

When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don't turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

**TOWN OF BAY HARBOR ISLANDS
PLANNING AND ZONING BOARD**

June 7, 2016

FINAL AGENDA

CALL TO ORDER: Set for 7:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

1. Request for approval for a new single family home for “Jeffrey and Cathy Weiss” located at 1311 99 Street, Lot 8 of Block 37. The owners are proposing to construct a new single story home approximately 3,625 square feet of a/c living space with a two car garage. The residence will have three bedrooms, two full bathrooms and one half bathroom. Enclosed please find the site plan and elevations. (Item #1)

** Staff Review:* Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks, Community Planner.

2. Approval of the minutes held on April 19, 2016. (Item #2)

ADJOURNMENT

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AGENDA ITEM REPORT

June 7, 2016

ITEM NUMBER: 1.

ITEM: Request for approval for a new single family home for “Jeffrey and Cathy Weiss” located at 1311 99 Street, Lot 8 of Block 37. The owners are proposing to construct a new single story home approximately 3,625 square feet of a/c living space with a two car garage. The residence will have three bedrooms, two full bathrooms and one half bathroom. Enclosed please find the site plan and elevations. (Item #1)

DESCRIPTION:

RECOMMENDED ACTION:

Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks, Community Planner.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Martinez
 Ayanidys Martinez

ATTACHMENTS

1.	Site Plan and Elevations	1311.99StreetWeiss.pdf
2.	Staff Report	Weiss SFR PZB StaffReport June 01 2016.pdf

OF 6 SHEET

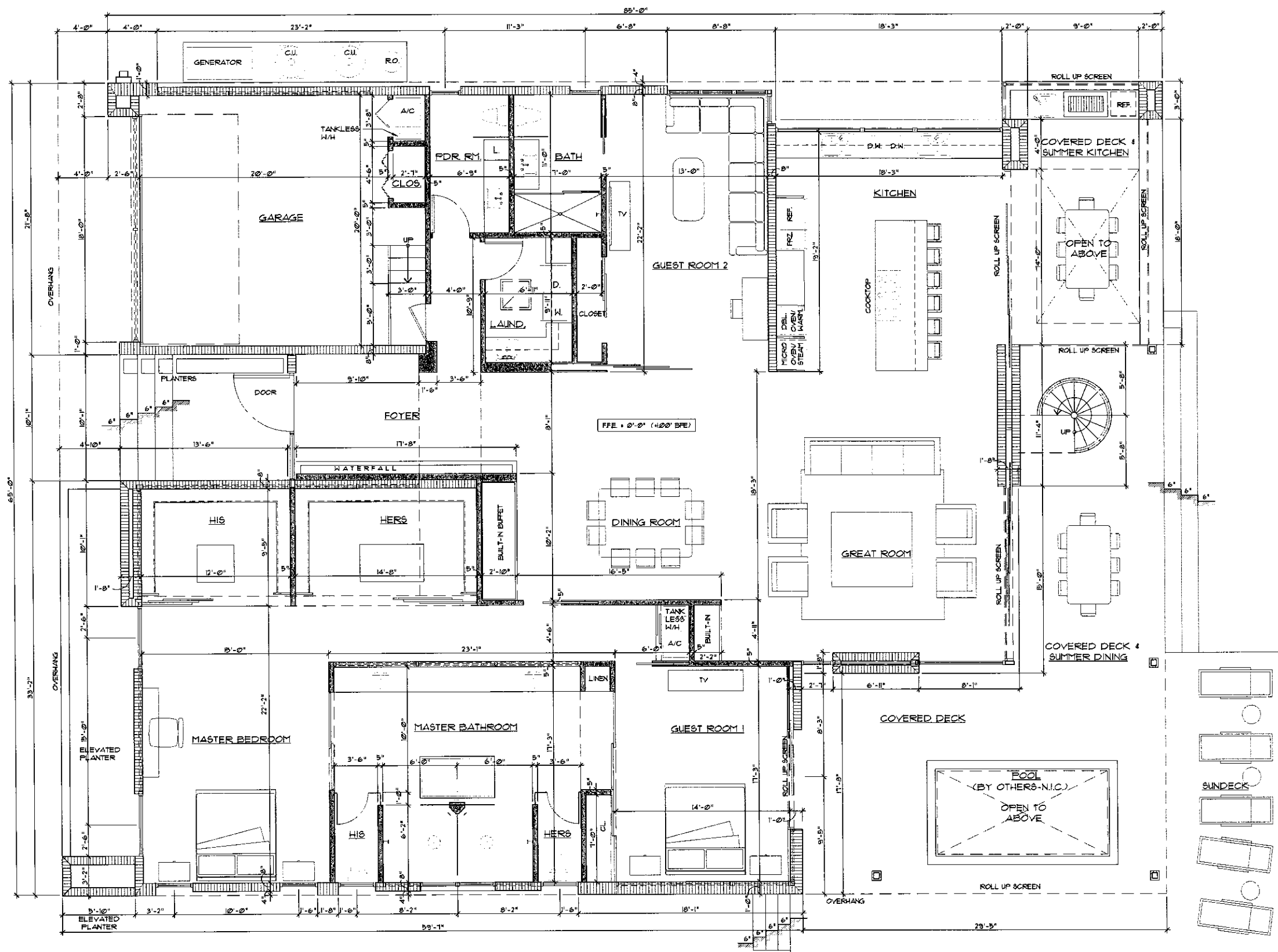
Figure 1: A schematic diagram of a 1D lattice with N sites. The lattice is represented by a horizontal line with N vertical lines extending downwards, each labeled with a site index from 1 to N . The sites are arranged in a regular grid. The diagram is labeled "Figure 1" and "1D Lattice".

