORCH / STEPS AS SHOWN ON PROPOSED ELEVATIONS, TYP.
23. NEW STEEL FRAME COVERED TERRACE CANOPY W/ BLACKENED FINISH TO MATCH ENTRY CANOPY, TYP. G.C. TO SUBMIT S&S ENG. SHOP DWGS.
24. EXISTING ALUMINUM & GLASS IMPACT RESISTANT WINDOW, FIXED GLAZING TO BE REMOVED & RELOCATED AS SHOWN ON PROPOSED ELEVATIONS, TYP.
25. RELOCATED ALUMINUM & GLASS IMPACT RESISTANT WINDOW, FIXED GLAZING AS SHOWN, TYP.
26. EXISTING CML LOW WALL TO BE REMOVED, TYP.
27. EXISTING ALUMINUM & GLASS IMPACT RESISTANT WINDOW, FIXED GLAZING TO BE REMOVED, TYP.
28. EXISTING BRICK FIRE PLACE CHIMNEY TO BE REMOVED, TYP.
29. NEW CUSTOM BUILT-IN OUTDOOR BBQ, TYP.
30. NEW ALUMINUM PICKET FENCE PAINTED DARK GREEN TO BLEND WITH PROPOSED LANDSCAPING HEDGE, TYP.
31. NEW IMPACT RESISTANT HOLLOW METAL DOOR, PAINT FINISH, COLOR TBS, TYP. UNDER SEPARATE PERMIT. DOOR REQUIRES MIAMI-DADE NOA OR FLORIDA PRODUCT CONTROL APPROVAL. G.C. TO SUBMIT S&S SHOP DRAWINGS.
32. EXISTING EXTERIOR DOOR TO BE REMOVED, TYP.
33. EXISTING CONCRETE STEPS AND RAILING TO BE REMOVED, TYP.

