

When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don't turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

**TOWN OF BAY HARBOR ISLANDS
PLANNING AND ZONING BOARD**

August 15, 2017

FINAL AGENDA

CALL TO ORDER: Set for 7:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

1. Request for approval for an addition for a single family home for Rafael and Rebeca Kravec located at 9555 Broadview Terrace lot 7 of Block 31. The proposed addition and renovation of 1,037 sq. ft. will total 3,727 square feet of living space and a porch on the street side of the property. The residence will have four (4) bedrooms, four (4) full bathrooms, one (1) powder room and a playroom. Enclosed please find the site plan, elevations and landscape plan (Item 1A).

** Staff Review:* Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Ms. Ana Carolina Rocha.,

ADJOURNMENT

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AGENDA ITEM REPORT

August 15, 2017

ITEM NUMBER: 1.

ITEM: Request for approval for an addition for a single family home for Rafael and Rebeca Kravec located at 9555 Broadview Terrace lot 7 of Block 31. The proposed addition and renovation of 1,037 sq. ft. will total 3,727 square feet of living space and a porch on the street side of the property. The residence will have four (4) bedrooms, four (4) full bathrooms, one (1) powder room and a playroom. Enclosed please find the site plan, elevations and landscape plan (Item 1A).

DESCRIPTION:

RECOMMENDED ACTION:

Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Ms. Ana Carolina Rocha.,

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Martinez

ATTACHMENTS

1.	Staff Report	9555 Staff Report Aug 4 2017.pdf
2.	Survey	9555BRDVTERRSURVEY.pdf
3.	Site Plan & Elevation	9555BrdvTerr8.15.17.pdf

**TOWN OF BAY HARBOR ISLANDS
COMMUNITY DEVELOPMENT
MEMORANDUM**

To: Planning and Zoning Board
Town of Bay Harbor Islands

From: Michael J. Miller, AICP *MDM*
Consultant Town Planner

Date: August 4th, 2017

Subject: Proposed Single-Family Residence Addition / Renovations
9555 Broadview Terrace
Bay Harbor Islands Acct. No.: MB2015-164
MMPA Acct. No.: 01-0702-1055

RECOMMENDED ACTION

MMPA recommends the Planning and Zoning Board review the contents of this staff report, the latest revised site plan and architectural plans (dated 06/29/17) and if felt to be acceptable, **APPROVE** the plans as submitted or with modifications as deemed appropriate and/or with conditions, to allow for the construction of additions/renovations to a single-family home located at 9555 Broadview Terrace.

GENERAL PROJECT INFORMATION

Land Use Designation: L – Low Density Residential
Zoning District: RD Single-Family District
General Location: 9555 Broadview Terrace
Legal Description: Lot 7 of Block 31, "Bay Harbor Island" according to the plat thereof, as recorded in Plat Book 46, at Page 5 of the Public Records of Miami-Dade County.

PROJECT DESCRIPTION

The project architect, Luis La Rosa Inc., as agent for the property owner, Rafael Kravec, has submitted an application for additions and renovations of an existing single-family residence on a non-waterfront lot located at 9555 Broadview Terrace. The existing one-story home has an existing square footage of 2,690 sq. ft. After the renovation, the home will have 3,727 sq. ft. of A/C living space with a porch on the "street side" (Kane Concourse) of the property. The residence will have four (4) bedrooms, four (4) full bathrooms, (1) powder room and a playroom.

**Town of Bay Harbor Islands
Planning and Zoning Board Staff Report
Single-Family Residence Additions / Renovations
9555 Broadview Terrace
August 4th, 2017
Page 2**

The overall height of the structure will be 15'-7" above Base Flood Elevation (BFE), which is below the maximum 30'-0" allowed within the RD Single-Family District with additional setbacks. The applicant is proposing two (2) driveways connection to Broadview Terrace. Extensive landscaping is proposed that meets the Miami-Dade County Landscape Code and Town Supplemental Landscape Code requirements, including the use of native and drought tolerant plant materials.

The current draft of the Street Tree Master Plan identifies the tree species along Broadview Terrace as Crape Myrtle under power lines and the Landscape Plan dated 8/1/17 identifies all the correct required species along the street.

The Historical Structure Survey for the Town of Bay Harbor Islands does not list the existing structure as it was not 50-years old at the time the survey was completed. The existing structure is to be demolished and the new single-family home will be a Spanish / Mediterranean design.

PROJECT HISTORY

In early 2016 the PZB reviewed / approved a new 2-story single-family for this site. The owners decided to not pursue the construction of a new residence but rather decided to renovate the existing home with additions. The applicant submitted an initial set and several revised sets of plans that were reviewed by MMPA for consistency with the Town Code requirements. Comments were given to the applicant each time and the current submitted plans are reflective of all requested changes.

COMPREHENSIVE PLAN / ZONING

Comprehensive Plan – The property has a Future Land Use Map (FLUM) designation of "Low Density Residential". The maximum allowable base density is six (6) DUA. The proposed use and density of the property would be consistent with the applicable FLUM designation of the property.

Land Development Regulations / Zoning Code –The property has a Zoning Classification of RD Single Family Zoning District. The proposed use and density of the property is consistent with this zoning classification. The following Zoning and Planning sections of the Code apply to this proposal: Section 23-3 (Use Regulations RD Single-Family District), Section 23-9 (Minimum Size of Living Units), Section 23-10 (Minimum Size of Building Lot), Section 23-11(A) (Land Development Regulations RD Single-Family Area) and Section 23-12 (Land Development Regulations General Provisions). In addition, the Town has separate regulations for landscaping, driveways and building material regulations.

PLATTING

The site will not require re-platting, as the site is currently platted as described above under the legal description.

SUMMARY / SITE PLAN COMMENTS

In early 2016 the PZB reviewed / approved a new 2-story single-family for this site. The owners decided to not pursue the construction of a new residence but rather decided to renovate the existing home with additions. During the 2016 PZB review an exterior patio was proposed on the north side of the home. A loggia is now proposed over that patio area. The main house and loggia (trellis) meet the minimum setback requirements (40' main house).

The latest site plan and architectural plans submitted for the renovation of an existing single-family home located at 9555 Broadview Terrace meet or exceed all minimum Town Land Development and Landscape Code requirements. The applicant previously submitted several sets of plans that were reviewed and commented on by MMPA, and all previous comments and issues have been addressed by the current plans.