商標註冊證

NEW 20 GA. 3 5/8" MTL FRAMED
PARTITION: STUD SPACING = 16" O.C.
BASE PLATE TO BE 2x4 P.T. SHEATHED
BOTH SIDES WITH 5/8" GYPSUM
WALLBOARD AND INSULATE W/ 3 1/2"
SOUND ATTENUATION BLANKETS.

1. ALLEN PARTITION FRAMING WITH P.T. b2 Furring on Masonry Walls.
2. ALL TIMBER IN CONTACT WITH CONCRETE OR CONC. BLOCK SHALL BE P.T.
3. ALL GYPSUM WALLBOARD IN BATHROOMS SHALL BE 1/2" MOISTURE-RESISTANT SUBSTITUE 1/2" DUROCK TILE BACKER BOARD WHERE WALL TILE IS SPECIFIED.
4. DRAWINGS REFLECT CABINETRY LAYOUT ONLY. CABINETRY TO BE FABRICATED AND INSTALLED BY OTHERS (NOT IN CONTRACT).
5. ALL PLUMBING FIXTURES AND APPLIANCES SHALL BE SUPPLIED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR.
6. SCAPE GUARDS: 4' HEIGHT AT ROOF DECK, LANDINGS AND STAIRS; 36" HEIGHT AT HAND-RAILS; PICKETS FASTENED TO RESIST A 4" SPHERE. REFER TO CURRENT P.B.C. FOR CONSTRUCTION REQUIREMENTS.
7. ALL EXTERIOR DOORS & WINDOWS SHALL HAVE DADE CO. PRODUCT APPROVAL.
8. ALL INTERIOR WOOD BASE, CASINGS, AND TRIM SHALL BE MILLED TO MATCH EXISTING BUILDING CASINGS.

ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES AS PER F.B.C. 186.17. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."



SCALE: 1/4"=1'-0"

[illegible]

roger piper
architect, inc.