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1271 RESIDENCE REMODEL

1271 94TH STREET

BAY HARBOR ISLANDS, FL 33154

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PLANTLIST						
NO.	SYM.	NATIVE #	COMMON NAME	BOTANICAL NAME	SPECIFICATION/REMARKS	DISPOSITION
EXISTING						
01	SP		SABAL PALM	Sabal palmetto	22' x 10'spr., 10" cal.	REMOVE
02	AM3		CHRISTMAS PALM	Adonidia merrillii	22' x 15'spr., 6", 6", 5" cal.	REMAIN
03	TI		TAMARIND	Tamarindus indica	30' x 26'spr., 16" cal.	REMAIN
04	TI		TAMARIND	Tamarindus indica	30' x 26'spr., 16" cal.	REMAIN
05	VM2		MONTGOMERY PALM	Veitchia montgomeryana	25' x 15'spr., 7", 7" cal.	REMAIN
06	VM3		MONTGOMERY PALM	Veitchia montgomeryana	25' x 15'spr., 7", 7", 7" cal.	REMAIN
07	ACO		PAUROTIS PALM	Acoelorrhophe wrightii	12' x 12'spr., multi cal.	REMAIN
08	PE		SOLITAIRE PALM	Ptychosperma elegans	22' x 8'spr., 3" cal.	REMAIN
09	CN		COCONUT PALM	Cocos nucifera	25' x 20'spr., 5" cal.	REMAIN
10	PE		SOLITAIRE PALM	Ptychosperma elegans	20' x 8'spr., 4" cal.	REMOVE
11	CN		COCONUT PALM	Cocos nucifera	25' x 20'spr., 7" cal.	REMAIN
12	CN		COCONUT PALM	Cocos nucifera	20' x 20'spr., 6" cal.	REMAIN
13	CN		COCONUT PALM	Cocos nucifera	22' x 20'spr., 6" cal.	REMAIN
14	CN		COCONUT PALM	Cocos nucifera	20' x 20'spr., 6" cal.	REMAIN
15	RE		ROYAL PALM	Roystonea elata	32' x 22'spr., 16" cal.	REMAIN
16	MI		MANGO	Mangifera indica	30' x 25'spr., 10", 8", 6" cal.	REMAIN
17	PE2		SOLITAIRE PALM	Ptychosperma elegans	22' x 15'spr., 4", 4" cal.	REMAIN
18	CN		COCONUT PALM	Cocos nucifera	25' x 20'spr., 6" cal.	REMOVE
19	CN		COCONUT PALM	Cocos nucifera	22' x 20'spr., 6" cal.	REMOVE
20	CN		COCONUT PALM	Cocos nucifera	25' x 20'spr., 6" cal.	REMAIN
21	RE		ROYAL PALM	Roystonea elata	18' x 15'spr., 7" cal.	REMAIN
22	ARE		ARECA PALM	Dypsis lutescens	20' x 15'spr., multi cal.	REMAIN
23	ARE		ARECA PALM	Dypsis lutescens	20' x 15'spr., multi cal.	REMAIN
24	ARE		ARECA PALM	Dypsis lutescens	20' x 15'spr., multi cal.	REMAIN
25	ARE		ARECA PALM	Dypsis lutescens	20' x 15'spr., multi cal.	REMAIN
26	ARE		ARECA PALM	Dypsis lutescens	20' x 15'spr., multi cal.	REMAIN
27	ARE		ARECA PALM	Dypsis lutescens	20' x 15'spr., multi cal.	REMAIN
28	ARE		ARECA PALM	Dypsis lutescens	20' x 15'spr., multi cal.	REMAIN
29	ARE		ARECA PALM	Dypsis lutescens	20' x 15'spr., multi cal.	REMAIN
30	ARE		ARECA PALM	Dypsis lutescens	20' x 15'spr., multi cal.	REMAIN
31	ARE		ARECA PALM	Dypsis lutescens	20' x 15'spr., multi cal.	REMAIN
32	FB		FIGUS	Ficus benjamina	35' x 25'spr., 20" cal.	REMAIN
33	ARE		ARECA PALM	Dypsis lutescens	20' x 15'spr., multi cal.	REMAIN
PROPOSED TREES						
34		4	STREET TREE SPECIES TO COMPLY WITH TOWN MASTER PLAN			NEW
35	CD	YES	4	PIGEON PLUM	Coccoloba diversifolia	12' x 6'spr., 2 1/2" cal.
SHRUBS						
36	CR5	100	SMALL-LEAVED CLUSIA	Clusia guttifera	6' ht., 36" O.C., FTB.	NEW
37	MS	YES	8	POWDER PUFF	Mimosa strigillosa	NEW
38	MC	YES	16	PINK MUHLY	Muhlenbergia capillaris	3' ht., 36" O.C., FTB.
39	NB	YES	9	FOXTAIL FERN	Nephrolepis biserrata	3' ht., 36" O.C., FTB.
SOD						
CEL	4,582 S.F.		ST. AUGUSTINE-FLORATAN	Stenotaphrum secundatum	SOLID SOD, price per s.f.	NEW
MULCHING:						
			"PINE BARK" MULCH	3" DEPTH, SPREAD IN PLACE, ATLAS PEAT AND SOIL		NEW
				PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION		
			----	TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE, CONTRACTOR TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS UPON FINAL INSPECTION AND APPROVAL.		NEW

Town of Bay Harbor Islands Landscape Code (Sec. 24-16) Requirements Legend

Residential - Single-Family and Two-Family Home Sites

A. Shade Trees Required*

	Required	Provided
1. Single-Family Non-Waterfront Lot	8	8
2. Single-Family Waterfront Lot	N/A	N/A
3. Two-Family Lot	N/A	N/A
4. Number of Shade Trees in Front Yard	2	2
5. Native Species Required - 50%	4	7
6. Drought Tolerant and Low Maintenance Species Require - 50%	4	7

B. Shrubs Required**

1. Single-Family Non-Waterfront Lot	80	133
2. Single-Family Waterfront Lot	N/A	N/A
3. Two-Family Lot	N/A	N/A
4. Native Species Required - 30%	24	33
5. Drought Tolerant and Low Maintenance Species Require - 50%	40	133