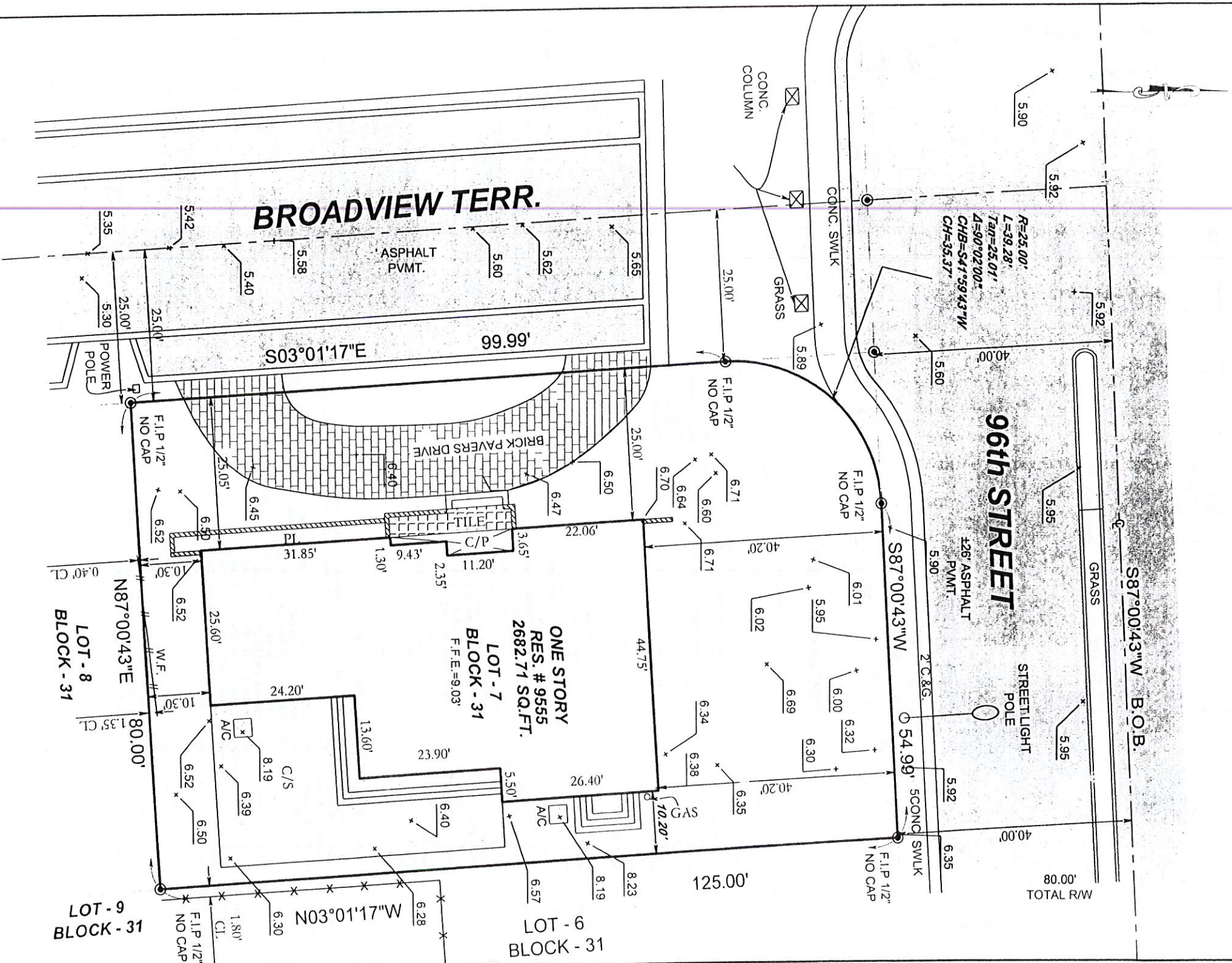
It should be noted that there will be no solid fence in this renovation along the north side of the property (along Kane Concourse), only a dense hedge. The previous plans included a fence / wall.

The following conditions of approval are recommended:

- 1) This approval is based on the plans prepared by LLR Architects Inc. dated June 29th, 2017 and Landscape Plans dated August 1st, 2017 with any modifications required by the PZ Board. All modifications to the above plans shall be reviewed by Town staff and may require re-approval by the PZB if felt to be substantial.

BOUNDARY SURVEY

SCALE = 1" = 20'



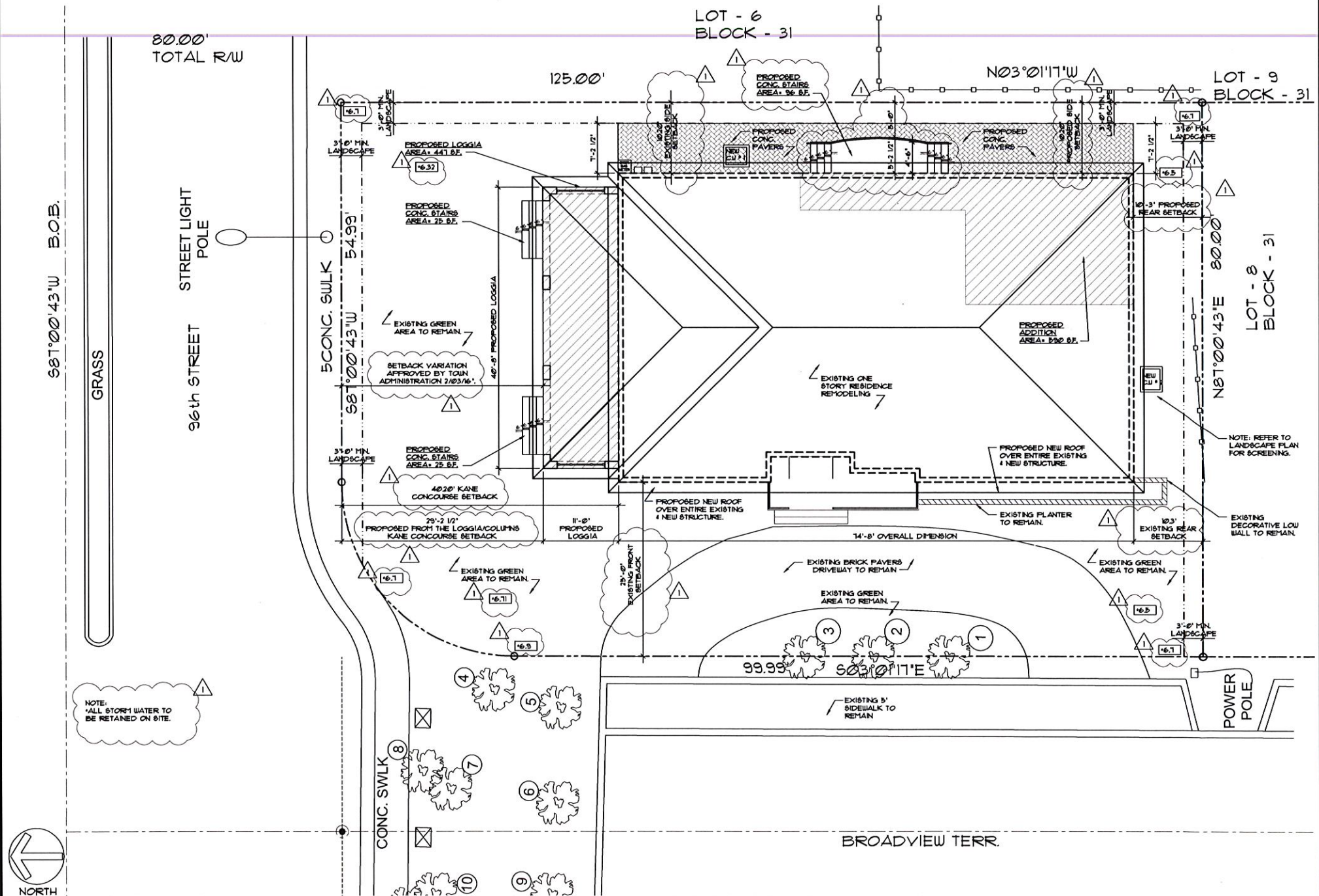
SURVEYOR'S NOTE:

- There may be Easements recorded in the Public Records not shown on this Survey.