(305) 932-5200

20100 n.e. 21 avenue
no. miami beach, fl 33179

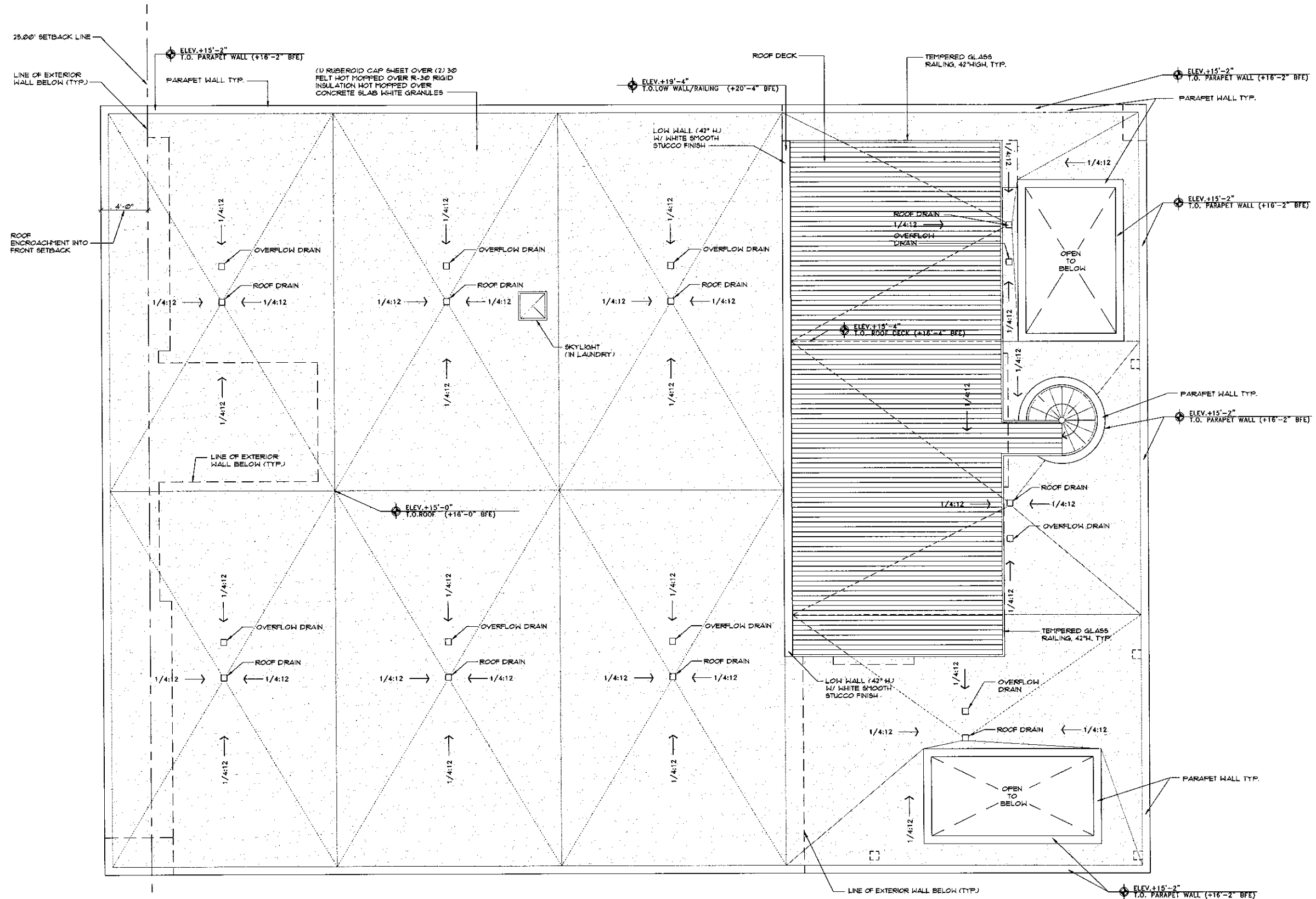
 or 13039

**CUSTOM RESIDENCE FOR:
MR. & MRS. JEFFREY WEISS**
1311 99th STREET
BAY HARBOR ISLANDS, FLORIDA

DRAWN
A.B.
CHECKED
R.P.
DATE
4-19-16
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OF 6 SHE



ROOF PLAN
SCALE: 1/4"=1'-0"

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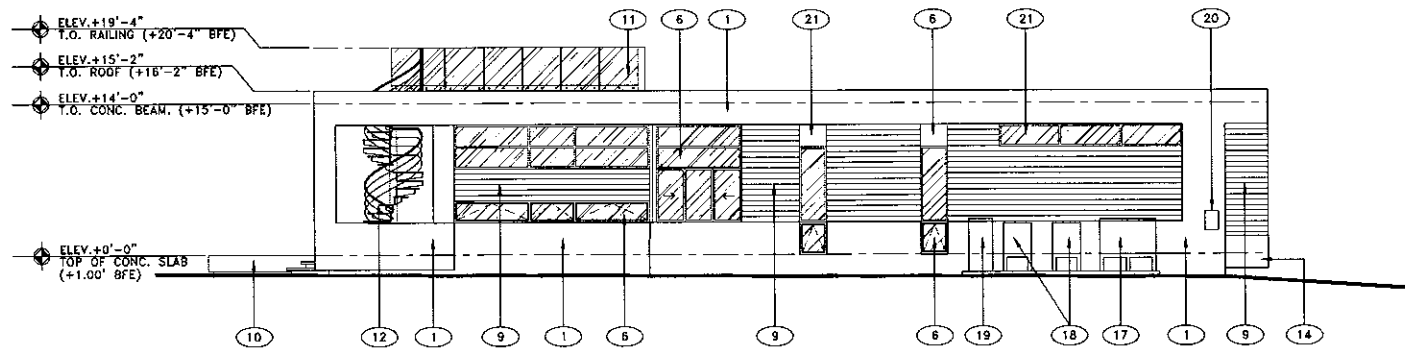
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architect, inc.

n.c.a.a. certified - a.i.a. associate

or 13039

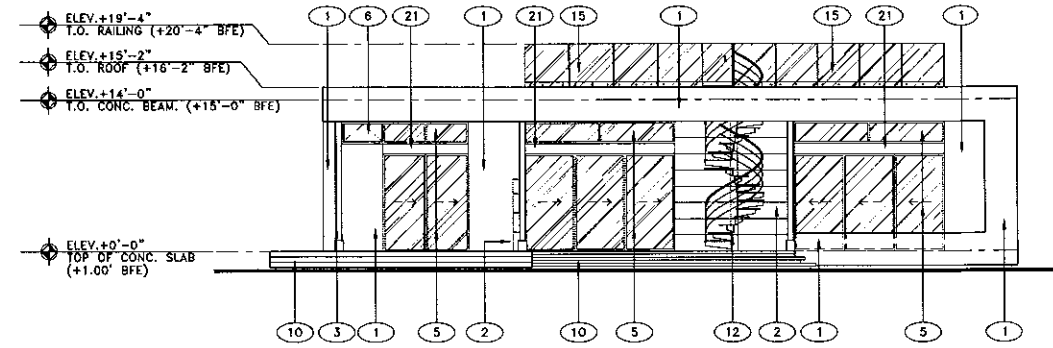
CUSTOM RESIDENCE FOR:
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1311 99th STREET
BAY HARBOR ISLANDS, FLORIDA