C. Maximum Lawn Area Allowed***

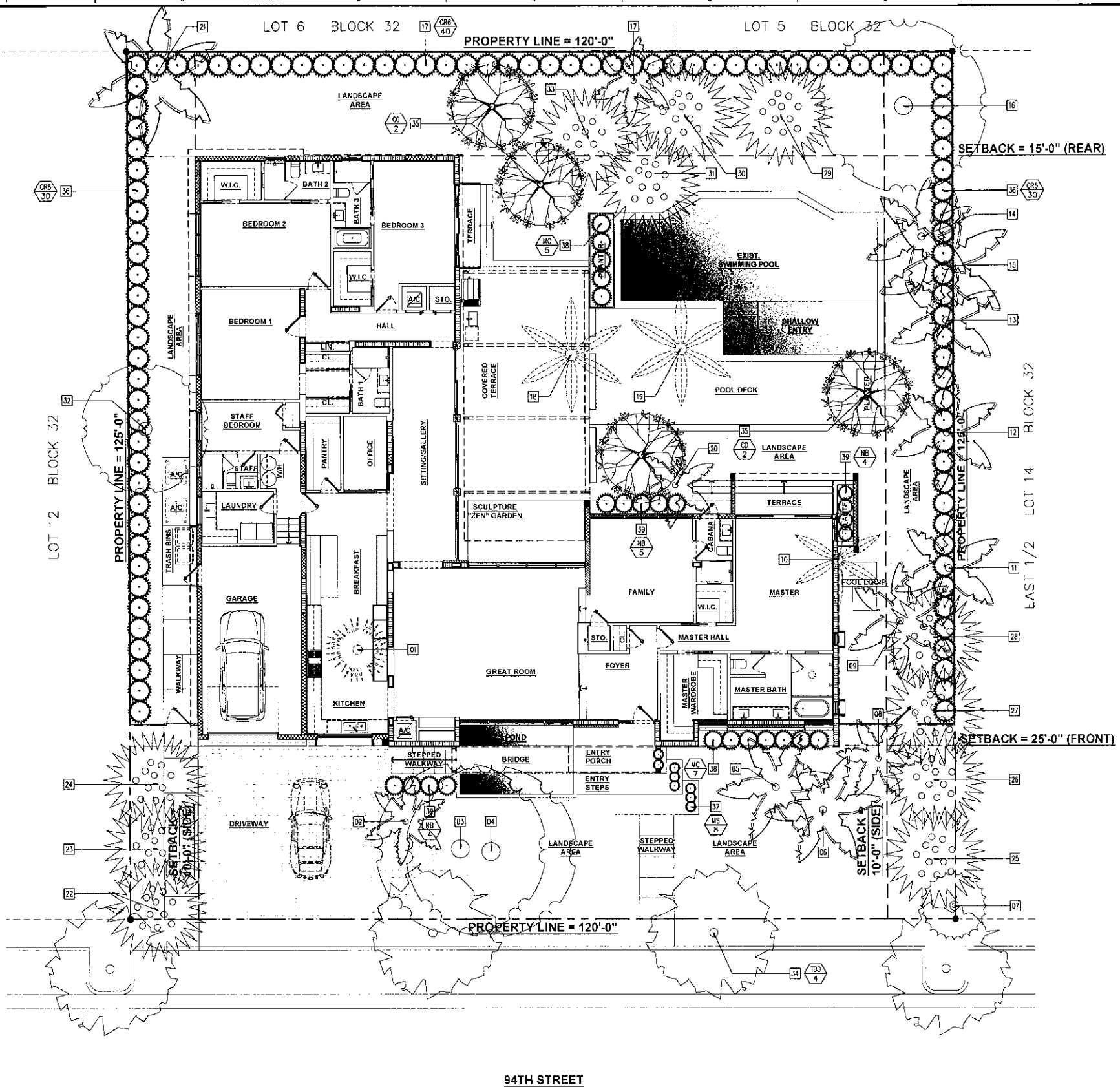
60% of Net Lot Area	7,500 SF (Max) 4,582 SF (30%)
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Notes

* Required Shade Trees at time of planting must be a minimum of 12 feet in overall height; have 4 feet of clear wood before branching, and have a 2 1/2 inch cal per. Palm Trees can be substituted at a 3:1 ratio (except approved larger varieties) to a maximum of 25% of the required trees.