1. WORK PERFORMANCE SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2014, (INCLUDING SECTION 515: ACCESSIBILITY BY HANDICAPPED PERSONS), ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS, NATIONAL
2. THE GENERAL NOTES AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THE GENERAL CONDITIONS IN CASE OF CONFLICT.
3. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THE GENERAL NOTES AND DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERRABLE FROM THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH EXISTING CONDITIONS.
5. TURNKEY FINISHED SPACE TO THE OWNER ANY AND ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE REPORTED TO THE OWNER'S ARCHITECT PRIOR TO COMMENCEMENT. ANY WORK THAT PROCEEDED'S OTHERWISE SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR.
6. ALL PERMITS, INSPECTIONS, AND APPROVALS, SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR FOR ALL DISCIPLINES OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF INSPECTIONS.
7. ALL COMPLETED WORK SHALL BE PROTECTED AT ALL TIMES AS THE CONTRACTOR IS RESPONSIBLE FOR THE FULL REPLACEMENT COST OF ALL DAMAGED WORK CAUSED BY HIS OPERATIONS. CONTRACTORS SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY.
8. BEFORE COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER'S CURRENT INSURANCE CERTIFICATION FOR WORKMAN COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THE CONTRACTOR SHALL INDEMNIFY THE LANDLORD, OWNER, AND ARCHITECT FOR ANT AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY, ARISING OUT OF WORK OF THE CONTRACTOR.
9. ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOG IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, FINISHED AND ALIGNING ALL SURFACES WHERE APPLICABLE TO AFFORD A MATCHING, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT OR REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES. ALL ADJACENT SURFACES SHALL BE LEFT AS THEY APPEAR PRIOR TO COMMENCEMENT OR REFINISHED AS REQUIRED TO LIKE-NEW CONDITION.
10. THE CONTRACTOR SHALL GUARANTEE IN WRITING, IN FORM ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIAL INSTALLED BY HIM FOR A PERIOD OF NOT LESS THAN ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COSTS TO THE OWNER. SUBSTANTIAL COMPLETION SHALL BE ATTAINED WHEN ALL PHASES OF THE WORK ARE COMPLETED AND THE SPACE CAN BE USED FOR WHAT IS INTENDED (EXCLUDING PUNCH LIST ITEMS).
11. ALL WORK AND/OR MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OR STANDARDS.
12. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF ALL TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.
13. SURVEYOR TO LAY OUT ADDITION TO CONFIRM CONFORMANCE WITH SETBACKS BEFORE CONSTRUCTION STARTS.

ZONING DISTRICT-RD SINGLE FAMILY RESIDENTIAL DISTRICT		
SETBACK	REQ.	PROVIDED
THE WESTERN 'FRONT'	25'	25.00'
KANE CONCOURSE	10'	40.20'
FROM THE LOGGIA/COLUMNS KANE CONCOURSE	10'	29'-2½"
THE EASTERN 'SIDE'	10'	10.20'
THE SOUTHERN 'REAR'	10'	10.30'



REVISION:	B
06/29/11 RESPONSE TO COMMENTS	C

PROPOSED RESIDENCE FOR:
GOLDENBERG
9555 BROADVIEW TERRACE
BAY HARBOR FLORIDA

SEAL: AR 0017852
LUIS LA ROSA

DRAWN	C.C.
CHECKED	LLR
DATE	05/17/11
SCALE	AS NOTED
DB. NO.	017-018
SHEET	

SP-1.

OF SHEET

- 1) THE WORK SHALL INCLUDE THE FURNISHING OF ALL MATERIALS, CUTTING, EXTENDING, CONNECTING, REPAIRING, ADAPTING, AND OTHER WORK COINCIDENTAL HERETO, TOGETHER WITH SUCH TEMPORARY INSTALLATIONS AS MAY BE NECESSARY TO SATISFY THE DEMOLITION PROGRAM. APPROVAL SHALL BE SECURED FROM THE OWNER PRIOR TO CUTTING/DRILLING OF ANY STRUCTURAL SUPPORT.
- 2) ALL BUILDING CONSTRUCTION AFFECTED BY THE REMOVAL, RELOCATION, INSTALLATION OF ANY PIECE OF EQUIPMENT SHALL BE REPAIRED AND FINISHED AS REQUIRED TO MATCH EXISTING CONDITION OR AS DIRECTED BY THE ARCHITECTURAL DRAWINGS, SPECIFICATIONS, OR OWNER'S REPRESENTATIVE.
- 3) CONTRACTOR SHALL DEMOLISH ANY INTERIOR FINISHES TO COMPLETE THE NECESSARY AND PROPOSED WORK AS DIRECTED BY THE ARCHITECTURAL DRAWINGS, INTERIOR DESIGN DRAWINGS, SPECIFICATIONS, OR BY OWNER REPRESENTATIVE.
- 4) EXISTING FIXTURES, EQUIPMENT, AND ALL DEBRIS WHICH ARE REQUIRED TO BE REMOVED SHALL BE REMOVED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE WITH OWNER REPRESENTATIVE PRIOR TO REMOVAL OF SUCH.
- 5) ALL ELECTRICAL AND PLUMBING LINES WHICH REQUIRE REMOVAL OR ALTERATION ARE TO BE DONE SO BY THE CONTRACTOR. LINES TO BE CAPPED AND PREPARED FOR REMOVAL OR REROUTING AS SPECIFIED ON THE PLANS.
- 6) REMOVE ALL UTILITIES IN DEMOLITION AREAS AND CONSTRUCTION AREAS IN A MANNER, AND IN THE TIME, SATISFACTORY TO THE UTILITY COMPANY DESIRED TO EFFECT THE REMOVAL OF THE MATERIALS, THEY SHALL BE PERMITTED TO DO SO.
- 7) COVER ITEMS AS SPECIFIED BY OWNER REPRESENTATIVE TO PROTECT FROM DUST AND DEBRIS.
- 8) SALVAGED MATERIALS SHALL BE REMOVED, CLEANED, AND PREPARED FOR RE-INSTALLATION. OWNER MAINTAINS OWNERSHIP OF ALL MATERIALS UNLESS OTHERWISE SPECIFIED.
- 9) WHERE EXISTING WALLS, CEILINGS, AND FIXTURES HAVE BEEN REMOVED, AREAS SHALL BE PATCHED TO MATCH EXISTING FINISHES, OR FINISHES TO BE ADDED AS PER PLANS, OR AS PER OWNER'S REP.
- 10) WHERE EXISTING WORK IS DAMAGED IN THE EXECUTION OF THIS CONTRACT, OR WHERE OPENINGS ARE LEFT DUE TO THE REMOVAL OF PIPES, EQUIPMENT OR APPARATUS, THE SAME SHALL BE REPAIRED OR CLOSED UP TO CORRESPOND IN MATERIAL, QUALITY, SHAPE AND FINISH WITH THAT OF SIMILAR AND ADJOINING WORK, UNLESS OTHERWISE CALLED FOR. WHERE DAMAGE IS UNREPAIRABLE, NEW ITEMS OR EQUIPMENT SHALL BE PROVIDED. CONTRACTOR SHALL PROVIDE ALL NECESSARY WATERPROOFING, FIRE STOPPING AND SEALING OF PENETRATIONS LEFT FROM REMOVED EQUIPMENT OR PRODUCED BY THIS WORK.
- 11) INTERRUPTION OF EXISTING SERVICES AND/OR OPERATION OF FACILITIES SHALL BE KEPT TO A MINIMUM. CONTRACTOR SHALL FURNISH ALL MATERIALS REQUIRED WHENEVER TEMPORARY CONNECTIONS ARE NECESSARY TO MAINTAIN CONTINUITY OF SERVICE. INTERRUPTION OF EXISTING SERVICES, THE INSTALLATION OF TEMPORARY FACILITIES, AND THE WORK OF MAKING FINAL CONNECTIONS TO THE NEW WORK SHALL BE DONE ONLY AT SUCH TIMES PERMITTED AND SCHEDULED IN ADVANCE BY THE ARCHITECT/OWNER WITHOUT ADDITIONAL COST. CARE MUST BE USED IN REMOVING SERVICES TO AREAS BEING DEMOLISHED SO THAT SERVICES TO OTHER AREAS WHICH MIGHT BE SERVED THROUGH THESE AREAS WILL NOT BE INTERRUPTED.