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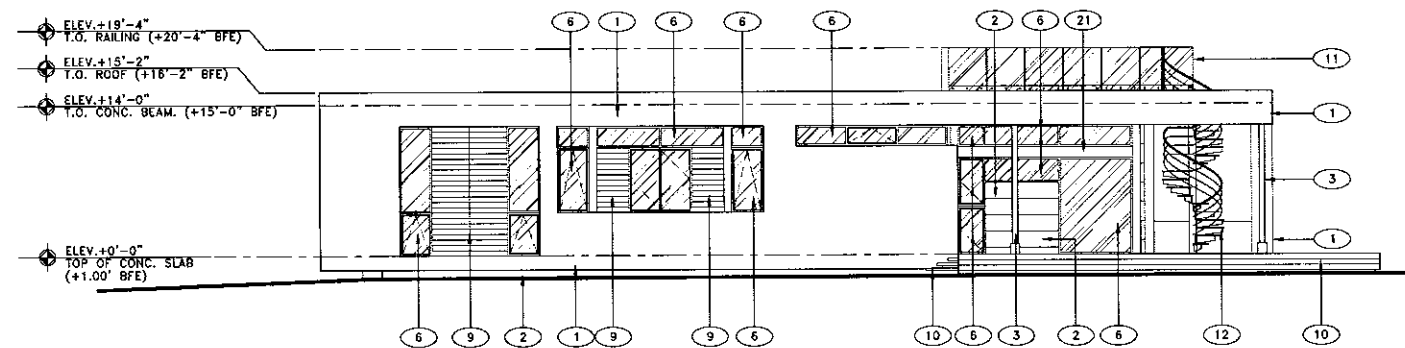
WEST (SIDE) ELEVATION

SCALE: 1/8" = 1'-0"



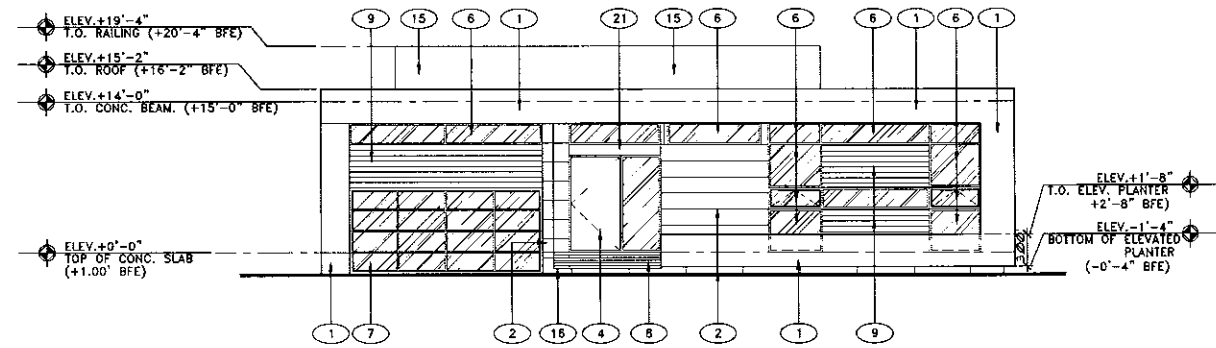
NORTH (REAR) ELEVATION

SCALE: 1/8" = 1'-0"



EAST (SIDE) ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH (FRONT) ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION LEGEND:

1. SMOOTH SANDED STUCCO, PAINTED WHITE (TYP.)
2. DECORATIVE DARK GREY GRANITE STONE VENEER
3. STEEL COLUMN, PAINTED WHITE
4. METAL (PAINTED BROWN) OR WOOD DOOR W/ SIDELIGHT & TRANSOM
5. ALUMINUM FRAMED SLIDING POCKET GLASS DOORS AND TRANSOMS WITH BROWN FRAME FINISH AND LOW-E GLASS (TYP.)
6. ALUMINUM FRAMED OPERABLE & FIXED WINDOWS WITH BROWN FRAMES FINISH AND LOW-E GLASS (TYP.)
7. ALUMINUM / GLASS SECTIONAL OVERHEAD GARAGE DOOR
8. CONCRETE STEPS WITH NON-SLIP WHITE GRANITE STONE SLAB FINISH
9. DECORATIVE WOOD LOOK PORCELAIN TILES
10. DECK ON CONCRETE SLAB (SAME FINISH ON DECK STEPS AND AT ROOF DECK)
11. 42" H. TEMPERED GLASS RAILING
12. EXTERIOR STAINLESS STEEL SPIRAL STAIR
13. ELEVATED PLANTER W/ SMOOTH STUCCO FINISH, PAINTED WHITE
14. 42" H. KNEE WALL, SMOOTH STUCCO FINISH, PAINTED WHITE
15. CONCRETE PLANTER AT STEPS AND LANDING WITH WHITE GRANITE STONE FINISH
16. EMERGENCY GENERATOR ON METAL STAND AND CONC. PAD
17. A/C CONDENSING UNITS ON METAL STAND AND CONC. PAD
18. REVERSE OSMOSIS WATER FILTRATION SYSTEM FOR HOME ON CONCRETE PAD
19. ELECTRIC METER
20. ALUMINUM (BROWN) CLADDING TO MATCH WINDOW FRAMES FINISH

