

When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don't turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

TOWN OF BAY HARBOR ISLANDS PLANNING AND ZONING BOARD

June 20, 2017

FINAL AGENDA

CALL TO ORDER: Set for 7:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

1. Request for approval for a primary sign for "Bal Harbour Jewelry" located at 1160 Kane Concourse, #100B. The tenant has installed a primary sign without any approval or permits. A courtesy notice was issued by Code Enforcement. This style of sign is required to go before Planning and Zoning for approval. The previous tenant "Estrel" came before the Board and received approval for their sign. The new tenant replaced the sign to match the existing. Enclosed please find a picture of the elevation and attachment. (Item #1)

** Staff Review:* Design needs to be reviewed and approved by the Planning and Zoning Board.

2. Request for approval for a new single family home for "Richard L. and Karen Saka" located at 9640 E. Broadview Drive, Lot 1 of Block 30. The owners are proposing to construct a new single family home on an interior corner lot. The proposed 2-story home has approximately 6,155 square feet of living space with a two-car garage, a courtyard, covered balconies, covered terrace, and open deck/pool area. The residence will have seven (7) bedrooms, six (6) full bathrooms and one (1) half bath. Enclosed please find the site plan, elevations and landscape plan. (Item 2)

** Staff Review:* Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Ms. Ana C Rocha.

ADJOURNMENT

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AGENDA ITEM REPORT

June 20, 2017

ITEM NUMBER: 1.

ITEM: Request for approval for a primary sign for "Bal Harbour Jewelry" located at 1160 Kane Concourse, #100B. The tenant has installed a primary sign without any approval or permits. A courtesy notice was issued by Code Enforcement. This style of sign is required to go before Planning and Zoning for approval. The previous tenant "Estrel" came before the Board and received approval for their sign. The new tenant replaced the sign to match the existing. Enclosed please find a picture of the elevation and attachment. (Item #1)

DESCRIPTION:

RECOMMENDED ACTION:

Design needs to be reviewed and approved by the Planning and Zoning Board.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Martinez

ATTACHMENTS

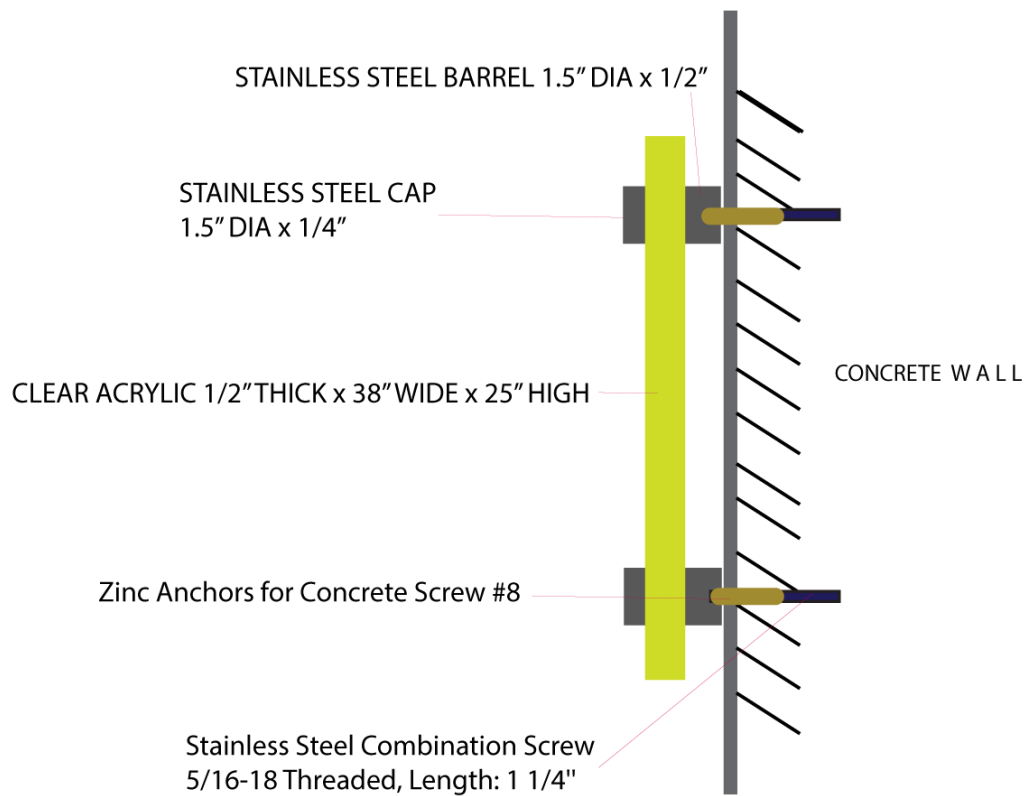
1.	Elevation / Sign	Bal Harbour Jewelers MOCK UP-01.tif
2.	Attachment	Bal Harbour Jewelers MOCK UP-02.tif

Bal Harbour Jewelers
1160 Kane Concourse
Suite 100B
Bay Harbor Islands, FL 33154



1 SIGN: CLEAR ACRYLIC 1/2" THICK x 38" WIDE x 25" HIGH
ATTACHED WITH: 4 STAINLESS STEEL SCREWS 1.5" DIAMETER x 1/2" STAND OFF BARRELS
Stainless Steel Combination Screw 5/16-18 Threaded, Length: 1 1/4"
Zinc Anchors for Concrete Screw #8
Please see attached diagrams

ELEVATION DRAWING



Bal Harbour Jewelers
1160 Kane Concourse
Suite 100B
Bay Harbor Islands, FL 33154

AGENDA ITEM REPORT

June 20, 2017

ITEM NUMBER: 2.

ITEM: Request for approval for a new single family home for “Richard L. and Karen Saka” located at 9640 E. Broadview Drive, Lot 1 of Block 30. The owners are proposing to construct a new single family home on an interior corner lot. The proposed 2-story home has approximately 6,155 square feet of living space with a two-car garage, a courtyard, covered balconies, covered terrace, and open deck/pool area. The residence will have seven (7) bedrooms, six (6) full bathrooms and one (1) half bath. Enclosed please find the site plan, elevations and landscape plan. (Item 2)

DESCRIPTION:

RECOMMENDED ACTION:

Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Ms. Ana C Rocha.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Martinez

ATTACHMENTS

1.	Staff Report	STF Report Saka Residence.pdf
2.	Renderings	SAKARenderings.pdf
3.	SAKA Property Pictures	SAKAPropertyPictures.pdf
4.	Site Plan & Elevations	SAKASitePlan&Elevations.pdf

**TOWN OF BAY HARBOR ISLANDS
COMMUNITY DEVELOPMENT
MEMORANDUM**

To: Town of Bay Harbor Islands
Planning and Zoning Board

From: Ana Carolina Rocha *ACR*
Zoning Compliance Planner
MMPA - Consultant Town Planner

Date: June 14th, 2017

Subject: Proposed Single-Family Residence
9640 E. Broadview Drive
Bay Harbor Islands Acct. No.: MB2016-111
MMPA Acct. No.: 01-0702-1053

RECOMMENDED ACTION

MMPA recommends the Planning and Zoning Board review the contents of this staff report, the latest site plan and architectural plans (dated 6/13/17) submitted, and if felt to be acceptable, **APPROVE** the plans as submitted or with changes, to allow for the construction of a new single-family house located at 9640 E. Broadview Drive.

GENERAL PROJECT INFORMATION

Land Use Designation: L – Low Density Residential
Zoning District: RD Single-Family District
General Location: 9640 E. Broadview Drive
Legal Description: Lot 1 of Block 30, "Bay Harbor Island" according to the plat thereof, as recorded in Plat Book 46, at Page 5 of the Public records of Miami-Dade County.

PROJECT DESCRIPTION

The project architect, Daniel Sorogon of Florida Architectural Services Inc., as agent for the property owner, Bay Harbor Project, LLC, has submitted an application for the construction of a new single-family residence on an interior corner lot located at 9640 E. Broadview Drive. The proposed two-story home will have approximately 6,155 square feet of A/C living space with a two-car garage. The residence will have seven (7) bedrooms, six (6) full bathrooms and one (1)

half bathroom. The overall height of the structure will be 29'-1" above Base Flood Elevation (BFE), which is under the maximum allowed (30' for Sloped Roofs) within the RD Single-Family District. The applicant is proposing one (1) driveway connection to 97th Street and one (1) walkway connection to East Broadview Drive. Extensive landscaping is proposed that meets / exceeds the Miami-Dade County Landscape Code and Town Supplemental Landscape Code requirements, including the use of native and drought tolerant plant materials.

The Town's current draft of the Street Tree Master Plan identifies the tree species as Glauca Cassia along this portion of E. Broadview Drive when placed near FPL power lines, and the tree species Live Oak on 97th Street. There are existing Street Trees planted by the Town during the Community Enhancement project in the roadway swale islands, which are to remain.

This property (Lot 1 / Block 30) is currently developed with one single-family home site with vehicle and pedestrian entrances onto East Broadview Drive. The existing structure will be demolished and the new single-family home will be built. The new house has a traditional architectural design, with Italian Renaissance inspiration and a vehicle entrance to 97th Street and a pedestrian entrance to East Broadview Drive.

PROJECT HISTORY

In March 2017, the applicant submitted an initial set that was reviewed by MMPA for consistency with the Town Code requirements. Comments were given to the applicant each time and the current submitted plans are reflective of all requested changes. The latest changes were submitted on June 13th, 2017.

COMPREHENSIVE PLAN / ZONING

Comprehensive Plan – The property has a Future Land Use Map (FLUM) designation of "Low Density Residential". The maximum allowable base density is six (6) DUA. The proposed use and density of the property would be consistent with the applicable FLUM designation of the property.

Land Development Regulations / Zoning Code –The property has a Zoning Classification of RD Single Family Zoning District. The proposed use and density of the property is consistent with this zoning classification. The following Zoning and Planning sections of the Code apply to this proposal: Section 23-3 (Use Regulations RD Single-Family District), Section 23-9 (Minimum Size of Living Units), Section 23-10 (Minimum Size of Building Lot), Section 23-11(A) (Land Development Regulations RD Single-Family Area) and Section 23-12 (Land Development Regulations General Provisions). In addition, the Town has separate regulations for landscaping, driveways and building material regulations.

PLATTING

The site will not require re-platting, as the site is currently platted as described above under the legal description.

SUMMARY / SITE PLAN COMMENTS

The current site plan and architectural plans submitted for the construction of a single-family house located at 9640 E. Broadview Drive meet or exceed all Town Land Development and Landscape Code requirements. The applicant submitted a series of plans that were reviewed and commented on by MMPA and all previous comments and issues have been addressed by the current plans.

The following conditions of approval are recommended:

- 1) This approval is based on the plans prepared by Danni Sorogon of Florida Architectural Services Inc., dated last revised June 13th, 2017 with any modifications required by the PZ Board. All modifications to the above plans shall be reviewed by Town staff and may require re-approval by the PZB if felt to be substantial.