1 DEMOLITION NOTES

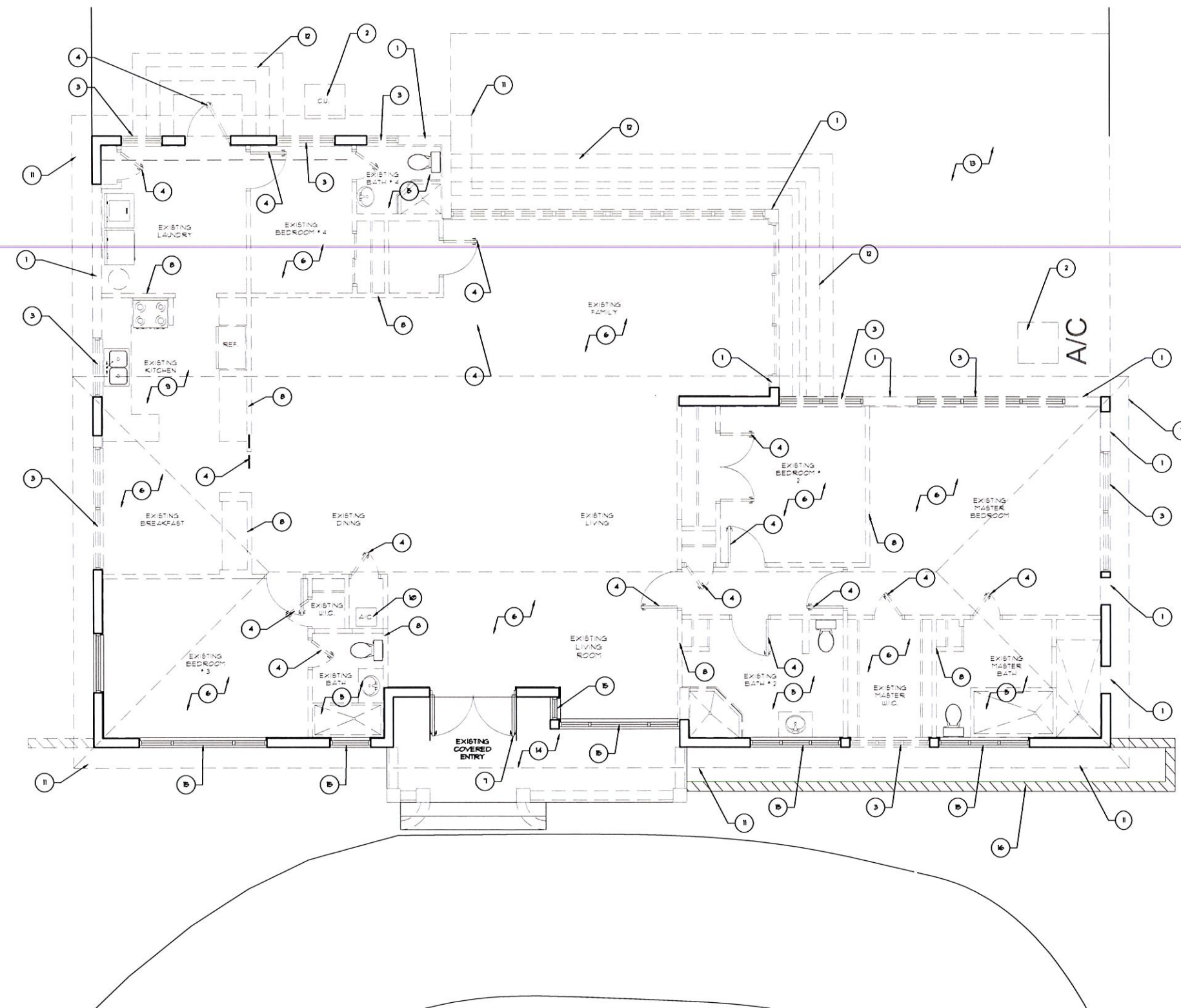
- LEGEND:
- 1) EXISTING EXTERIOR WALL TO BE REMOVED.
- 2) EXISTING C.U. TO BE REMOVED.
- 3) EXISTING WINDOW TO BE REMOVED.
- 4) EXISTING DOOR TO BE REMOVED.
- 5) EXISTING BATHROOM FIXTURES TO BE REMOVED.
- 6) EXISTING FLOORING & BASEBOARDS TO BE REMOVED.
- 7) EXISTING DOOR TO REMAIN.
- 8) EXISTING INTERIOR PARTITION TO BE REMOVED.
- 9) EXISTING KITCHEN FIXTURES, CABINETS & APPLIANCES TO BE REMOVED.
- 10) EXISTING A/C TO BE RELOCATED.
- 11) EXISTING TRUSSES/ROOF & ROOF TILE TO BE REMOVED.
- 12) EXISTING CONC. STEPS TO BE REMOVED.
- 13) EXISTING CONC. SLAB TO BE REMOVED.
- 14) EXISTING CONCRETE SLAB TO REMAIN.
- 15) EXISTING WINDOW TO REMAIN.
- 16) EXISTING PLANTER TO REMAIN.

2 DEMOLITION LEGEND



3 DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



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REVISION	BY

PROPOSED RESIDENCE FOR:
GOLDENBERG
9555 BROADVIEW TERRACE
BAY HARBOR, FLORIDA

SEAL: AR 0017852
LUIS LA ROSA

DRAWN: C.C.
CHECKED: L.L.R.
DATE: 05/11/11
SCALE: AS NOTED
JOB. NO.: 017-010
SHEET: D-1.1
OF SHEETS

DOOR SCHEDULE									
MARK	QTY.	SIZE	TYPE	MATERIAL	JAMB	HOUR	REMARKS	SHGC	V-VALVE
1	-	6'-0" x 8'-0"	SWING	GLASS	MTL	-	EXTERIOR DOOR 3'-0" x 8'-0" SIDELITES	-	-
2	-	(2) 2'-6" x 8'-0"	SWING	WOOD	WOOD	-	1 3/4" S.C. WOOD DOOR	-	-
3	-	2'-6" x 8'-0"	SWING	WOOD	WOOD	-	1 3/4" S.C. WOOD DOOR	-	-
4	-	3'-0" x 8'-0"	SWING	WOOD	WOOD	-	1 3/4" S.C. WOOD DOOR	-	-
5	-	3'-0" x 8'-0"	POCKET	WOOD	WOOD	-	1 3/4" S.C. WOOD DOOR	-	-
6	-	(2) 6'-0" x 8'-0"	SLIDER	GLASS	MTL	-	EXTERIOR DOOR	-	-
7	-	2'-0" x 8'-0"	SWING	-	-	-	SHOWER	-	-
8	-	2'-0" x 8'-0"	SWING	GLASS	-	-	SHOWER	-	-
9	-	(2) 2'-0" x 8'-0"	SLIDER	WOOD	WOOD	-	INTERIOR DOOR	-	-