EXTERIOR PAINTING NOTES:

1. ALL STUCCO FINISHES SHALL BE PREPARED, PRIMED, AND FINISHED WITH TWO (2) COATS OF HIGH QUALITY EXTERIOR GRADE LATEX PAINT IN COLORS & FINISHES SELECTED BY THE OWNER (PER THE SAMPLES PROVIDED).

REVISIONS	No.

20100 R.E. 21 051008
R.E. Mimi Bach, R 33173

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architect, inc.

or 13039

n.e.c.r.b. certified - a.i.a. associate

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BAY HARBOR ISLANDS, FLORIDA

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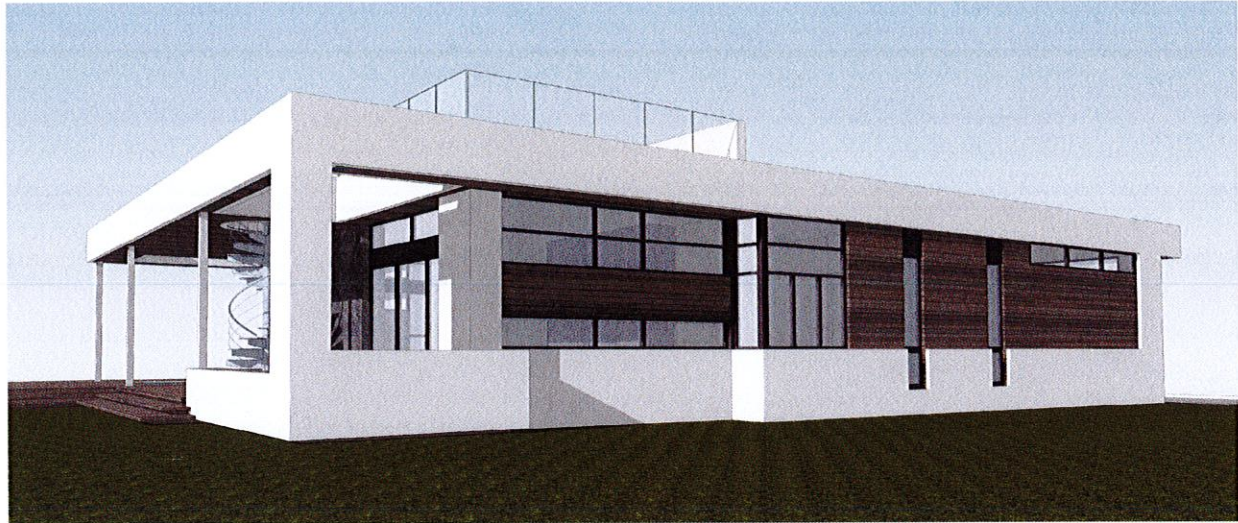
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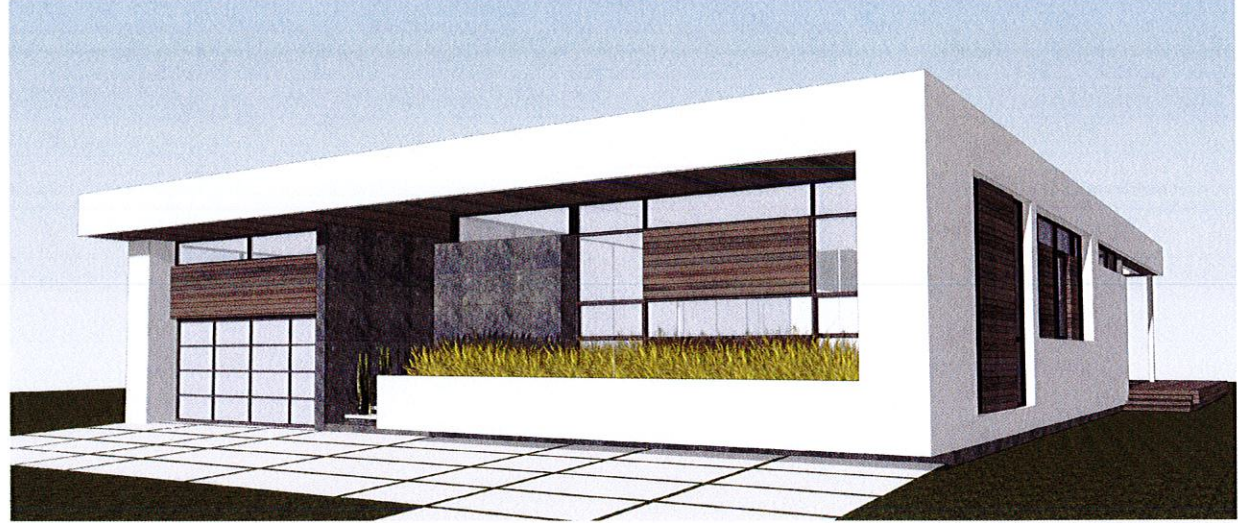
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MR. & MRS. JEFFREY WEISS
1311 99th STREET
BAY HARBOR ISLANDS, FLORIDA