** Required Shrubs at time of planting must be a minimum of 24 inches in overall height; 4 used as a visual screen must be a minimum of 36 inches in overall height.

*** Miami-Dade County Landscape Ordinance Sec. 18A-5 (A)(5)



NOTES:

- THE CONTRACTOR SHALL REMOVE ALL TREES AND HEDGES SCHEDULED FOR REMOVAL AS PER PLANS AND AS APPROVED BY THE LOCAL GOVERNING AGENCIES (MIAMI-DADE COUNTY DEPT.). TREE, PALM AND HEDGE MATERIAL SHALL INCLUDE ALL TRUNKS, STUMPS AND ROOTS. ALL EXCESS DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED SITE. ALL HOLES AND DEPRESSIONS SHALL BE BACKFILLED WITH CLEAN, APPROVED BACKFILL.
- LOCATIONS SHOWN FOR THE EXISTING TREES AND PALMS ARE APPROXIMATE. EXACT LOCATIONS ARE TO BE FIELD VERIFIED BY A REGISTERED LAND SURVEYOR (RLS) PRIOR TO ANY PAVING OR ANY OTHER SUCH WORK WHICH WILL BE IMPACTED BY ANY TREES OR PALMS TO REMAIN.
- ALL INVASIVE EXOTIC VEGETATION AND ANY ANY OTHER PLANTS LISTED AS CATEGORY I, ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF FLORIDA'S MOST INVASIVE SPECIES SHALL BE REMOVED FROM THE SITE AND MAINTENANCE SHALL GUARANTEE CONTROL OF RE-INVASION.



LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

STORM DRAINAGE NOTE:
ALL STORM DRAINAGE WILL BE RETAINED ON SITE & NOT ALLOWED TO DISCHARGE ONTO ADJACENT PROPERTIES

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1271 RESIDENCE REMODEL
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**TOWN OF BAY HARBOR ISLANDS
COMMUNITY DEVELOPMENT
MEMORANDUM**

To: Planning and Zoning Board
Town of Bay Harbor Islands

From: Michael J. Miller, AICP
MMPA-Consultant Town Planner

Date: August 21st, 2017

Subject: Single-Family Residence - Additions & Renovations
1271 94th Street
Bay Harbor Islands Acct. No.: MB2017-129
MMPA Acct. No.: 01-0702-1060

RECOMMENDED ACTION

MMPA recommends the Planning and Zoning Board review the contents of this staff report, the latest submitted site plan and architectural plans (dated 8/07/17) and if felt to be acceptable, **APPROVE** the plans as submitted or with modifications as deemed appropriate and/or with conditions, to allow for additions & renovations for an existing single-family home located at 1271 94th Street.

GENERAL PROJECT INFORMATION

Land Use Designation: L – Low Density Residential
Zoning District: RD Single-Family District
General Location: 1271 94th Street
Legal Description: Lot 13 & W ½ Lot 14 of Block 32, “Bay Harbor Island” according to the plat thereof, as recorded in Plat Book 46, at Page 5 of the Public records of Miami-Dade County.

PROJECT DESCRIPTION

In late 2015 the Town reviewed / approved plans for a new single-family home on the subject property. The owners decided not to proceed with that project and the site plan approval expired. The same project architect, Alain R. Bartoli, as agent for the same property owners, Sebastian DeTuiello / Carla Lowenstein, has submitted an application for extensive additions and renovations to the existing single-family residence on a non-waterfront lot located at 1271 94th Street.