PROPOSED RESIDENCE FOR RICHARD & KAREN SAKA

PROPERTY: 9640 EAST BROADVIEW DR. BAY HARBOR ISLAND, FL 33154



PROPOSED FRONT VIEW

PROPOSED RESIDENCE FOR RICHARD & KAREN SAKA

PROPERTY: 9640 EAST BROADVIEW DR. BAY HARBOR ISLAND, FL 33154



PROPOSED SIDE STREET VIEW

PROPOSED RESIDENCE FOR RICHARD & KAREN SAKA

PROPERTY: 9640 EAST BROADVIEW DR. BAY HARBOR ISLAND, FL 33154



PROPOSED EAST SIDE VIEW

PROPOSED RESIDENCE FOR RICHARD & KAREN SAKA

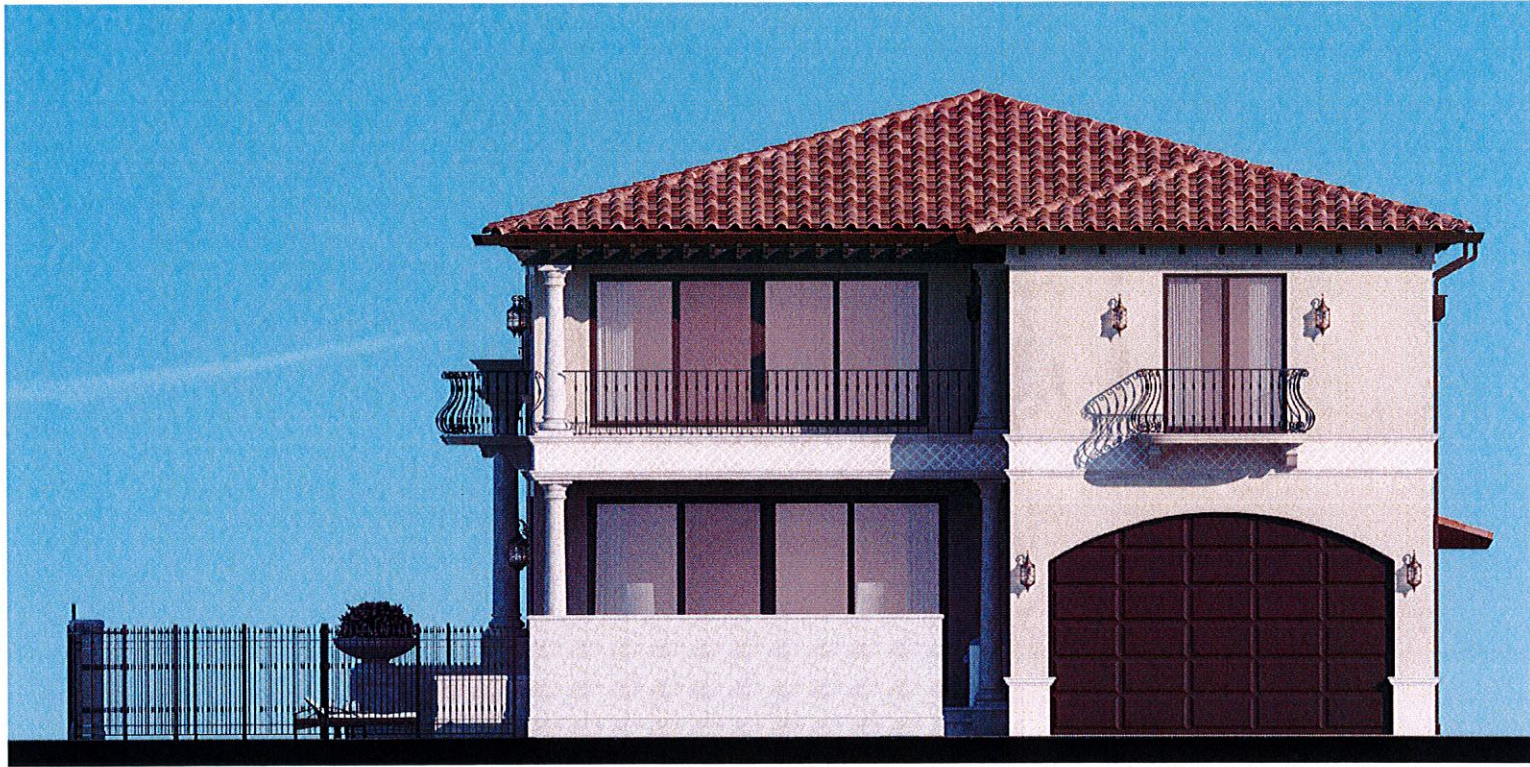
PROPERTY: 9640 EAST BROADVIEW DR. BAY HARBOR ISLAND, FL 33154



PROPOSED WEST SIDE VIEW

PROPOSED RESIDENCE FOR RICHARD & KAREN SAKA

PROPERTY: 9640 EAST BROADVIEW DR. BAY HARBOR ISLAND, FL 33154



PROPOSED NORTH SIDE VIEW

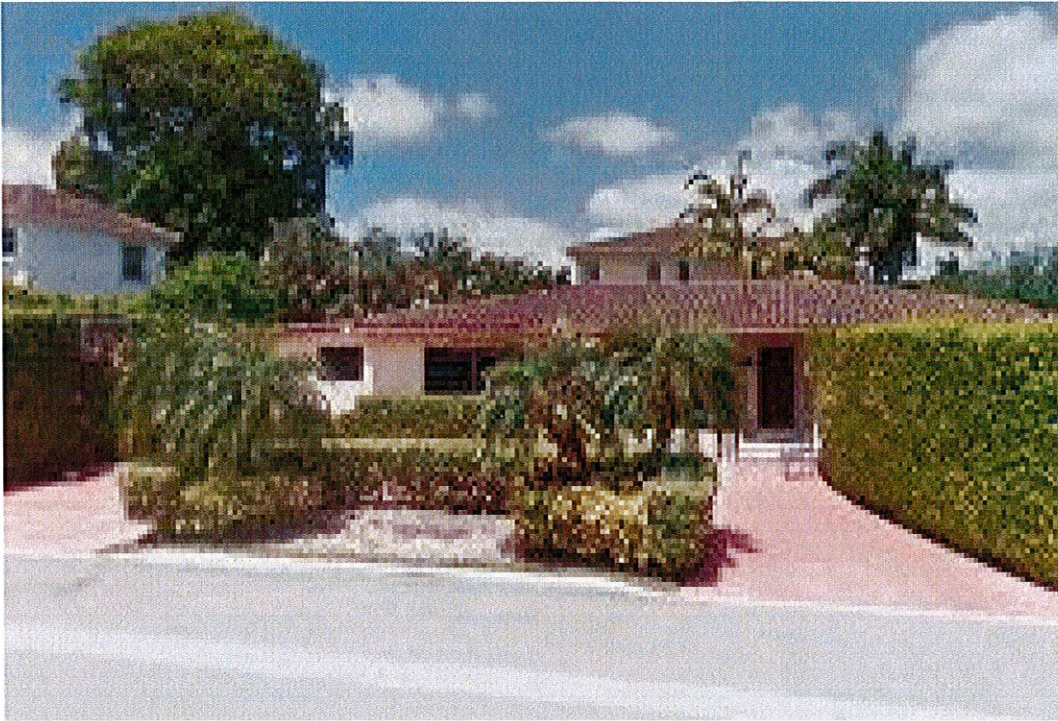
PROPOSED RESIDENCE FOR RICHARD & KAREN SAKA