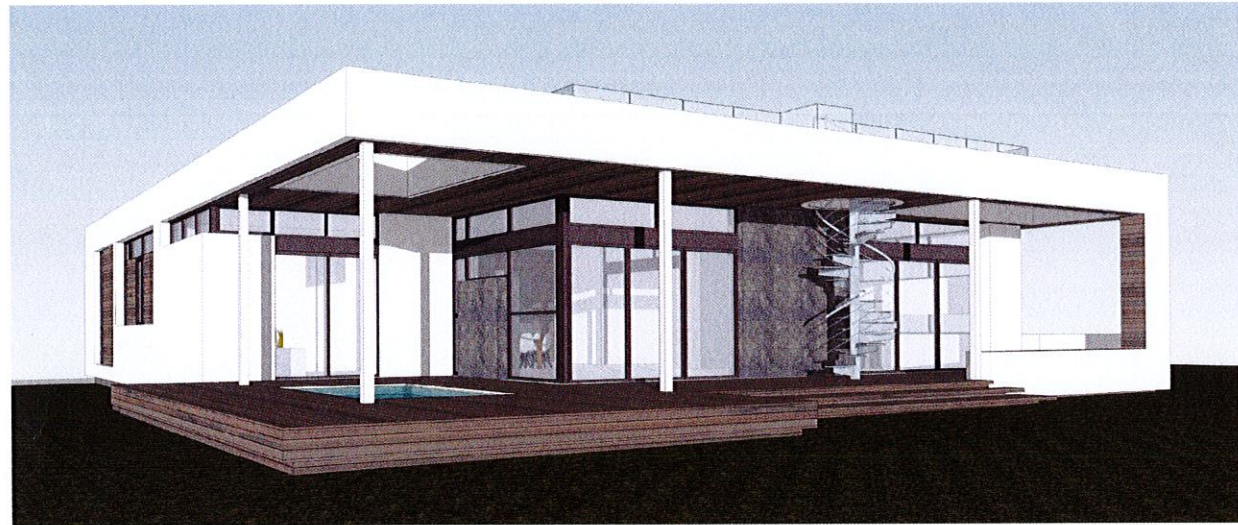
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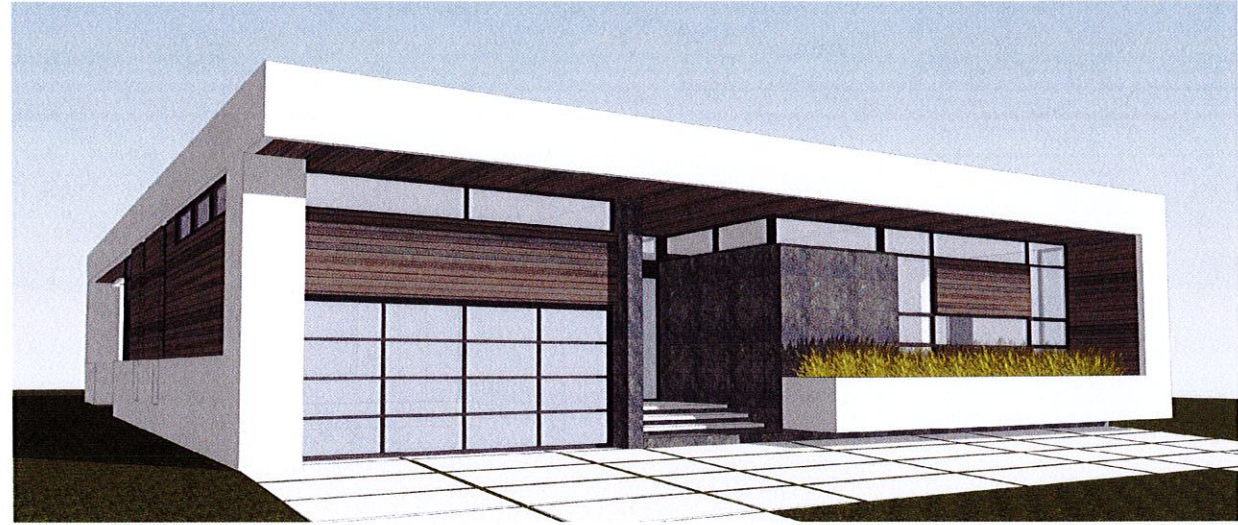
NORTH-WEST PERSPECTIVE VIEW