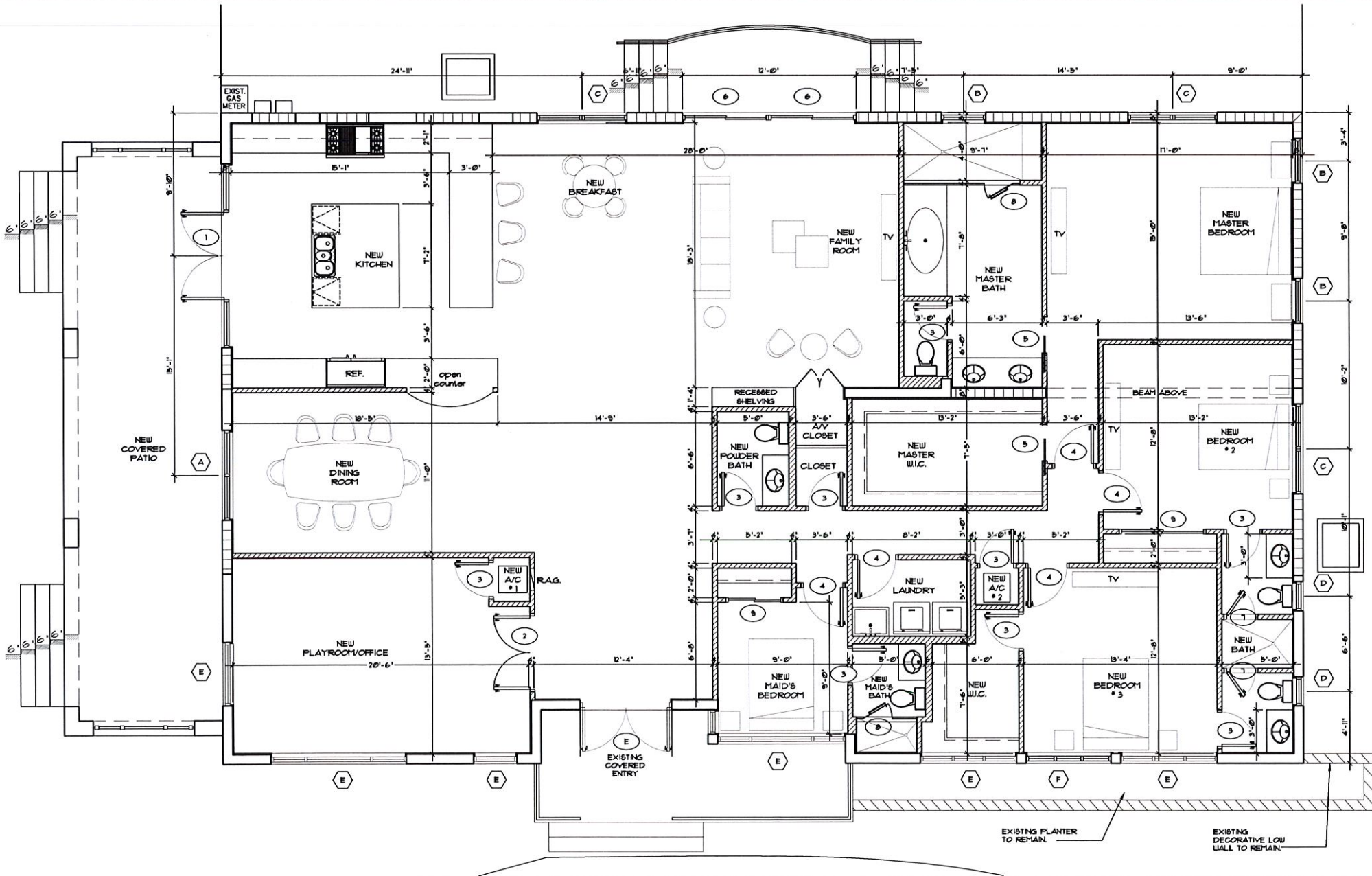
1) SOLID RABBETED JAMBS FROM 2 x 4 SELF CLOSER.
2) ALL SWINGING GLASS DOORS, SLIDING GLASS DOORS, SIDELITES & SHOWER ENCLOSURES WITHIN 6" AFF. OF TUBS & SHOWERS SHALL HAVE CATEGORY 2 SAFETY GLAZING, AS PER F.B.C. 2413 & 2425.21 (1) & (2).
3) EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET AS PER 21-2.4.3.
4) EVERY BATHROOM DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM THE OUTSIDE DURING AN EMERGENCY WHEN LOCKED.
5) CONTRACTOR TO FIELD VERIFY ALL INTERIOR DOOR OPENINGS AND DIMENSIONS PRIOR TO INSTALLATION OF DOORS AND IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY ARCHITECT SO OPENING DIMENSIONS MAY BE ADJUSTED.

WINDOW SCHEDULE												
MARK	QTY.	SIZE	TYPE	FRAME		GLAZING		REMARKS	ROUGH OPENING	SHGC	U-VALUE	HEAD HEIGHT AFF.
				MATERIAL	FINISH	GLASS	IMPACT					
(A)	-	12' x 6'0"	FIXED	ALUM.	ALUM.	TINT	YES	IMPACT	AS PER MANUF.	0.25	0.65	-
(B)	-	31' x 50 1/2"	H/S	ALUM.	ALUM.	TINT	YES	IMPACT	AS PER MANUF.	0.25	0.65	-
(C)	-	23 1/2' x 50 1/2"	H/S	ALUM.	ALUM.	TINT	YES	IMPACT	AS PER MANUF.	0.25	0.65	-
(D)	-	24' x 31'	H/S	ALUM.	ALUM.	TINT	YES	IMPACT	AS PER MANUF.	0.25	0.65	-
(E)	EXISTING WINDOW TO REMAIN											
(F)		SEE 3/A-U	H/S FIXED	ALUM.	ALUM.	TINT	YES	IMPACT	AS PER MANUF.	0.25	0.65	-

- NOTE:
- ALL WINDOWS TO HAVE TINTED GLAZING.
 - REFER TO ELEVATIONS FOR WIND PRESSURES, TYP.
 - ALL OPENINGS AND DIMENSIONS TO BE FIELD VERIFIED BY CONTRACTOR WITH WINDOW MANUFACTURER PRIOR TO CONSTRUCTION. ADJUST OPENING DIMENSIONS FOR WINDOW MANUFACTURER, TYP.
 - ALL EGRESS WINDOW SIZES AND DIMENSIONS TO BE VERIFIED WITH WINDOW MANUFACTURER EACH MANUFACTURER HAS THEIR OWN SPECIFIC WAY OF MEETING THE MINIMUM SIZE REQUIREMENTS WHICH MIGHT CHANGE THE WINDOW DIMENSIONS SHOWN, TYP.
 - SHUTTERS NOT REQUIRED SINCE ALL EXTERIOR GLASS TO BE IMPACT RESISTANT, TYP.
 - ALL EXISTING WINDOWS AND DOORS ARE IMPACT RESISTANT

1 DOOR SCHEDULE
SCALE: N.T.S.

2 WINDOW SCHEDULE
SCALE: N.T.S.



3 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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REVISION: BY:

PROPOSED RESIDENCE FOR:
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BAY HARBOR, FLORIDA

SEAL: AR 0017852
LUIS LA ROSA

DRAWN: C.C.

CHECKED: L.L.R.

DATE: 05/11/11

SCALE: AS NOTED

JOB. NO.: 011-010

SHEET

A-1.1

OF SHEETS



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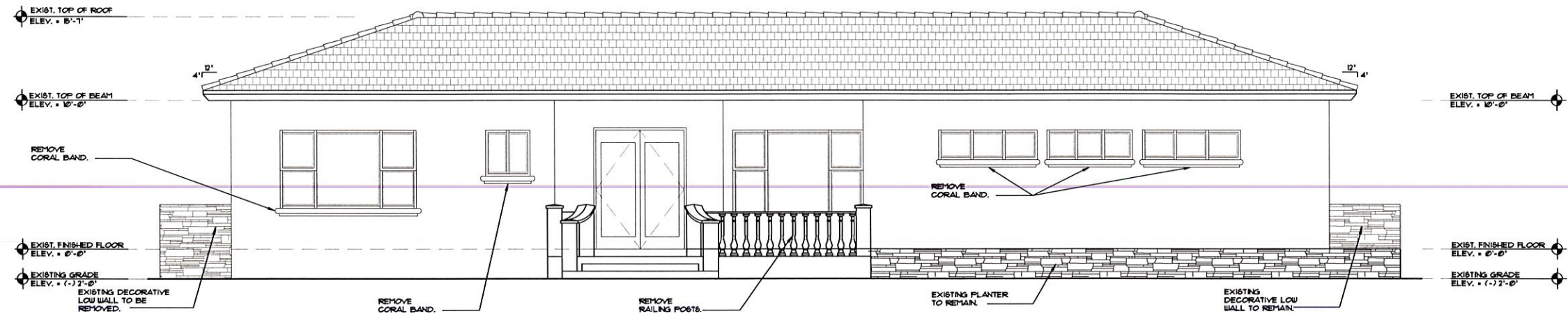
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06/29/11 RESPONSE TO COMMENTS	CC

PROPOSED RESIDENCE FOR:
GOLDENBERG
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BAY HARBOR, FLORIDA

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OF SHEETS



1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



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REVISION:	BY:
06/29/11 RESPONSE TO COMMENTS	CC