PROPERTY: 9640 EAST BROADVIEW DR. BAY HARBOR ISLAND, FL 33154

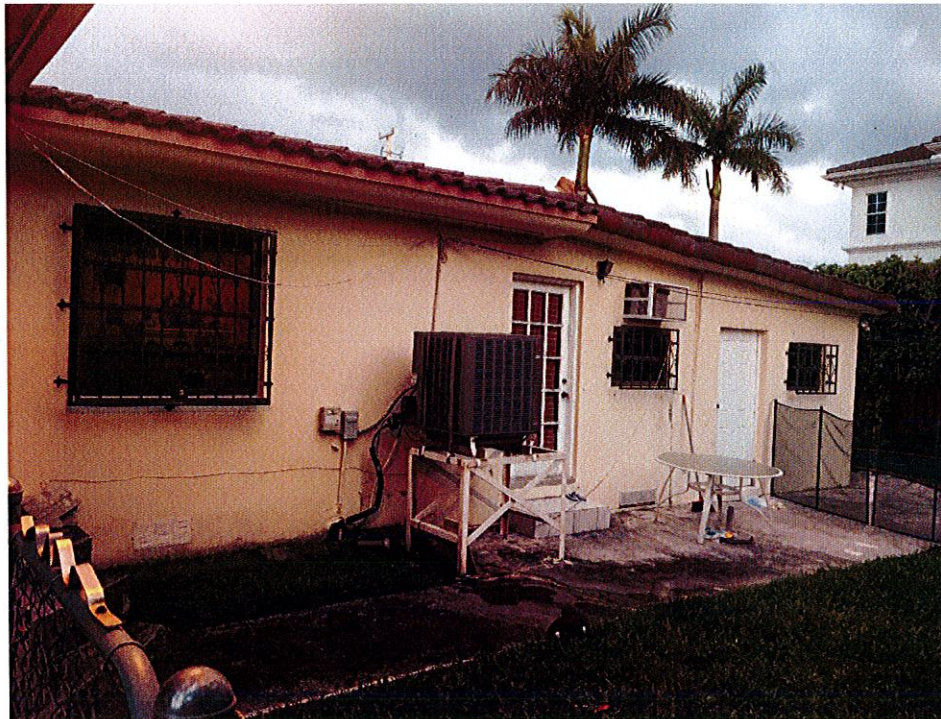


PROPOSED SOUTH SIDE VIEW

**SUBJECT PROPERTY: 9640 EAST BROADVIEW DR.
BAY HARBOR ISLAND, FL 33154**



EXISTING SITE-FRONT VIEW



EXISTING SITE -REAR SIDE VIEW



EXISTING SITE -RIGHT SIDE VIEW



EXISTING SITE -REAR SIDE VIEW

ADJOINING LOTS



RIGHT SIDE OF THE EXISTING SITE



LEFT SIDE OF THE EXISTING SITE



FRONT OF THE EXISTING SITE

PROPOSED RESIDENCE FOR RICHARD & KAREN SAKA

PROPERTY ADDRESS:
9640 EAST BROADVIEW DR.
BAY HARBOR ISLAND, FLORIDA 33154

GENERAL NOTES

- WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
 - THESE GENERAL NOTES (HARRIS OTHERS) NOTED ON PLANS OR SPECIFICATIONS.
 - THE FLORIDA BUILDING CODE RESIDENTIAL 2014 (HARRIS OTHERS).
 - ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.
 - NATIONAL ELECTRICAL CODE, 2014 (HARRIS OTHERS) NATIONAL BOARD OF FIRE UNDERWRITERS.
- ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE SUB CONTRACTOR NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- THE GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN.
- ALL CONDITIONS AND ALL APPLICABLE REQUIREMENTS OF THE CONTRACT BETWEEN THE CONTRACTOR AND OWNER SHALL GOVERN ALL SECTIONS OF THE SPECIFICATIONS.
- ALL WORK THAT IS EITHER FIELD OR REASONABLY INFERRABLE FROM THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DRAWINGS AND SPECIFICATIONS ARE DIRECTED TO THE ATTENTION OF THE CONTRACTOR AND THE INCLUSION OF ANY WORK BY MENTION, NOTE OR DETAIL, ITERATION OR REPLICATION HOWEVER BARELY MEANS THE CONTRACTOR SHALL PROVIDE AND INSTALL SAME. ALL WORK PERFORMED TO BE PART OF A COMPLETE PACKAGE WITHIN THE DEFINITIONS OF NORMAL INDUSTRY STANDARDS.
- ALL PERMITS, INSPECTIONS, APPROVALS, ETC. SHALL BE OBTAINED FOR AND PAID BY THE CONTRACTOR IN ALL FIELDS OF HIS WORK, AND HE SHALL BE RESPONSIBLE FOR THE COORDINATION OF INSPECTION AND APPROVAL OF HIS WORK. PRIOR BUILDING PERMITS SHALL BE OBTAINED BY THE CONTRACTOR.
- ALL WORK COMPLETED OR OTHERWISE SHALL BE PROPERLY PROTECTED AT ALL TIMES. CONTRACTOR SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AND PROVIDE ALL FENCES, BARRICADES, ETC. AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY AND AS MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THIS WORK. HE SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION.
- DISCREPANCIES: THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PROJECT THOROUGHLY INSPECTED THE SITE, THE DRAWINGS AND SPECIFICATIONS, SO AS TO THOROUGHLY UNDERSTAND THE WORK. ANY AND ALL DISCREPANCIES AND OMISSIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INQUIRE FOR DISCREPANCIES OR OMISSIONS ARE REPORTED AND CLARIFICATION OBTAINED FROM THE ARCHITECT PRIOR TO WORK BEING DONE. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE AT CONTRACTOR'S RISK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF THE SAME BEING BORNE BY THE CONTRACTOR. HE SHALL VERIFY ALL DIMENSIONS FOR COORDINATION.
- BEFORE COMMENCING WITH THE WORK, THE CONTRACTOR SHALL FILE WITH OWNER CURRENT INSURANCE CERTIFICATES IN THE AMOUNTS REQUESTED BY THE OWNER FOR WORKMAN'S COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. IT IS THE INTENTION OF THE PARTIES THAT THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND ARCHITECT FOR ANY AND ALL COSTS, CLAIMS, SUITS AND JUDGMENTS FOR PROPERTY DAMAGE AND PERSONAL INJURY (INCLUDING DENTAL), ARISING OUT OF THE WORK OF THE CONTRACTOR.
- OMISSION: IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.
- ALTERING STRUCTURAL MEMBERS: NO STRUCTURAL MEMBER SHALL BE OMITTED, NOTCHED, CUT, BLOCKED OUT, OR RELOCATED WITH OUT PRIOR APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER.
- ALL MATERIALS USED SHALL BE NEW AND DELIVERED TO THE JOB IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURER'S LABELS.
- ALL COLORS SHALL BE AS SELECTED BY THE ARCHITECT.
- THE CONTRACTOR SHALL LEAVE ALL CHASES, HOLES, OR OPENINGS TRUE AND OF PROPER SIZE IN HIS OWN WORK, OR CUT SAME IN EXISTING WORK AS MAY BE NECESSARY FOR PROPER INSTALLATION OF HIS OWN, OR OTHER CONTRACTORS WORK, CONSULTING WITH OTHER CONTRACTORS CONCERNED REGARDING PROPER LOCATION AND SIZE OF SAME. IN CASE OF HIS FAILURE TO LEAVE OR CUT SAME IN THE PROPER PLACE, HE SHALL CUT THEM AFTERWARDS AT HIS OWN EXPENSE. NO EXCESSIVE CUTTING WILL BE PERMITTED NOR SHALL ANY STRUCTURAL MEMBER BE CUT WITHOUT THE CONSENT OF THE ARCHITECT. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE COORDINATION OF ALL THE WORK OF HIS TRADES PLUS THE COORDINATION, REPAIR AND PREPARATION FOR THE WORK OF ANY OTHER TRADES THAT WILL BE SUBSEQUENTLY LET UNDER SEPARATE CONTRACT BY THE OWNER.
- ALL CONTRACTORS WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, MATCHING AND ALIGNING ALL SURFACES WHERE APPLICABLE TO AFFORD A FINISHED NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACES FREE OF ALL DIRT AND REPAIR DAMAGE BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADE. ALL ADJACENT SURFACES TO THEIR WORK SHALL BE LEFT AS THEY APPEAR PRIOR TO THE COMMENCEMENT OF THE CONTRACTORS WORK TO BE DONE. CONTRACTOR SHALL PROPERLY PROTECT ALL ADJACENT SURFACES DURING THE COURSE OF THIS INSTALLATION. ALL GLASS AND HARDWARE SHALL BE THOROUGHLY CLEANED IN A MANNER ACCEPTABLE TO THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE IN WRITING IN FORM AS ACCEPTABLE TO THE OWNER ALL LABOR AND MATERIALS INSTALLED BY HIM FOR A PERIOD NO LESS THAN (1) ONE YEAR AFTER DATE OF ACCEPTANCE OF WORK BY THE OWNER EXCEPT AS NOTED HEREIN OR ON OTHER DRAWINGS. SHOULD DEFECTS OCCUR, ALL WORK BY THE OWNER EXCEPT AS NOTED HEREIN OR ON OTHER DRAWINGS. SHOULD DEFECTS OCCUR, ALL WORK BY THE OWNER EXCEPT AS NOTED HEREIN OR ON OTHER DRAWINGS.
- ALL WORK AND/OR MATERIAL SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S OR INDUSTRY'S RECOMMENDATIONS OF SPECIFICATIONS.
- SHOP DRAWINGS AND SAMPLES FOR ITEMS DESIGNATED BY THE ARCHITECT SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
- NO CLAIMS FOR EXTRAS OR CHANGE ORDERS WILL BE GIVEN CONSIDERATION UNLESS THEY ARE IN WRITING AND SIGNED BY THE ARCHITECT, THE CONTRACTOR AND THE OWNER.
- THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF BUILDINGS OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A-100, LATEST EDITION, ARE HEREBY MADE PART OF CONTRACT DOCUMENTS. THESE GENERAL NOTES, SPECIFICATIONS AND CONTRACT BETWEEN THE OWNER AND CONTRACTOR SHALL TAKE PRECEDENCE OVER THE 'GENERAL CONDITIONS' IN THE EVENT OF A CONFLICT.
- AIR CONDITIONING & VENTILATION PERMIT BY MECHANICAL CONTRACTOR.
- LANDSCAPING NOTES:
ALL PLANTS TO BE GUARANTEED FOR 90 DAYS TO COMMENCE AT CERTIFICATE OF OCCUPANCY. ALL LANDSCAPE AREAS SHALL BE CONTINUOUSLY MAINTAINED IN A GOOD HEALTHY CONDITION AND SPRINKLER SYSTEMS OF SUFFICIENT SIZE AND SPACING SHALL BE INSTALLED TO SERVE ALL REQUIRED LANDSCAPE AREAS OR WATER OUTLET WITHIN 80 FEET OF LANDSCAPED AREA. INSTALLATION ACCORDING TO ACCEPTED GOOD PLANTING PROCEDURES. PLANT MATERIALS USED IN CONFORMANCE TO STANDARDS FOR FLORIDA (NO) OR BETTER IN GRADES 1 STANDARDS FOR NURSERY PLANTS' PART 1, 1983 AND PART 2, STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, TALLAHASSEE, FLORIDA.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE APPROVAL OF A/ SHOP DRAWINGS STATED IN THESE DRAWINGS.

LEGAL DESCRIPTION:

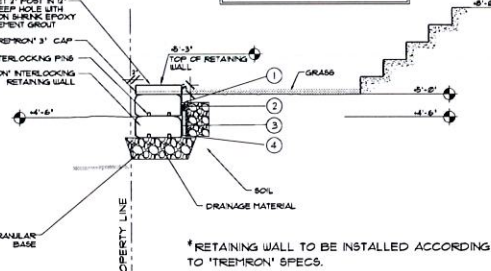
LOT 1 BLOCK 30 OF 'BAY HARBOR ISLAND'
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT
BOOK 46, AT PAGE 5, OF THE PUBLIC RECORDS OF DADE
COUNTY, FLORIDA.

- HATCHED AREA INDICATES SECOND FLOOR ABOVE
- EXISTING GRADE ELEVATIONS
- NEW GRADE ELEVATIONS

EXISTING HOUSE TO BE DEMOLISHED UNDER SEPARATE PERMIT.

- 6" HIGH ALUMINUM PICKET FENCE PAINTED BLACK
- 6" HIGH CHAIN LINK FENCE GALVANIZED COLOR
- 6" HIGH MASONRY WALL PAINTED SAME COLOR AS MAIN HOUSE

- 1. TERMINATION BAR
- 2. DRAIN MAT
- 3. PROTECTION BOARD OVER
- 4. MODIFIED ROOFING PAPER OVER
- 5. OVER L.I.D. APPLIED WATER
- 6. FLOORING 1/2" G.L. BY TREMOR

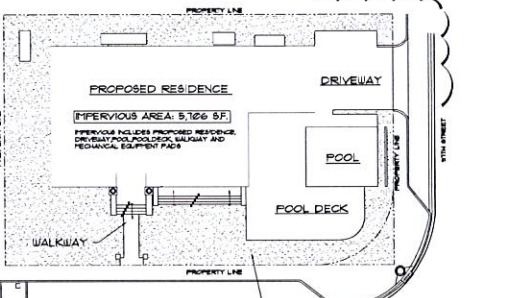


FRE-FAB RETAINING GRAVITY WALL
DETAIL BY 'TREMOR GROUP'

N.T.S.

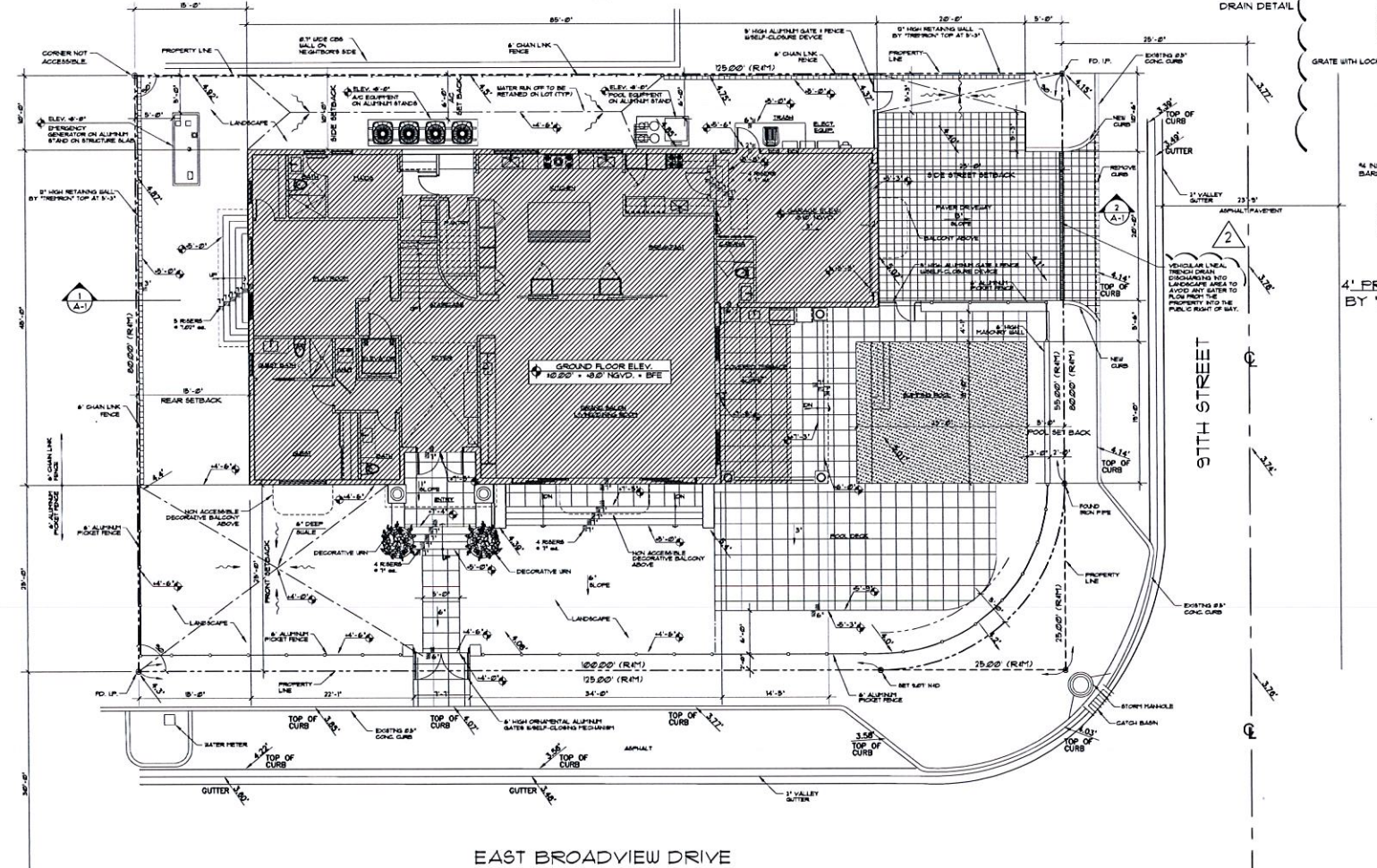
LOCATION OF PROJECT

N.T.S.



PERVIOUS AREA

N.T.S.