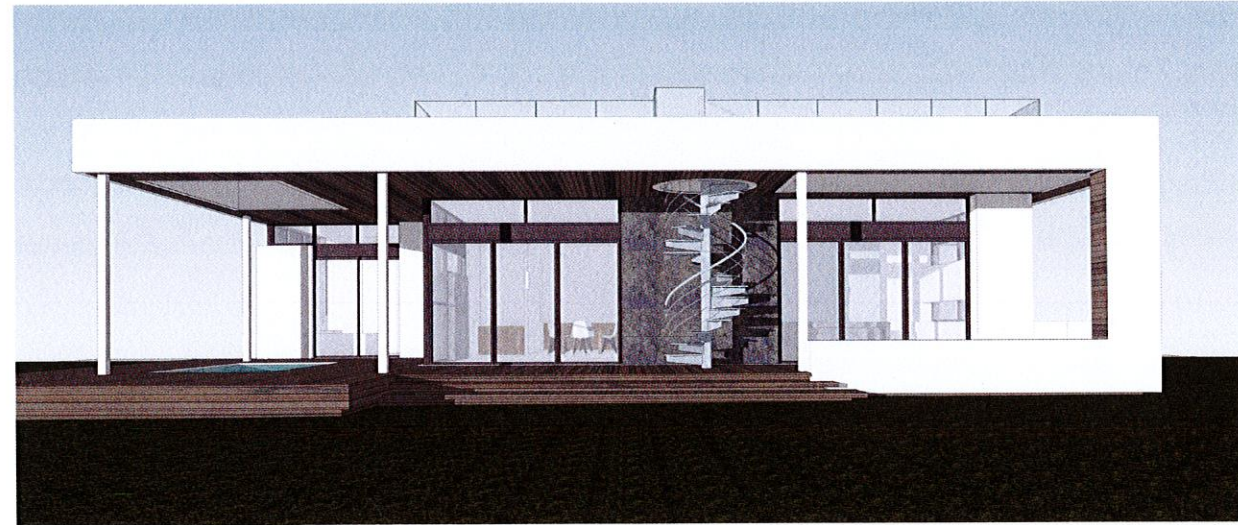
SOUTH-EAST PERSPECTIVE VIEW



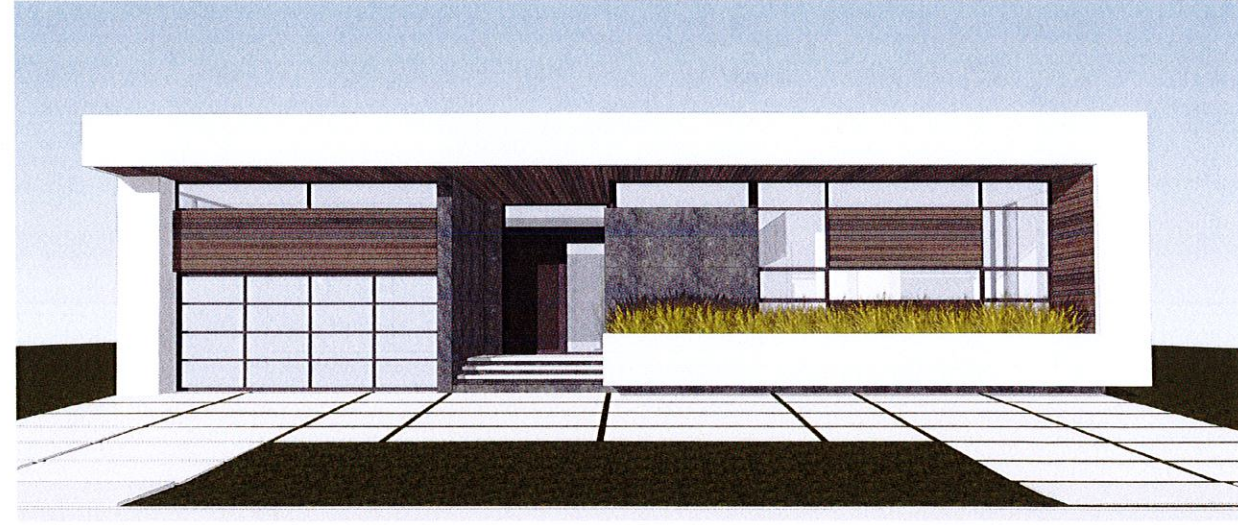
NORTH-EAST PERSPECTIVE VIEW



SOUTH-WEST PERSPECTIVE VIEW



NORTH ELEVATION PERSPECTIVE VIEW



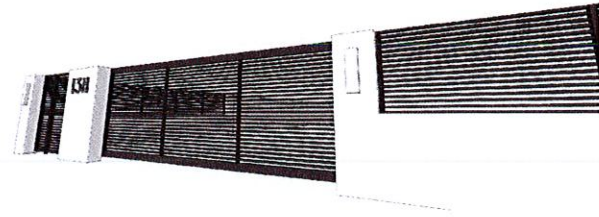
SOUTH ELEVATION PERSPECTIVE VIEW

COLOR RENDERINGS
NOT TO SCALE



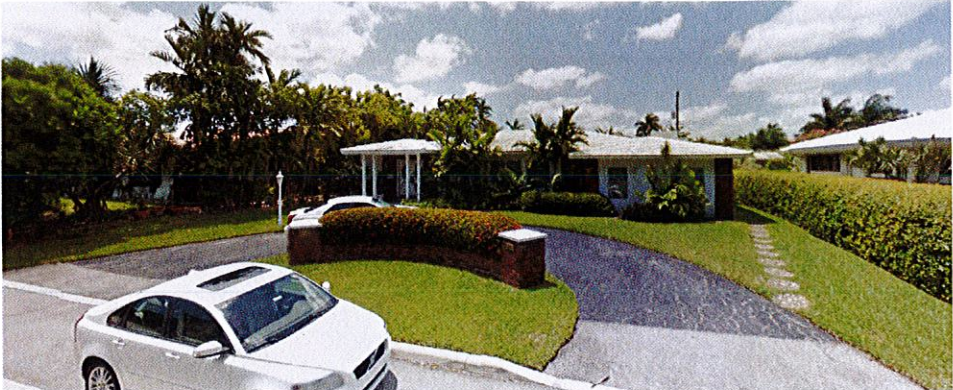
VINYL FENCE @ SIDES & REAR