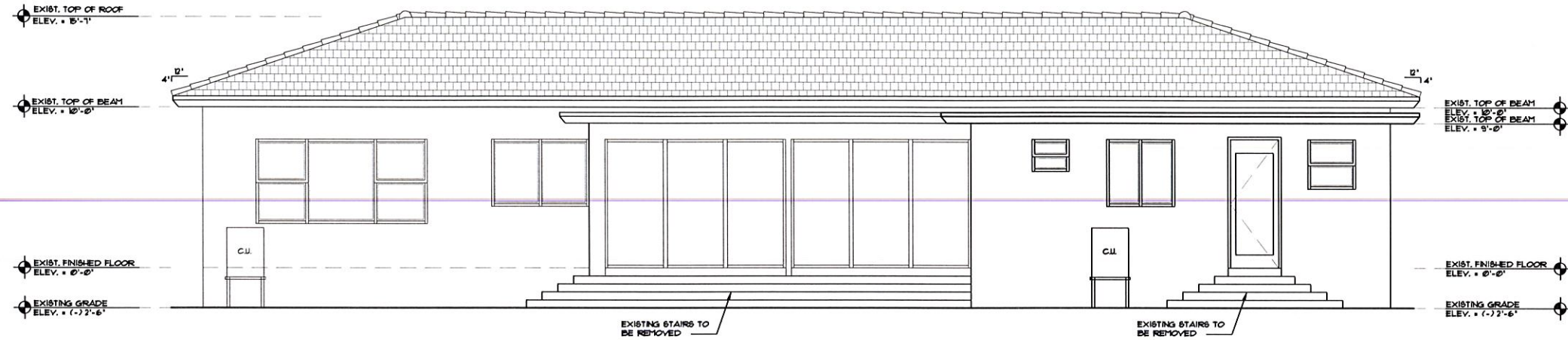
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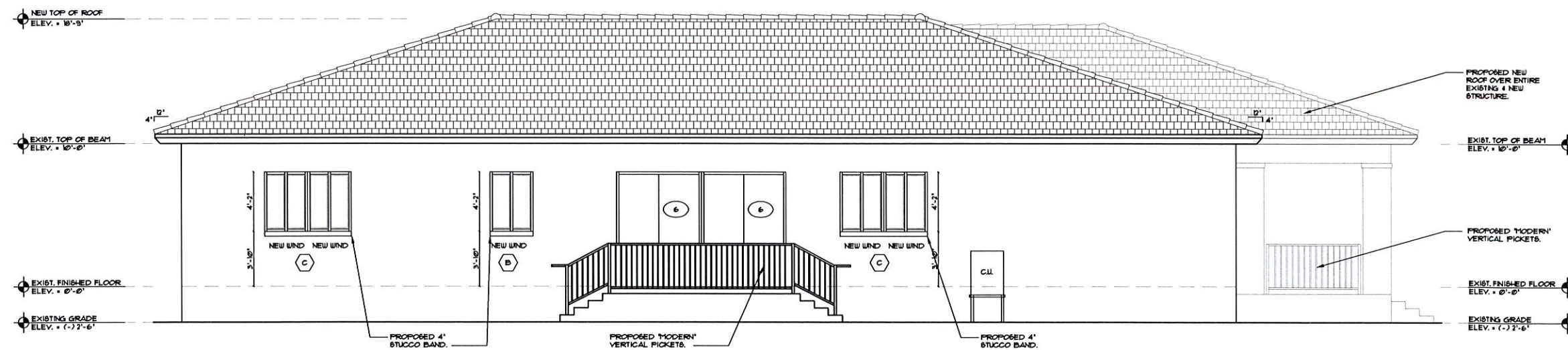
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CHECKED	LLR
DATE	05/17/11
SCALE	AS NOTED
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OF SHEETS



1 EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"



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REVISION	BY
1. 06/29/11 RESPONSE TO COMMENTS	CC

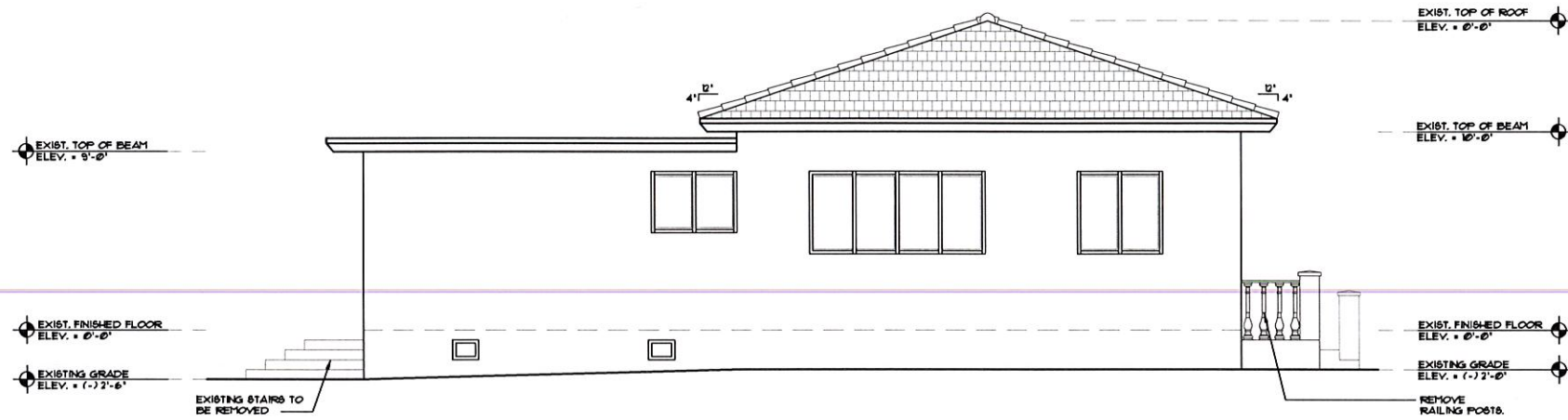
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BAY HARBOR, FLORIDA

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LUIS LA ROSA

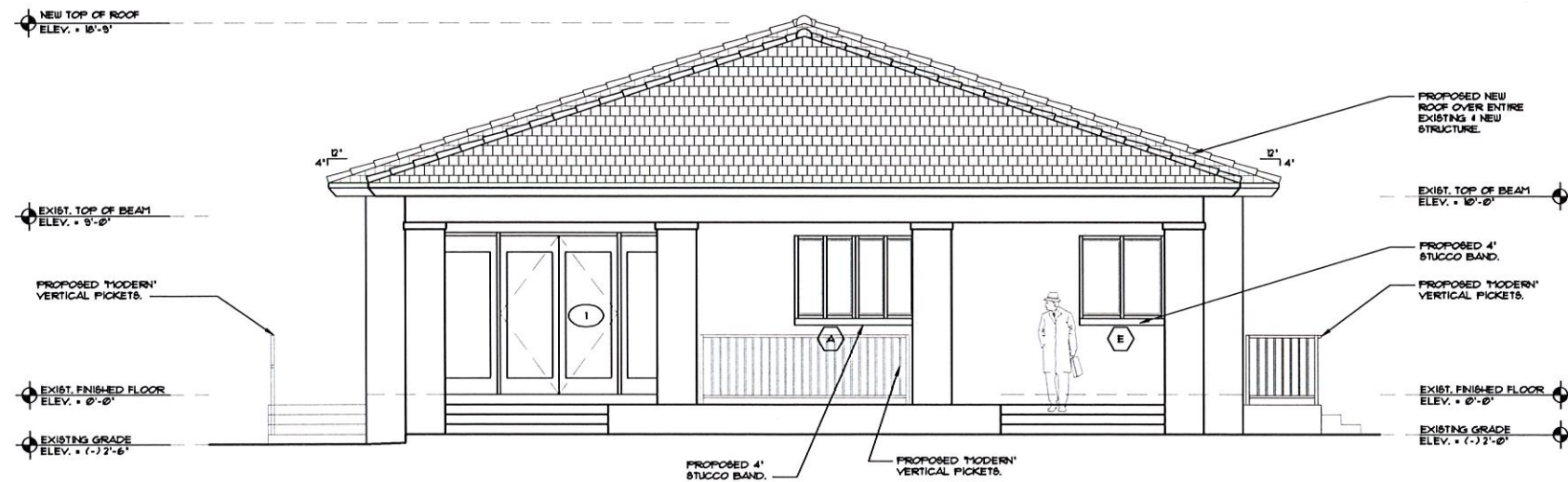
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SHEET	