EAST BROADVIEW DRIVE

SITE PLAN

SCALE: 1/8" = 1'-0"

CONTRACTOR TO VERIFY ALL SETBACKS, EASEMENTS, R.O.W.
SIZE AND LOCATIONS AND BE RESPONSIBLE FOR THE SAME

ZONING DATA

ZONING: RD-SINGLE FAMILY DISTRICT

LOT AREA: 10,000 SF.

LOT FRONTAGE: 125'-0"

SETBACKS:	REQUIRED	PROVIDED
FRONT (EAST)	25'	25'-0"
SIDE (WEST)	10'	10'-0"
REAR (SOUTH)	15'	15'-0"
SIDE STREET (NORTH)	25'	25'-0"
BUILDING HEIGHT	30' MAX. ABOVE B.F.E.	29'-1"

AREA CALCULATIONS:

LOT AREA: 10,000 SF	6,155 SF.
MINIMUM FLOOR AREA: 1,500 SF	42.3% = 4,234 SF.
PERVIOUS	57.1% = 5,766 SF.

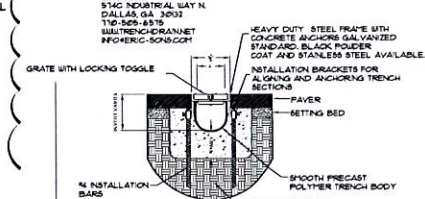
BUILDING AREAS UNDER A/C:	
GROUND FLOOR A/C AREA	2,868 SF
SECOND FLOOR A/C AREA	3,287 SF
TOTAL A/C AREA	6,155 SF

GENERAL AREAS	
GARAGE	370 SF
COVERED ENTRANCE	10 SF
GROUND FL. TERRACES	345 SF
SECOND FL. TERRACE & BALCONY	165 SF

POOL DECK	872 SF
DRIVEWAY	630 SF
SUNNING POOL	391 SF

TRENCH DRAIN DETAIL

N.T.S.



NOTES:
1. STANDARD SLOPE IS 1/8" PER FOOT UNLESS OTHERWISE SPECIFIED.
2. REINFORCE ACCORDING TO STRUCTURAL REQUIREMENTS.
3. TRENCH DRAIN MUST BE 2" BELOW FINISHED CONCRETE GRADE.
TYPICAL DTFE TRENCH SECTION 1/3" PAVEMENT

4" PRECAST TRENCH DRAIN DETAIL

BY 'DURA-TRENCH'

N.T.S.

PROPOSED RESIDENCE FOR:
RICHARD AND KAREN SAKA
(PROPERTY ADDRESS: 9640 EAST BROADVIEW DR. BAY HARBOR ISLAND, FL 33154)
FOLIO # 1, B-227-0001-5430

florida architectural services inc.
daniel sorogon architect/planner
AR 0010418
34 N.W. 165 TH. STREET, NORTH MIAMI BEACH, FL 33169
(305) 955-0212

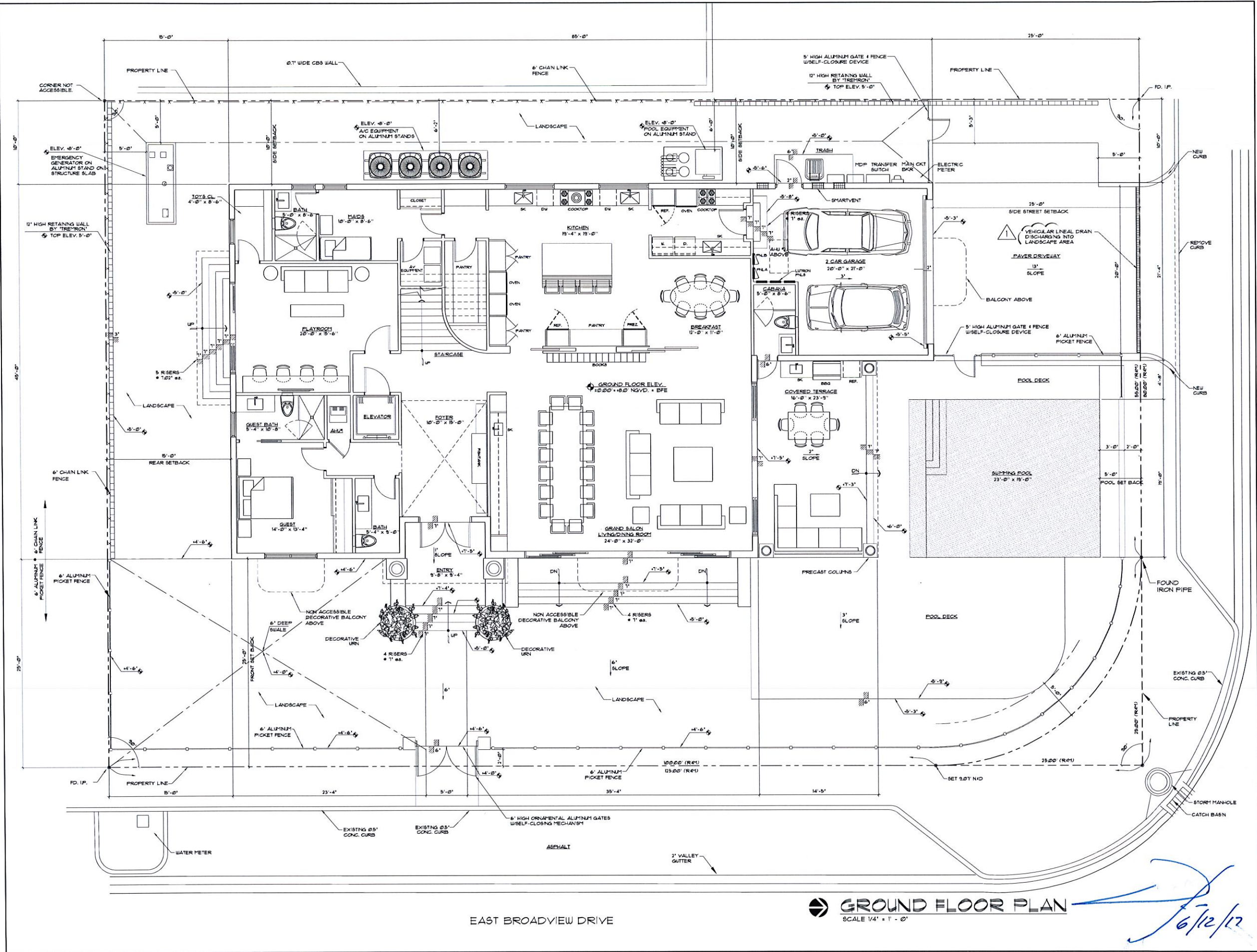
REVISIONS BY:
1. 05-22-17 DS
2. 06-09-17 DS
3.
4.
5.

DRAWN
CB
CHECKED
DS
DATE
APRIL 26, 2017
SCALE:
1/8" = 1'-0"
FILE:
SAKA RES.

SHEET NO.
A-1
OF 7 SHEETS

COLOR ORIGINAL

ALL DIMENSIONS AND FINISHES ARE TO BE SHOWN ON THE ARCHITECT'S DRAWINGS. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE A COMPLETE SET OF DRAWINGS THAT WILL BE USED TO CONSTRUCT THE PROJECT. THE ARCHITECT'S RESPONSIBILITY IS NOT TO PROVIDE A COMPLETE SET OF DRAWINGS THAT WILL BE USED TO CONSTRUCT THE PROJECT. THE ARCHITECT'S RESPONSIBILITY IS NOT TO PROVIDE A COMPLETE SET OF DRAWINGS THAT WILL BE USED TO CONSTRUCT THE PROJECT.



REVISIONS	BY
1	06-9-11 DS
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PROPOSED RESIDENCE FOR:
RICHARD AND KAREN SAKA
(PROPERTY ADDRESS: 36-40 EAST BROADVIEW DR. BAY HARBOR ISLAND, FL 33154)
FOLIO # 1, B-2271-001-56-50

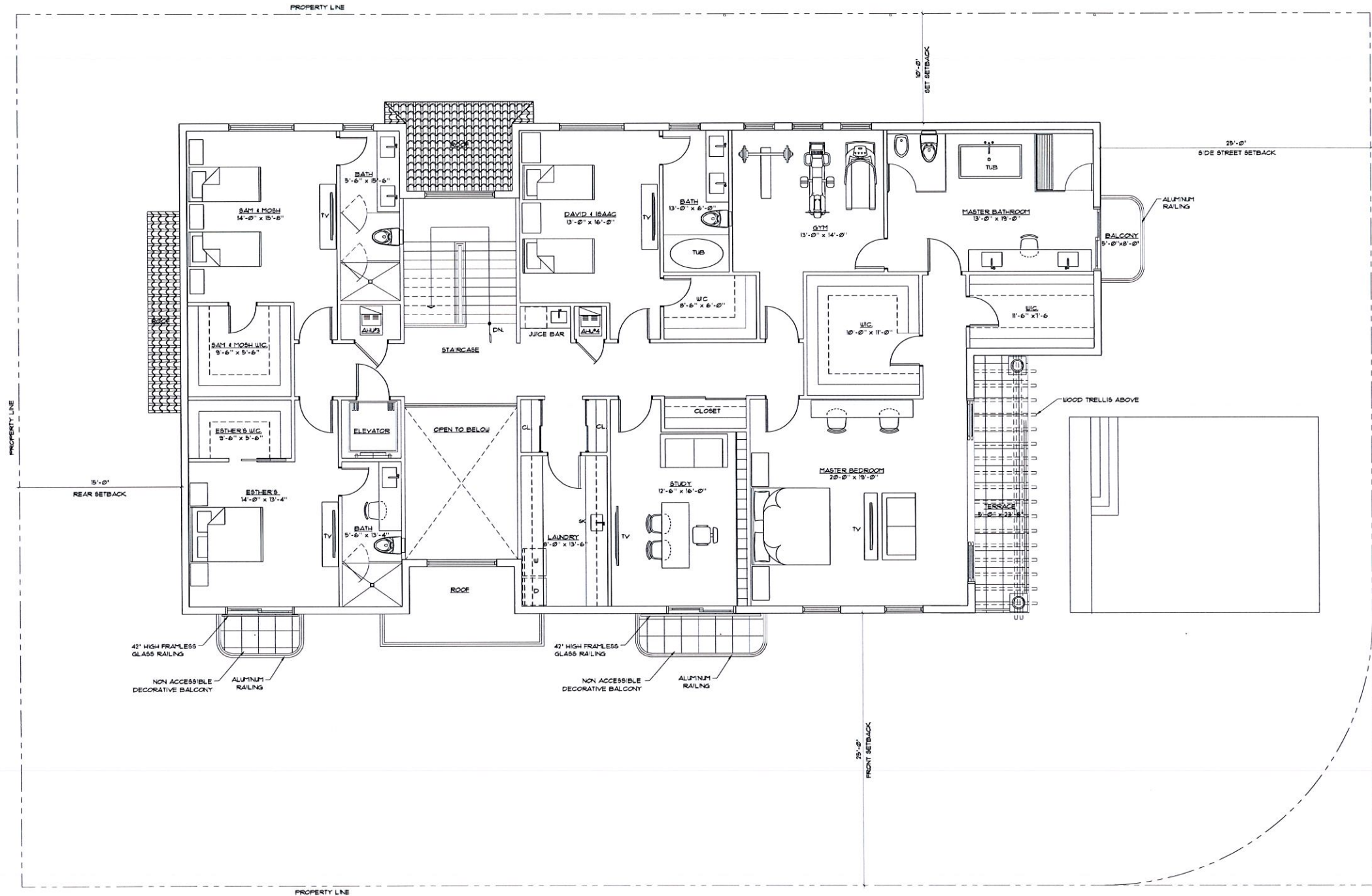
florida architectural services inc.
daniel saragon AR 0010418 architect/planner
34 N.W. 168 TH. STREET NORTH MIAMI BEACH FL 33169 (305) 653-0212

F&A

DRAWN	CS
CHECKED	DS
DATE	APRIL 26, 2011
SCALE	1/4"
FILE	SAKA RES.