**Town of Bay Harbor Islands
Planning and Zoning Board Staff Report
Proposed Single-Family Residence – Additions & Renovations
1271 94th Street
August 21st, 2017
Page 2**

The existing one-story home has 3,034 sq. ft. of A/C floor area. A previous vehicle garage was converted into living space some years ago. The renovated home will add 1,139 sq. ft. of new A/C floor area plus a 456 sq. ft. one-car garage. In total, the renovated home will have 4,353 sq. ft. of A/C floor area plus 456 sq. ft. of garage or 4,809 total sq. ft. The applicant is proposing keeping the swimming pool as-is but expanding the swimming pool deck, as well as a new covered terrace in the rear of the property. The residence will have five (5) bedrooms, six (6) full bathrooms and will include numerous interior renovations for better functionality and for the owner's art collection. The height of the renovated structure will be 20'-9" above Base Flood Elevation (BFE) which is less than the maximum allowed for a sloped roof structure within the RD Single-Family District. The applicant is proposing one driveway connection to 94th Street. Extensive landscaping currently exists on the site much of which will be incorporated into the new landscape design. The new landscape design meets the minimum Miami-Dade County Landscape Code and Town Supplemental Landscape Code requirements, including the use of native and drought tolerant plant materials.

The Historical Structure Survey for the Town of Bay Harbor Islands list the existing structure as a Masonry Vernacular design that was built in 1955 (FMSF No. DA10250).

The renovated single-family home includes a modern design with a new aluminum standing seam metal roof and exterior cladding. The existing roof material to be replaced is concrete tile. Sliding sun screens are proposed over some of the window openings. A series of planters, gardens areas and ponds are proposed. A grass-paver driveway design is proposed as well. The pool deck will be expanded and covered with a simulated wood finish.

PROJECT HISTORY

The applicant met with MMPA staff and presented an initial set of plans that were re-reviewed by MMPA when the formal submission was made for consistency with the Town Code requirements. The plans were very complete and required very little comment / corrections.

COMPREHENSIVE PLAN / ZONING

Comprehensive Plan – The property has a Future Land Use Map (FLUM) designation of “Low Density Residential”. The maximum allowable density is six (6) DUA. The proposed use and density of the property would be consistent with the applicable FLUM designation of the property.

Land Development Regulations / Zoning Code –The property has a Zoning Classification of RD Single Family Zoning District. The proposed use and density of the property is consistent with this zoning classification. The following Zoning and Planning sections of the Code apply to this proposal: Section 23-3 (Use Regulations RD Single-Family District), Section 23-9 (Minimum Size of Living Units), Section 23-10 (Minimum Size of Building Lot), Section 23-11(A) (Land Development Regulations RD Single-Family Area) and Section 23-12 (Land Development Regulations General Provisions). In addition, the Town has separate regulations for landscaping, driveways and building material regulations.

PLATTING

The site will not require re-platting, as the site is currently platted as described above under the legal description. The site (1.5 lots) appears to have a Unity of Title already. This must be confirmed prior to the issuance of building permits. If not a Unity of Title document acceptable to the Town Attorney must be submitted / approved / recorded in the public records.

SUMMARY / SITE PLAN COMMENTS

The latest site plan and architectural plans submitted for additions / renovations to the existing single-family home located at 1271 94th Street meet or exceed all Town Land Development and Landscape Code requirements. The applicant previously submitted plans that were reviewed and commented on by MMPA and all previous comments and issues have been addressed by the current plans.

The following conditions of approval are recommended:

- 1) This approval is based on the plans prepared by Alain R. Bartoli, dated August 7th, 2017 with any modifications required by the PZ Board. All modifications to the above plans shall be reviewed by Town staff and may require re-approval by the PZB if felt to be substantial.
- 2) Verification of the existence of a Unity of Title is required prior to the issuance of building permits. If a Unity of Title does not exist this must be approved / recorded prior to the issuance of building permits.