A-2.4

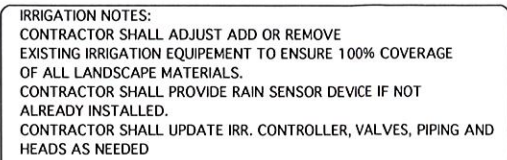
OF SHEETS



1 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



LANDSCAPE NOTES:

CONTRACTOR SHALL PRESERVE ALL EXISTING LANDSCAPE MATERIALS AS NOTED ON PLAN. ANY EXISTING MATERIALS THAT ARE DAMAGED OR MISSING AT TIME OF INSPECTION SHALL BE REPLACED WITH MATCHING SIZE AND SPECIES.

CONTRACTOR SHALL DO TAKE OFF FROM PLANS. PLANS SHALL TAKE PRECEDENCE OVER PLANT LIST IF A DISCREPANCY OCCURS.

DROUGHT TOLERANCE IS NOTED PER THE SFWM D XERISCAPE PLANT GUIDE

8/1/17 ☁

NO TREES/PALMS SHALL BE REMOVED WITHOUT THE A TREE REMOVAL PERMIT
ISSUED BY THE CITY OF FT. LAUDERDALE

SYMBOL

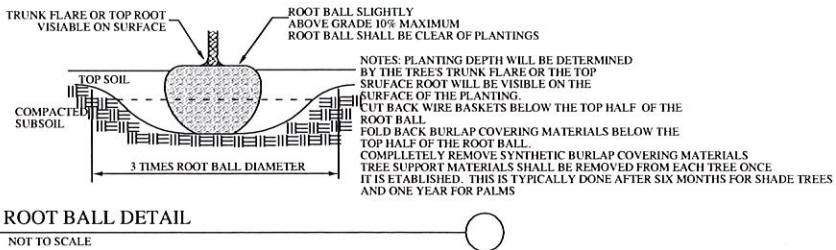
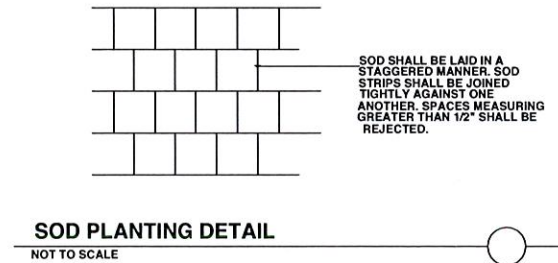
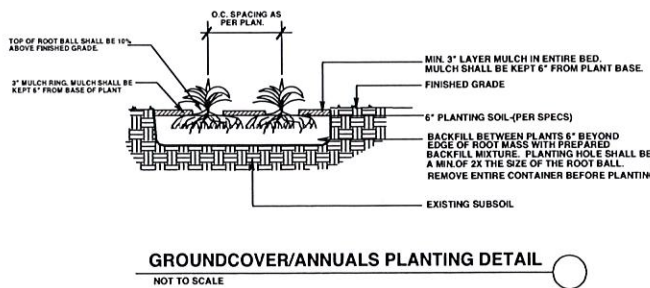
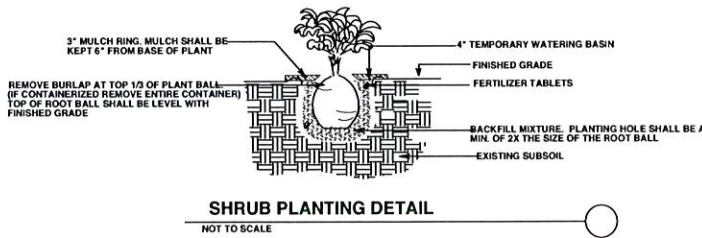
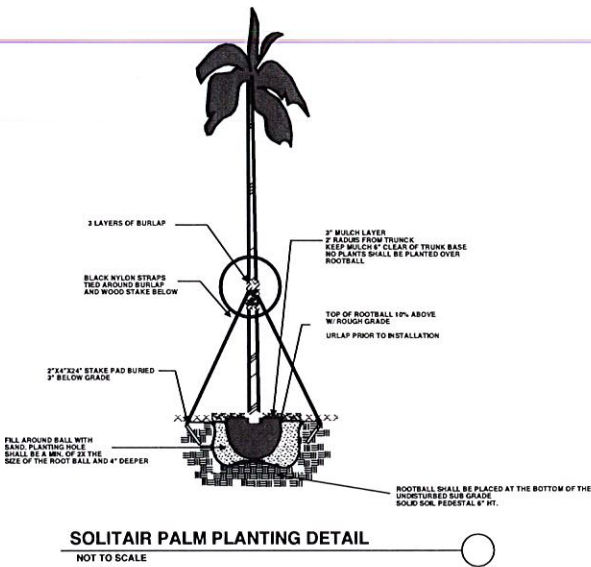
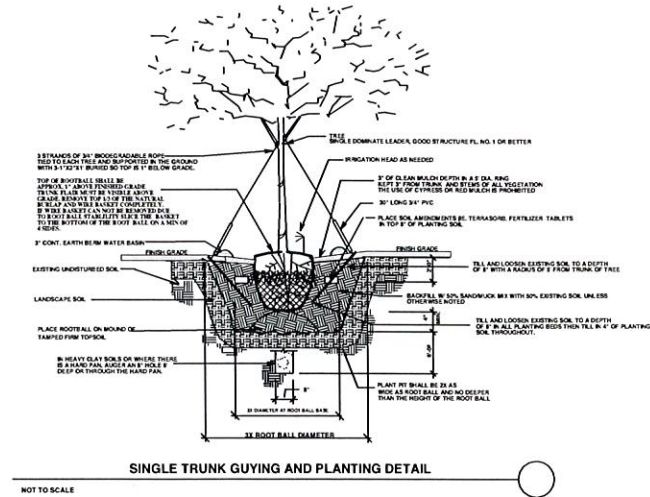
REVISIONS:
CITY COMMENTS: 6/9/17
CITY COMMENTS: 8/1/17

3555 BROADVIEW TERR
BAY HARBOR, FL

SEAL:

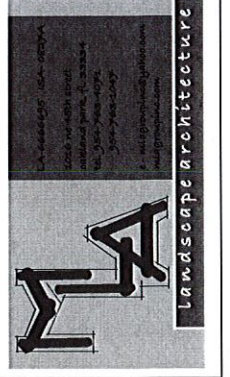
SCALE: 1"=10'
DATE DRAWN: 5/16/17
SHEET NO

2F-2



PLANTING NOTES:

- ALL SIZES SHOWN FOR PLANT MATERIAL ON PLAN ARE TO BE CONSIDERED AS MINIMUMS. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN WILL ALSO BE REQUIRED FOR FINAL ACCEPTANCE.
- ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR UNLESS OTHERWISE SPECIFIED SHALL BE FLORIDA NO. 1 OR BETTER ACCORDING TO GRADES AND STANDARDS FOR NURSERY PLANTS LATEST EDITION 2001. ALL TREES DESIGNATED AS SINGLE TRUNK TREES SHALL HAVE SINGLE DOMINANT LEADER AND STRAIGHT TRUNK. THE PROPER STRUCTURE OF TREES IS MOST IMPORTANT. ALL TREES DESIGNATED AS MULTI-TRUNK TREES SHALL HAVE AT LEAST THREE (3) TRUNKS WITH EQUAL CALIPERS ORIGINATING AT THE BASE OF THE TREES AND WITH ANGLES NO LESS THAN 45 DEGREES. TREES WITH BARK INCLUSION AND CODOMINANT TRUNKS AT ANY HEIGHT WILL NOT BE ACCEPTED. ALL TREES AND PALMS MUST BE GUYED WITH PROPER HORTICULTURAL AND ARBORICULTURAL TECHNIQUES. WE RECOMMEND THAT THE TREES BE STAKED WITH NATURAL HEMP IN LIEU OF WIRE OR OTHER SYNTHETIC MATERIAL. NAILING INTO TREES AND PALMS IS PROHIBITED. ALL STAKING SHALL BE REMOVED APPROX. SIX (6) MONTHS AFTER PLANTING OR AT TIME OF ESTABLISHMENT OF TREE. ALL PLANTING TO BE DONE IN ACCORDANCE WITH PROPER HORTICULTURAL PRACTICES.
- IN ADDITION TO THESE REQUIREMENTS ALL LOCAL LANDSCAPE CODES AND REQUIREMENTS SHALL BE MET IN ORDER TO SATISFY THE REVIEW AND APPROVAL OF THE GOVERNING MUNICIPALITY.
- ALL LANDSCAPING SCHEDULED TO OCCUR IN VEHICULAR USE AREAS SHALL BE PROTECTED FROM VEHICULAR ENCROACHMENT BY CURBING OR OTHER DURABLE BARRIERS.
- ALL PLANTING HOLES SHALL BE A MINIMUM OF 2 1/2 TIMES THE DIAMETER OF THE PLANT BALL. ALL PLANTING AREAS SHALL BE EXCAVATED TO REMOVE ALL OBJECTIONABLE MATERIALS, SUCH AS ASPHALT, SUB-BASE, CONCRETE, ROCK, CAUSTIC MATERIALS WITH AN EXCESSIVE SOIL PH, OR SIMILAR MATERIALS NOT SUITED FOR LANDSCAPE PLANTING. ALL SYNTHETIC BURLAP, SYNTHETIC STRING OR CORDS OR WIRE BASKETS SHALL BE REMOVED BEFORE PLANTING. ALL SYNTHETIC TAPE SHALL BE REMOVED FROM TREES BEFORE INSPECTION. THE TOP 10% OF ANY NATURAL BURLAP SHALL BE REMOVED OR TUCKED INTO THE PLANTING HOLE BEFORE THE TREE IS BACK FILLED.
- ALL PLANT MATERIALS SHALL BE PLANTED IN PLANTING SOIL THAT IS DELIVERED TO THE SITE IN A CLEAN, LOOSE AND FRIABLE CONDITION. ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 6" OF PLANTING SOIL. AND ALL SODDED AREAS SHALL HAVE 2" OF PLANTING SOIL. THIS SOIL SHALL BE TILED INTO EXISTING SOIL ON SITE. ALL SOIL SHALL HAVE A WELL DRAINED CHARACTERISTIC. SOIL MUST BE FREE OF ALL ROCKS, STICKS, OBJECTIONABLE DEBRIS INCLUDING WEEDS AND WEED SEED. RECYCLED COMPOST IS ENCOURAGED AS A SOIL AMENDMENT.
- ALL PLANT MATERIALS SHALL BE THOROUGHLY WATERED IN AT THE TIME OF PLANTING. NO DRY PLANTING SHALL BE PERMITTED. ALL PLANT MATERIALS SHALL BE PLANTED SUCH THAT THE TOP OF THE PLANT ROOT BALL IS FLUSH WITH THE SURROUNDING GRADE OR PLANTED AT 10% ABOVE THE SURROUNDING GRADE PER SPECIFICATIONS ON THE PLANTING DETAILS.
- ALL PLANT MATERIALS SHALL BE INSTALLED WITH FERTILIZER WHICH SHALL BE STATE APPROVED AS A COMPLETE FERTILIZER CONTAINING THE REQUIRED MINIMUM OF TRACE MINOR ELEMENTS IN ADDITION TO N-P-K, OF WHICH 50% OF THE NITROGEN SHALL BE DERIVED FROM AN ORGANIC SOURCE.
- ALL LANDSCAPE AREAS NOT COVERED BY SHRUBS OR GROUND COVERED SHALL BE COVERED BY SOD AND ALL AREAS NOT COVERED BY SOD SHALL BE COVERED WITH NONCYPRESS ARSENIC FREE MULCH, TO A MINIMUM DEPTH OF THREE (3) INCHES OF COVER WHEN SETTLED. ALL MULCH SHALL BE KEPT 2" FROM THE BASE OF ALL PLANT MATERIAL. THE WATER BASIN PARTICULARLY ON OAKS SHALL REMAIN FOR AT LEAST THREE (3) MONTHS.
- SOD SHALL BE (AS NOTED) SOLID SOD, AND SHALL BE LAID ON A SMOOTH PLANTING BASE WHICH HAS BEEN GRADED TO MEET THE DRAINAGE CHARACTERISTICS OF THE SITE. ALL SOD SHALL BE LAID WITH CLOSELY FITTED JOINTS, AND SHALL BE IN A GREEN AND HEALTHY GROWING CONDITION AT PLANTING.
- ALL LANDSCAPE AREA SHALL BE IRRIGATED BY A FULLY AUTOMATIC SYSTEM ADJUSTED TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS WITH RAIN SENSOR. ALL HEADS SHALL BE ADJUSTED TO MIN. 50% OVERLAP. IRRIGATION SYSTEM SHALL BE RUST FREE WITH NO OVERSPRAY ONTO PVIOUS AREAS. PVC RISERS SHALL BE PAINTED FLAT BLACK.
- ANY SUBSTITUTIONS TO PLANT MATERIALS FOR AREAS AND ITEMS ADDRESSED BY LOCAL CODES SHALL BE APPROVED BY THE GOVERNING MUNICIPALITY PRIOR TO WORK PERFORMED.
- ALL LANDSCAPE AREAS SHALL BE FINISH GRADED SUCH THAT THEY ARE 3.5" BELOW SURROUNDING PAVED SURFACES AS NOT TO IMPEDE THE FLOW OF DRAINAGE INTO LANDSCAPE AREAS AND TO ALLOW FOR A 3" MULCH LAYER.
- ALL NEW LANDSCAPED AREAS SHALL BE EXCAVATED OF ALL ROCK AND DEPRIS DOWN TO A DEPTH 30" AND BACK FILLED WITH CLEAN DEPRIS FREE 50/50 MIX SOIL.
- CONTRACTOR SHALL PROVIDE SOD AND IRRIGATION TO EDGES OF OF RIGHT OF WAYS AND ALL PROPERTY LINES.
- ALL FREE STANDING UTILITIES AND SITE EQUIPEMENT MUST BE SCREENED ON THREE (3) SIDES WITH SHRUB MATERIAL 36" IN HEIGHT AT TIME OF PLANTING.
- PLANTING PLAN TAKES PRECEDENT OVER PLANT LIST.



REVISIONS:

SHEET TITLE:

**LANDSCAPE
DETAILS AND
SPECIFICATIONS**

PROJECT:

GOLDBERG RESIDENCE
9555 BROADVIEW TERR
BAY HARBOR, FL

"TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS SUBMITTED HERewith COMPLY WITH EXISTING INTERPRETATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE PROPERTY OF MLA Group, Inc. AND IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, SCANNED OR COPIED BY ANY OTHER MEANS IN PART OR IN WHOLE WITHOUT EXPRESS WRITTEN PERMISSION OF SAME"

SEAL:

DATE DRAWN: 5/16/17

SHEET NO.

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