SHEET NO.
A-2
OF 7 SHEETS
COLOR ORIGINAL

ALL DESIGNS AND DRAWINGS HEREON AND THEREON SHALL BE THE PROPERTY OF ARCHITECT AND ARCHITECT FIRM. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ARCHITECT AND ARCHITECT FIRM.



SECOND FLOOR PLAN
SCALE 1/4" = 1' - 0"

Handwritten signature and date: 4/12/17

REVISIONS	BY
1	
2	
3	
4	
5	

PROPOSED RESIDENCE FOR:
RICHARD AND KAREN SAKA
(PROPERTY ADDRESS: 5649 EAST BROADVIEW DR. BAY HARBOR ISLAND, FL 33564)
FOLIO #.: 1B-2221-0201-5430

florida architectural services inc.
daniel sorogon AR 0010418 architect/planner
34 N.W. 168 TH. STREET, NORTH MIAMI BEACH FL 33169 (305) 653-0212

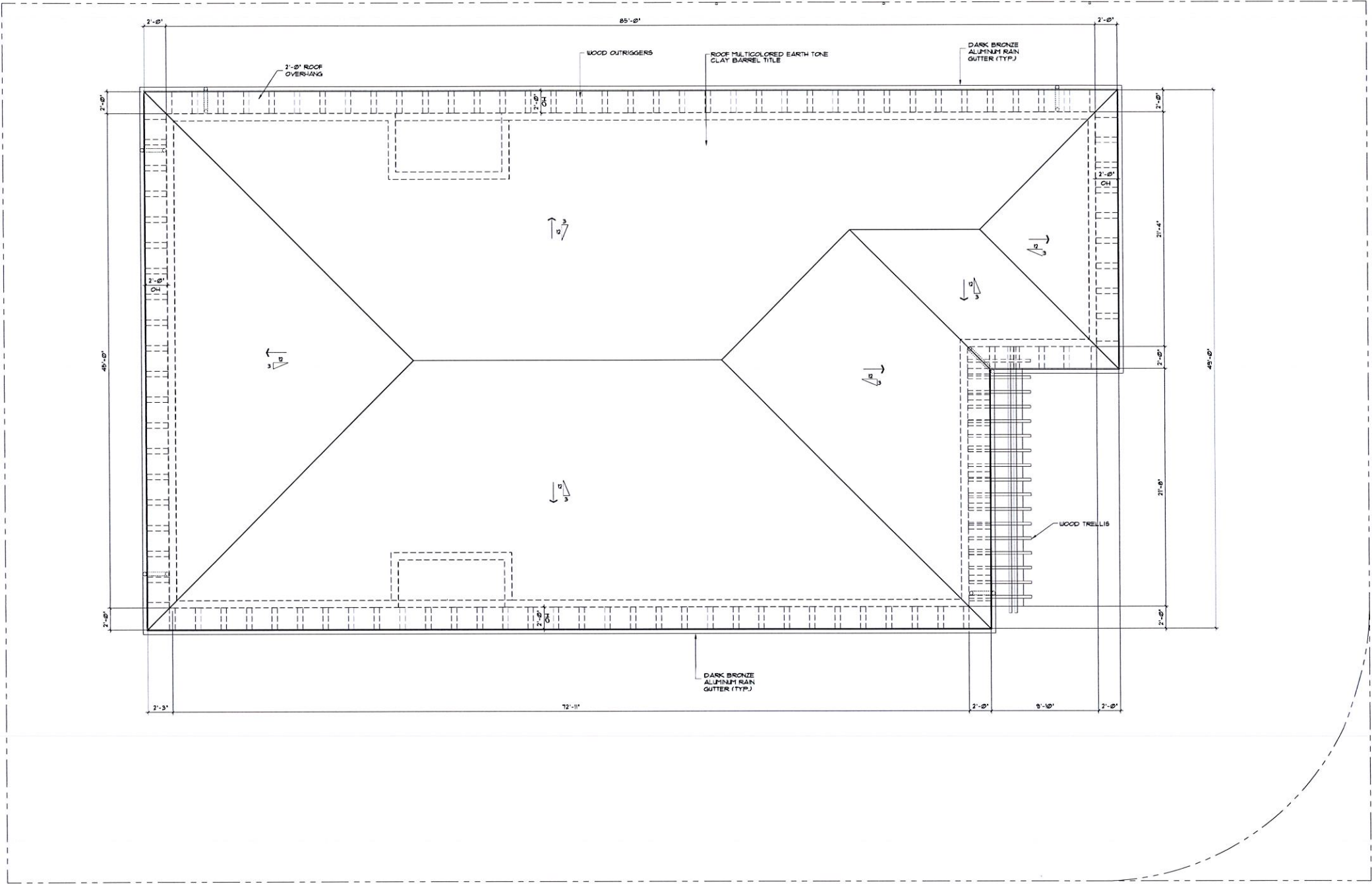


DRAWN	CS
CHECKED	DS
DATE	APRIL 26, 2017
SCALE	1/4"
FILE	SAKA RES.

SHEET NO.
A-3
OF 1 SHEETS

COLOR ORIGINAL

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ROOF PLAN
SCALE 1/4" = 1' - 0"

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florida architectural services inc.
daniel sorogon AR 0010418 architect/planner
34 N.W. 168 TH. STREET, NORTH MIAMI BEACH, FL 33169 (305) 653-0212

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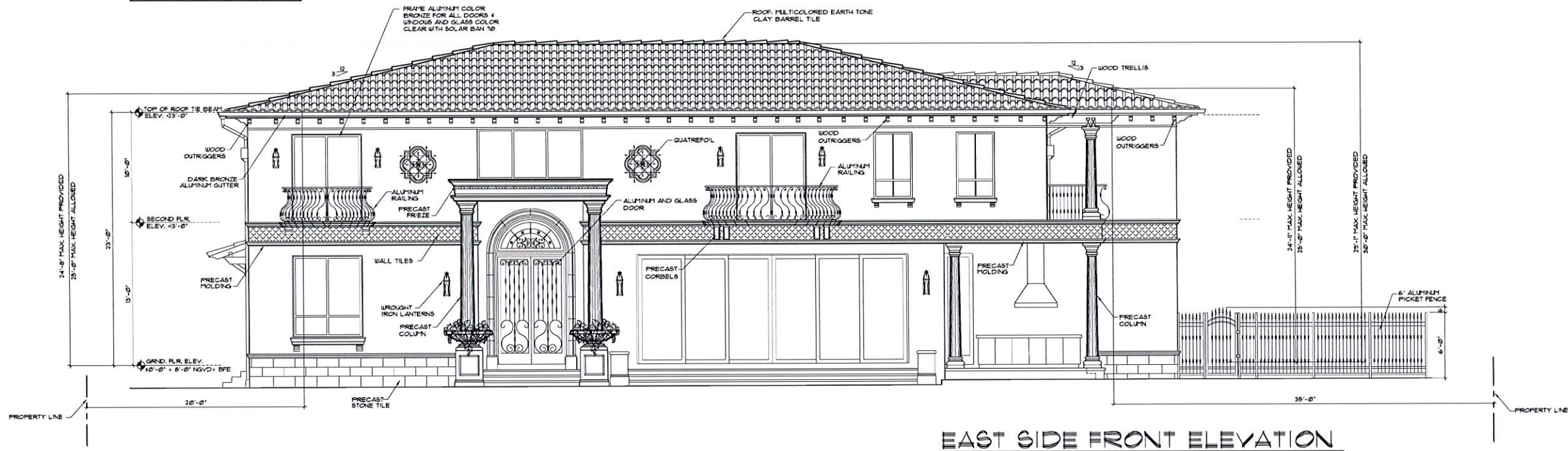
PROPOSED RESIDENCE FOR:
RICHARD AND KAREN SAKA
(PROPERTY ADDRESS: 5640 EAST BROADVIEW DR. BAY HARBOR ISLAND, FL 3354)

FOLIO # 1: 15-2271-001-5630

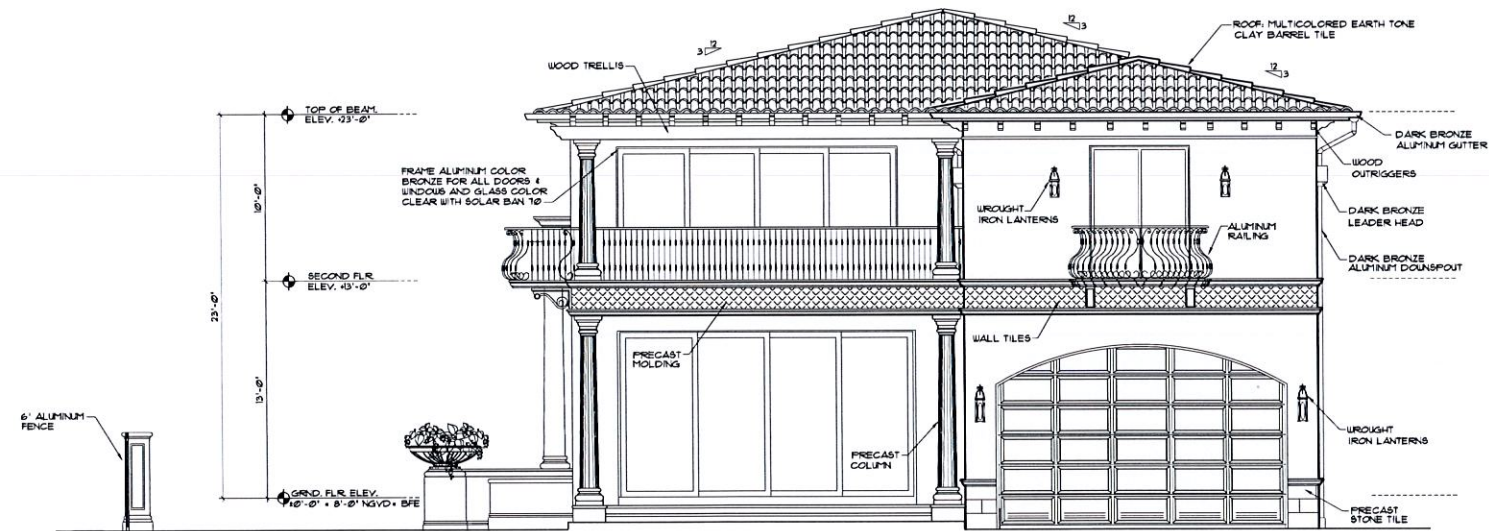
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EXTERIOR WALL NOTE:
PAINT WILL BE: BENJAMIN MOORE
'WHITE VANILLA' 2B-P-112/AC PAINT



EAST SIDE FRONT ELEVATION
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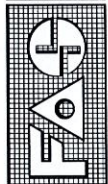
NORTH SIDE STREET ELEVATION
SCALE 1/4" = 1' - 0"

Signature
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PROPOSED RESIDENCE FOR:
RICHARD AND KAREN SAKA
(PROPERTY ADDRESS: 3640 EAST BROADVIEW DR. BAY HARBOR ISLAND, FL 33564
FOLIO #: 15-2271-001-5430)

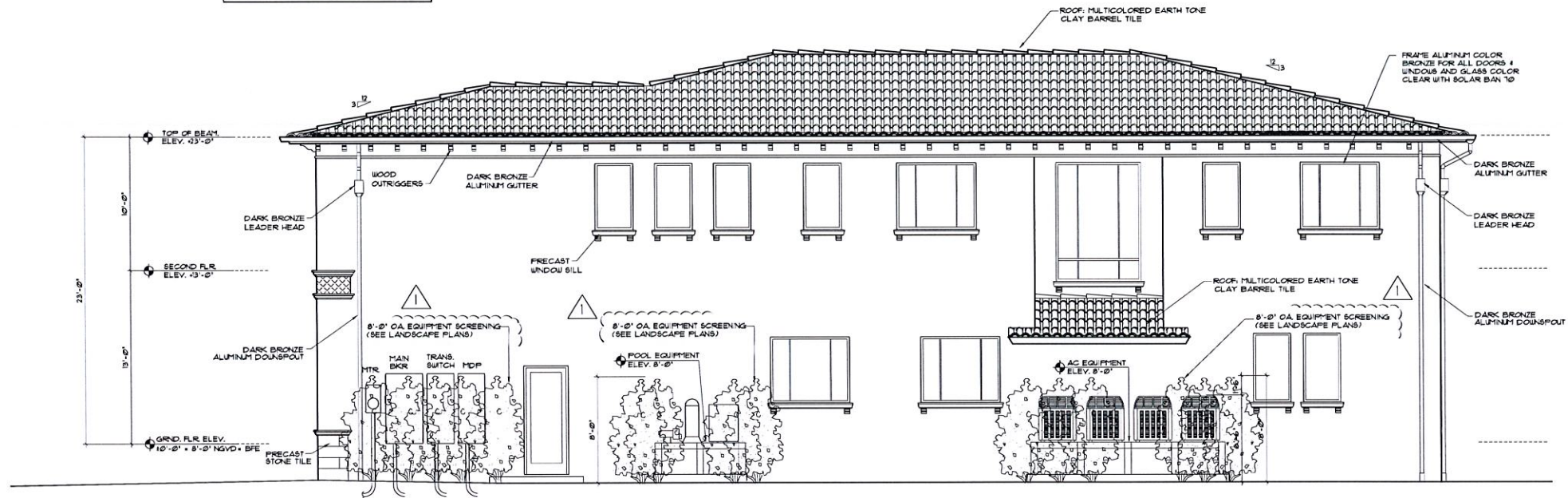
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daniel sorogon ar 0010416 architect/planner
34 N.W. 168 TH. STREET, NORTH MIAMI BEACH FL 33169 (305) 653-0212



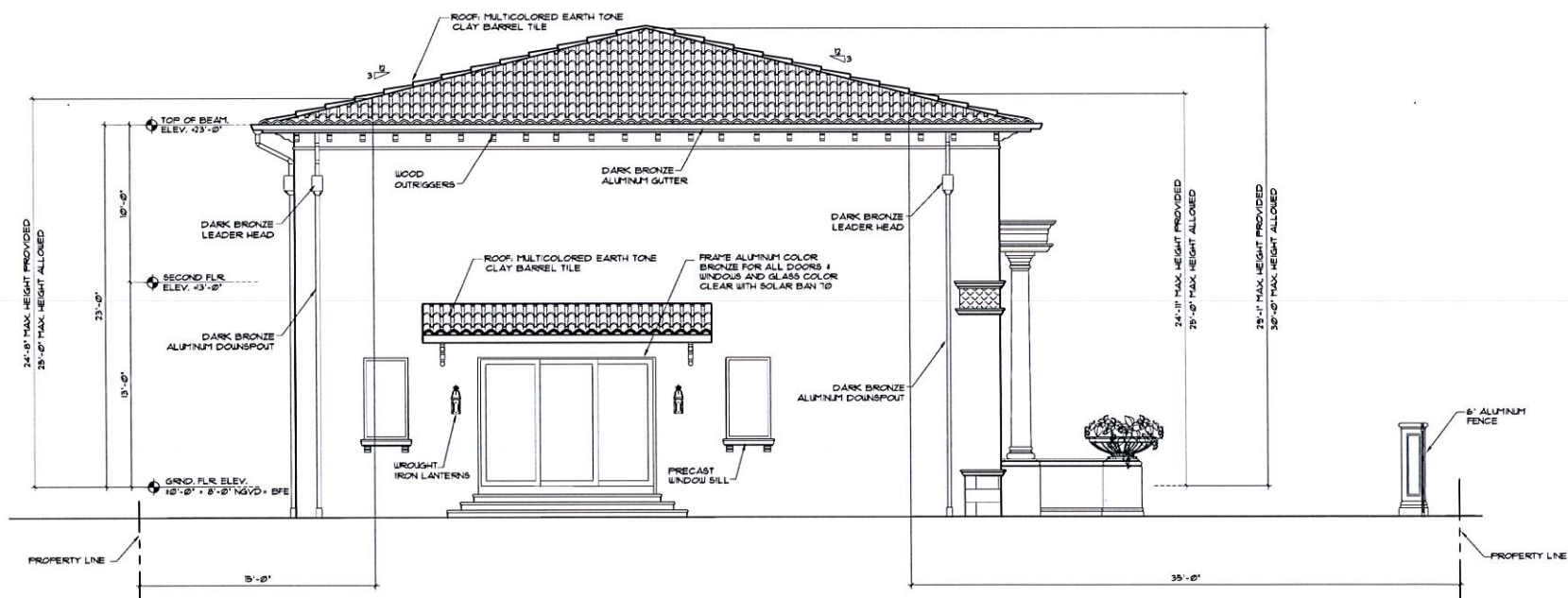
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EXTERIOR WALL NOTE:
PAINT WILL BE: BENJAMIN MOORE
"WHITE VANILLA" 2B-P-10/UC PAINT



WEST SIDE ELEVATION
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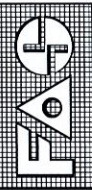


SOUTH REAR ELEVATION
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PROPOSED RESIDENCE FOR:
RICHARD AND KAREN SAKA
(PROPERTY ADDRESS: 5640 EAST BROADVIEW DR. BAY HARBOR ISLAND, FL 33554)
POLIO # 1: 15-2271-0201-54530

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COLOR OR SHOWN

Architectural elevation drawing of a two-story house. The house features a tiled roof, multiple windows, balconies, and a front porch. A 6' aluminum picket fence is shown in the foreground. The drawing includes a 6' x 6' dimension line on the left.

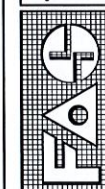
Architectural elevation drawing of a two-story house. The house features a tiled roof, a balcony with a decorative railing, and a large window on the second floor. The first floor includes a large window and a garage door with a decorative transom. A 6' high masonry wall is shown in front of the house, and a 6' aluminum picket fence is visible on the left. The drawing is labeled with dimensions and materials.

9/12/12

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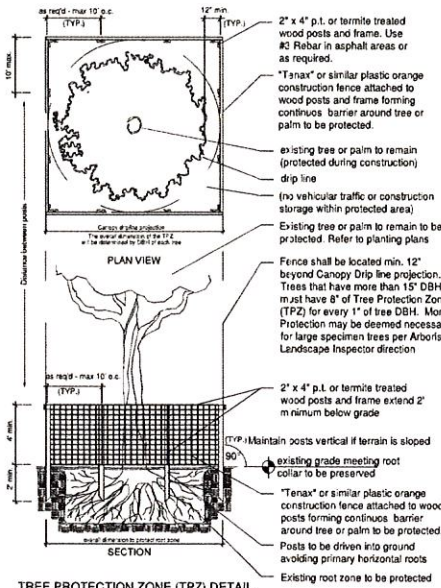
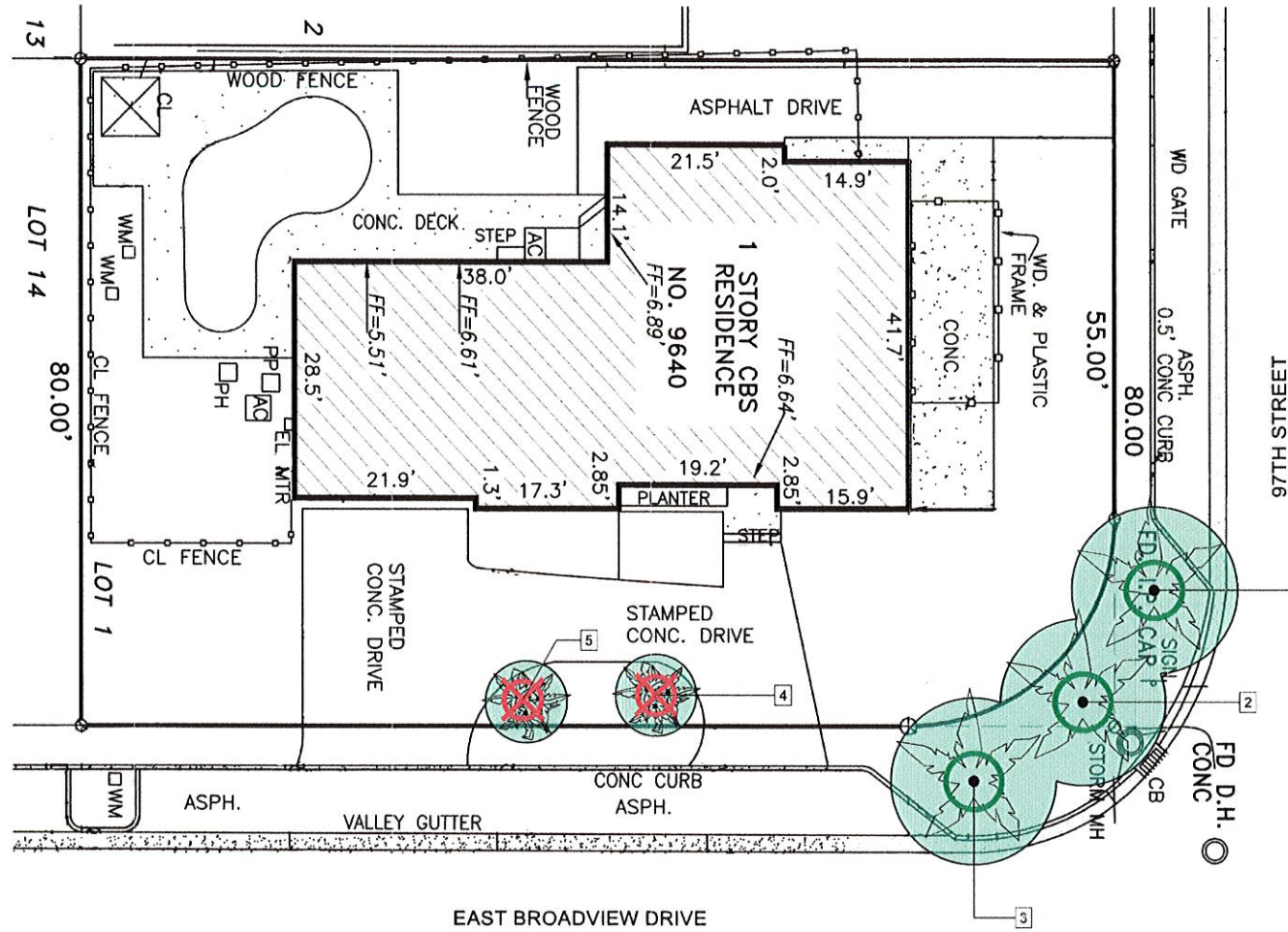
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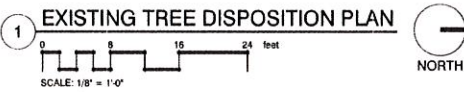
PROPOSED LANDSCAPE FOR RICHARD & KAREN SAKA

9640 EAST BROADVIEW DR. BAY HARBOR ISLAND, FLORIDA 33154

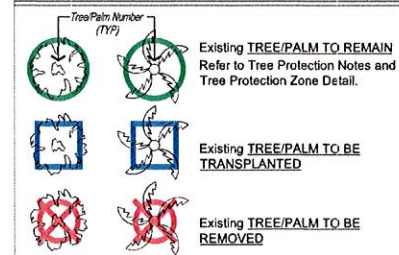


TREE PROTECTION NOTES

- Before beginning work, the Contractor is required to meet with the Landscape Architect at the site to review all work procedures, access routes, storage areas, and tree protection measures.
- The General Contractor is required to coordinate with the Landscape Architect to determine the amount of tree canopy or root zone that the General Contractor will be responsible for pruning. **THE TRIMMING SHALL BE AS PER ANSI A300 STANDARDS.**
- Fences shall be erected to protect trees to be preserved. Fences define a specific Tree Protection Zone (TPZ) for each tree or group of trees. Fences are to remain until all site work has been completed. Fences may not be relocated or removed without the written permission of the Landscape Architect. Refer to **TREE PROTECTION ZONE (TPZ) DETAIL.**
- Construction trailers, traffic and storage areas must remain outside fenced areas at all times.
- All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree.
- No materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree protection zone (fenced area).
- Additional tree pruning required for clearance during construction must be performed by an ISA qualified arborist **AS PER ANSI A300 STANDARDS**, and not by construction personnel.
- Any herbicides placed under paving materials must be safe for use around trees and labeled for that use. Any pesticides used on site must be tree-safe and not easily transported by water.
- If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Landscape Contractor and the Landscape Architect should be notified immediately.
- Any grading, construction, demolition, or other work that is expected to encounter tree roots must be monitored by the Landscape Contractor.
- All trees shall be irrigated three times a week. Each irrigation procedure shall wet the soil within the tree protection zone. **2.3 GALLONS OF WATER PER INCH OF TRUNK CALIPER.**
- All trees to remain on-site shall be fertilized three times per year using a granular 6-12-12 "Palm Special" product at standard rates. Fertilizer shall be broadcast on the ground beneath the canopy of each tree and watered in.
- Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent site erosion and siltation situations and/or erosion within the tree protection zones.
- Before grading, pad preparation, or excavation for foundations, footings, walls, or trenching near trees the trees shall be root pruned 12 inches outside the tree protection zone by cutting all roots clearly to a depth of 36 inches. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root-pruning equipment.
- Any roots damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a saw.
- If temporary haul or access roads must pass over the root area of trees to be retained, a road bed of 6 inches of mulch or gravel shall be created to protect the soil. The road bed material shall be replenished as necessary to maintain a 6-inch depth.
- Spoil from trenches, basements, or other excavations shall not be placed within the tree protection zone, either temporarily or permanently.
- No burn pits or debris pits shall be placed within the tree protection zone. No ashes, debris, or garbage may be dumped or buried within the tree protection zone.
- Maintain fire-safe areas around fenced areas. Also, no heat sources, flames, ignition sources, or smoking is allowed near mulch or trees.



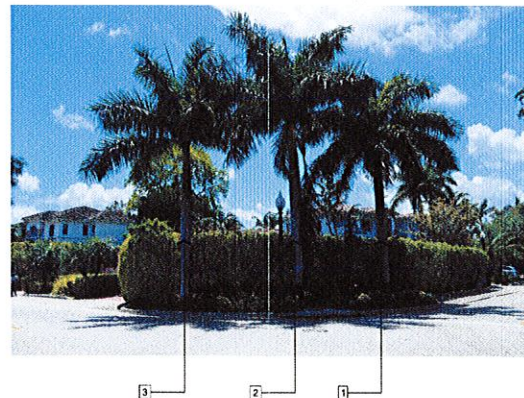
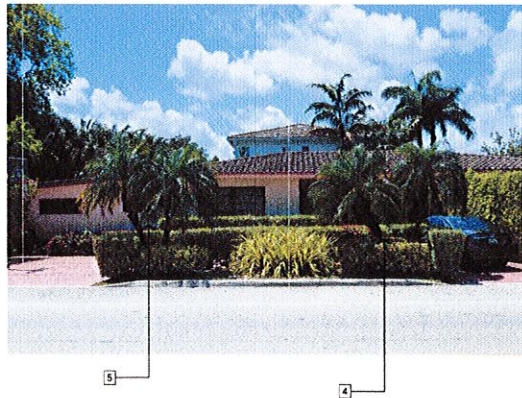
TREE DISPOSITION LEGEND



Symbols do not show the actual canopy of the trees, for clarity, always cross check with Existing Tree Disposition List for sizes and disposition status. Contact landscape architect / ISA certified arborist for clarification on any discrepancies.

EXISTING TREE DISPOSITION LIST									
NUMBER	COMMON NAME	BOTANICAL NAME	HEIGHT (FT)	SPREAD (FT)	DIAMETER (FT)	CANOPY (SQ.FT)	CANOPY LOSS	DISPOSITION	COMMENTS
1	Roystonea regia	Royal Palm	24	16	1.5	201	0	Remain	
2	Roystonea regia	Royal Palm	24	16	1.5	201	0	Remain	
3	Roystonea regia	Royal Palm	24	16	1.5	201	0	Remain	
4	Phoenix roebelenii	Pygmy Date Palm	7	6	0.5	28	28	Remove	Proposed Building Conflicts
5	Phoenix roebelenii	Pygmy Date Palm	7	6	0.5	28	28	Remove	Proposed Building Conflicts
TOTAL PROPOSED CANOPY LOSS (in square feet)							56		
All Shrubs/Vegetation Not Shown On This Schedule Are To Be Removed.									
4/13/2017									

DERM TREE MITIGATION SUMMARY CHART				
PROPOSED CANOPY LOSS				
2,764 Proposed Canopy Loss (see Existing Tree Disposition List)				
1,935 - 70% of canopy mitigation must be met with new trees				
829 - 30% of canopy mitigation may be met with palms				
REQUIRED CANOPY MITIGATION				
QUANTITY	REPLACEMENT CANOPY TYPE	MIN. SIZE AT PLANTING	CANOPY CREDIT (Sq.Ft)	CANOPY MITIGATED (Sq.Ft)
7	Shade Tree #1	12' OAH	500	3,500
0	Shade Tree #2	8' OAH	300	0
2	Palm #1	10' CT	300	600
0	Palm #2	3' CT	100	0
0	Small Tree	6' OAH	200	0
PROVIDED CANOPY MITIGATION				4,100



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PROPOSED RESIDENCE FOR:
RICHARD AND KAREN SAKA
PROPERTY ADDRESS: 9640 EAST BROADVIEW DR. BAY HARBOR ISLAND, FL 33154
FOLIO #: 13-2227-001-5690

florida architectural services inc.
daniel scraggon architect / planner
34 N.W. 168 TH. STREET, NORTH MIAMI BEACH FL 33169
(305) 653-0212



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PROPOSED LANDSCAPE FOR RICHARD & KAREN SAKA

9640 EAST BROADVIEW DR. BAY HARBOR ISLAND, FLORIDA 33154

JUN 12 2017

DERRICK LANGE (LAW67043) / ALL LANDSCAPE DATA INC.
737 NW 41 ST. SUITE 800 CORAL, FL 33114 / (305) 332-7059
www.alllandscape.com

Town of Bay Harbor Islands Landscape Code (Sec. 24-16) Requirements Legend

Residential - Single-Family and Two-Family Home Sites

A. Shade Trees Required*

	Required	Provided
1. Single-Family Non-Waterfront Lot	5	5
2. Single-Family Waterfront Lot	6	N/A
3. Two-Family Lot	5	N/A
4. Number of Shade Trees in Front Yard	2	2 (2) Brazilian Beautyfeet
5. Native Species Required - 50%	3	3
6. Drought Tolerant and Low Maintenance Species Require - 50%	3	3
7. Street Trees Required: East Broadway Drive Linear street frontage 125' / 35 = 3.57	4	4 (2) Glauca Cassia + (2) Existing Royal Palms
97th Street Linear street frontage 80' / 35 = 2.28	3	3 (2) Southern Live Oak + (1) Existing Royal Palms

B. Shrubs Required**

1. Single-Family Non-Waterfront Lot	50	213
2. Single-Family Waterfront Lot	60	N/A
3. Two-Family Lot	50	N/A
4. Native Species Required - 30%	15 / 18	50
5. Drought Tolerant and Low Maintenance Species Require - 50%	25 / 30	107

C. Maximum Lawn Area Allowed*** 50% of Net Lot Area

4,847 (Max)	1,832
-------------	-------

Notes:
* Required Shade Trees at time of planting must be a minimum of 12 feet in overall height; have 4 feet of clear wood before branching; and have a 2 1/2 inch caliper. Palm Trees can be substituted at a 3:1 ratio (except approved larger varieties) to a maximum of 25% of the required trees.
** Required Shrubs at time of planting must be a minimum of 24 inches in overall height; if used as a visual screen must be a minimum of 36 inches in overall height.
*** Miami-Dade County Landscape Ordinance Sec. 18A-5 (A)(5)

GENERAL NOTES

- Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
- Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for change orders.
- Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
- No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting.
- All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
- All planted areas to be irrigated with automatic irrigation system providing 100% coverage and 50% overlap. A rain sensor must be part of the irrigation system.
- Landscape Contractor shall be responsible for providing temporary hand watering to all proposed & landscape areas, during construction.
- The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the Tree/Palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
- All permitting and fees to be the responsibility of the Contractor.

PLANTING NOTES

- Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, herbicide, preemergence herbicide, seed, and mulch. Landscape Contractor to provide Landscape Architect with at least 5 days notice prior to tree installation.
- Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
- All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
- Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
- Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor.
- The Landscape Contractor shall treat planted areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall apply pre emergent herbicide per manufacturer's recommendation, wait period prior to planting as specified. Planting soil mix/backfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
- All soil mix in plant beds for ground covers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 4" topsoil "if required".
- All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
- All synthetic burlap, string, cord or wire baskets shall be removed before trees are planted, without breaking the soil ball. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of natural burlap shall be removed, after the tree is set in the planting hole and before the tree is backfilled. Landscape Contractor is to check for root defects including deep planting in the root ball and circling roots, trees with root problems will not be accepted.
- Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color Eucalyptus or Enviro-mulch immediately after planting. In no case shall Cypress mulch be used.
- All Trees/Palms in sod areas are to receive a 48" diameter mulched saucer at the base of the trunk respectively.
- Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
- All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
- All broken branches and clear trunk branches on street trees are to be pruned according to ANSI A - 300 Guidelines for Tree Pruning to min. 5' - 0" height clearance to the base of canopy.
- Landscape Contractor shall fertilize plant material as needed to support optimum healthy plant growth. All fertilization shall be performed in compliance with the latest ANSI A300 (Part 2) Standards.
- Stake all trees and palms for approval by Landscape Architect prior to installation.
- Any sod areas damaged by construction are to be replaced with St. Augustine "Floriant" sod.
- All areas within limits of work not covered by walks, buildings, playground, and/or any other hardscape feature shall be sodded with St. Augustine "Floriant" sod.
- St. Augustine "Palmetto" - Contractor's responsibility to verify quantity.

PROPOSED RESIDENCE FOR:
RICHARD AND KAREN SAKA

PROPERTY ADDRESS: 9640 EAST BROADVIEW DR. BAY HARBOR ISLAND, FL 33154

florida architectural services inc.
daniel sorogon architect / planner
34 N.W. 168 TH. STREET, NORTH MIAMI BEACH FL 33160
(305) 653-0212

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OF 3 SHEETS

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8737 NW 41 ST, SUITE 600 CORAL, FL 33178 / (305) 363 7098
www.allandscapedata.net / www.allandscapedata.com

JUN 12 2017



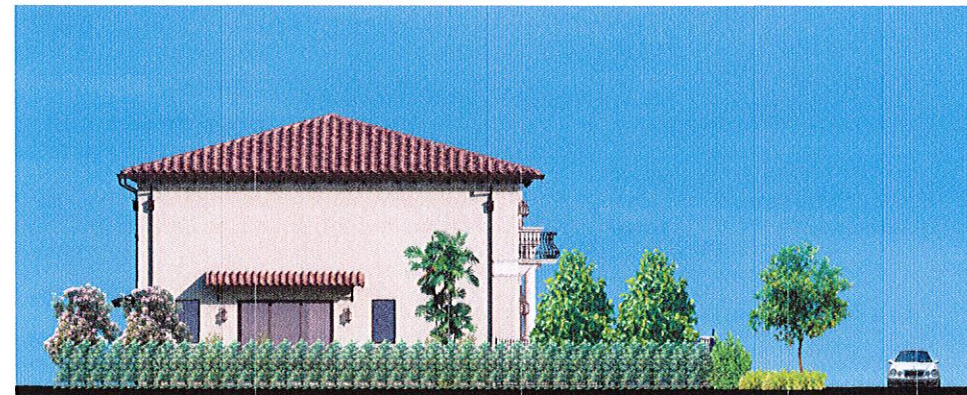
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3 Side Elevation (West)
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4 South Elevation
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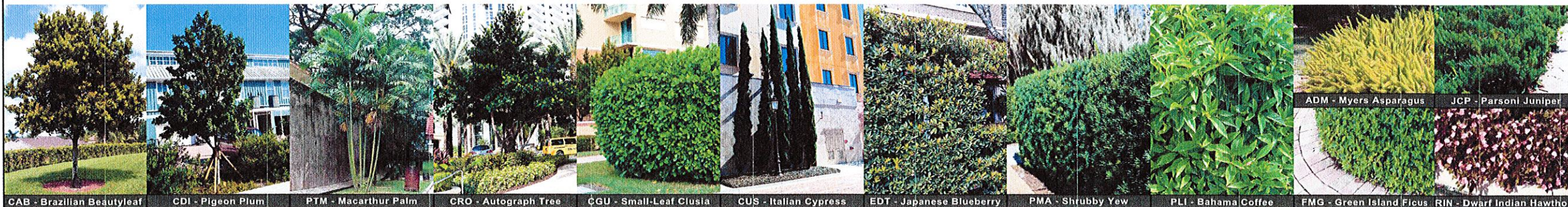
PROPOSED RESIDENCE FOR:
RICHARD AND KAREN SAKA
PROPERTY ADDRESS: 8640 EAST BROADVIEW DR, BAY HARBOR ISLAND, FL 33154
FOLIO #: 13-2227-001-5690

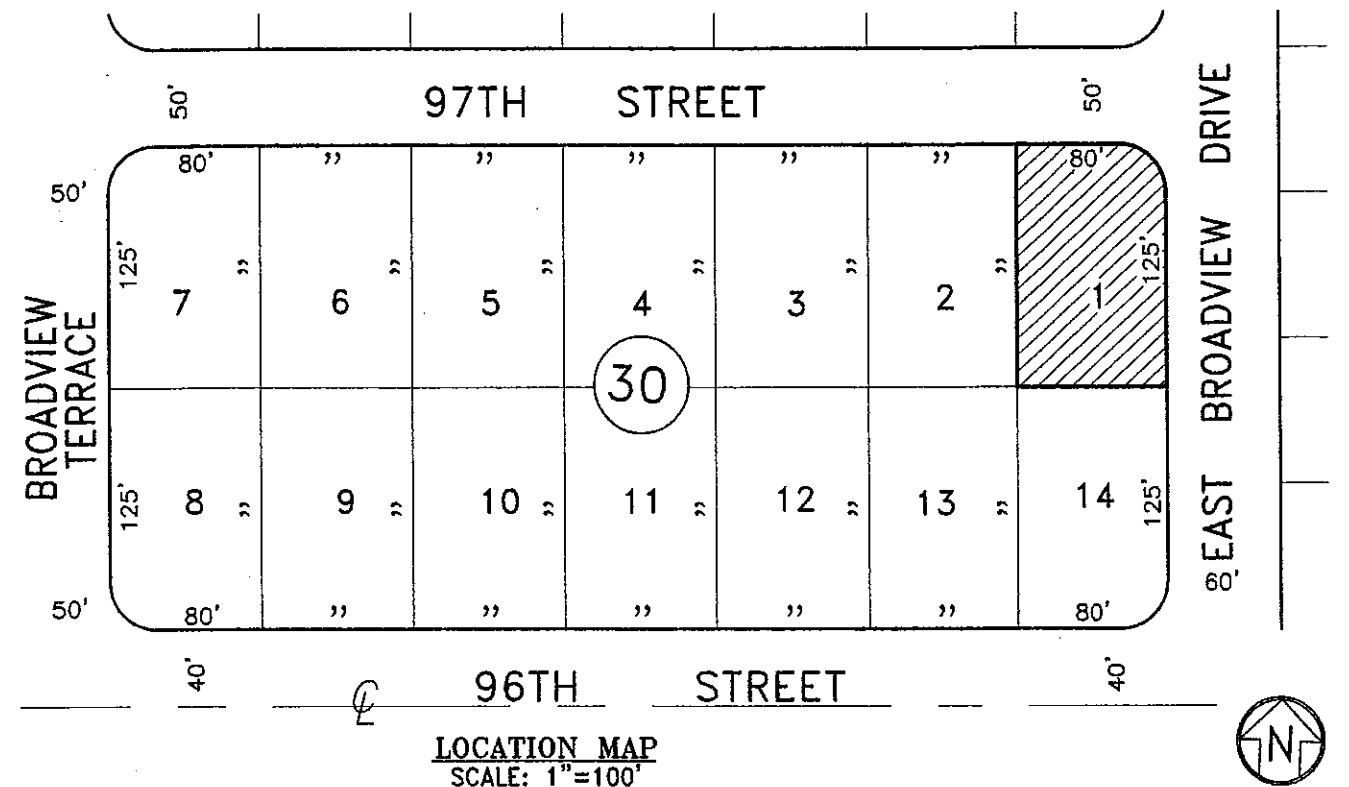
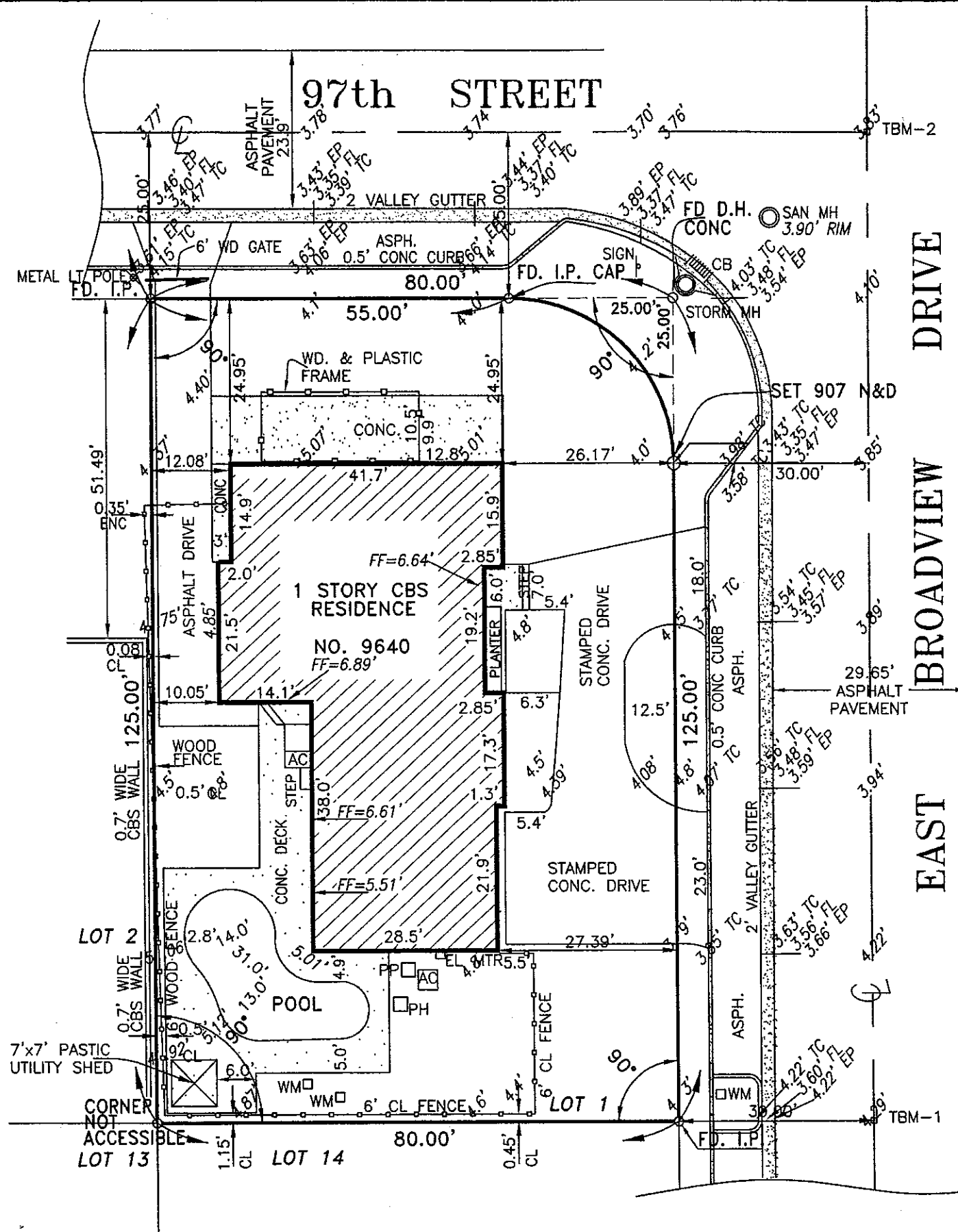
florida architectural services inc.
daniel sorogon AR 00104178 architect / planner
34 N.W. 168 TH. STREET, NORTH MIAMI BEACH FL 33169
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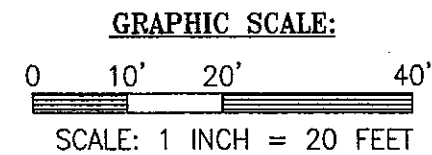
SHEET NO.
L-3
OF 3 SHEETS
COLOR ORIGINAL





SKETCH OF SURVEY

A. R. TOUSSAINT & ASSOCIATES, INC.
LAND SURVEYORS
FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB-273
620 N.E. 126 ST. NORTH MIAMI, FLORIDA 33161
CERTIFICATE OF AUTHORIZATION LB-273



LEGEND:

A.C. = AIR CONDITIONER
ASPH = ASPHALT
CONC = CONCRETE
CL = CLEAR
EL MTR = ELECTRIC METER
ENC = ENCROACHMENT
FD = FOUND
IP = IRON PIPE
LB = LAND SURVEYOR BUSINESS
MH = MANHOLE
PP = POOL HEATER
PH = POOL PUMP
RLS = REGISTERED LAND SURVEYOR No.
WM = WATER METER

ELEVATIONS:

EP = EDGE OF PAVEMENT
FF = FINISHED FLOOR
FL = FLOW LINE
TC = TOP OF CURB

SURVEYOR'S NOTE:

ELEVATIONS SHOWN REFER TO
THE NATIONAL GEODETIC
VERTICAL DATUM, 1929.
(N.G.V.D.)

LEGAL DESCRIPTION:

SURVEY OF LOT 1, BLOCK 30, BAY HARBOR
ISLAND, ACCORDING TO THE PLAT THEREOF
RECORDED IN PLAT BOOK 46 AT PAGE 5 OF THE
PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

SURVEYOR'S CERTIFICATION:

WE HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC
SURVEY IS TRUE AND CORRECT TO THE BEST OF OUR
KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND
PLATTED UNDER OUR DIRECTION AND THAT THIS SURVEY
COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR
LAND SURVEYING IN THE STATE OF FLORIDA, UNDER RULE
5J-17 FLORIDA ADMINISTRATIVE CODE, CHAPTER 472.027
FLORIDA STATUTES.
NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF
THE REGISTERED LAND SURVEYOR SHOWN HEREON.

A.R. TOUSSAINT & ASSOCIATES, INC.

BY: *Albert R. Toussaint* PRES.

ALBERT R. TOUSSAINT
REGISTERED ENGINEER NO. 8939
REGISTERED LAND SURVEYOR NO. 907
STATE OF FLORIDA
CERTIFICATE OF AUTHORIZATION LB-273

APRIL 30, 2004	9640 EAST BROADVIEW DRIVE
FB: 486 PG. 60	BAY HARBOR ISLAND
SCALE: 1" = 20'	MIAMI-DADE COUNTY, FLORIDA
DRAWING NUMBER	SHEET
13475	1 OF 1
BY	WT

REV	REVISION DESCRIPTION	WT	AT
2	REVISED 4/3/17 TO UPDATE SURVEY.		
1	REVISED 5/6/04 TO SHOW CURB.		