NOT TO SCALE

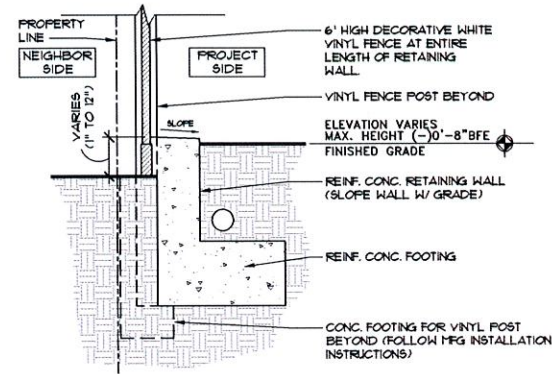


CONC./MTL FENCE PERSPECTIVE VIEW

NOT TO SCALE

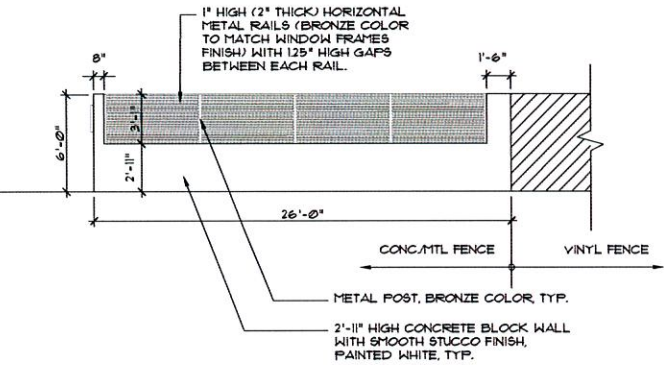


ADJOINING REAR LOT VIEW FROM 99TH STREET (LOOKING SOUTH)



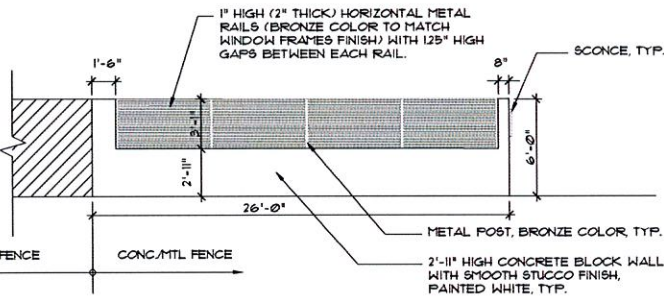
RETAINING WALL SECTION DETAIL

SCALE: 3/4"=1'-0"



SIDE (WEST) FENCE ELEVATION

SCALE: 3/16"=1'-0"



SIDE (EAST) FENCE ELEVATION

SCALE: 3/16"=1'-0"

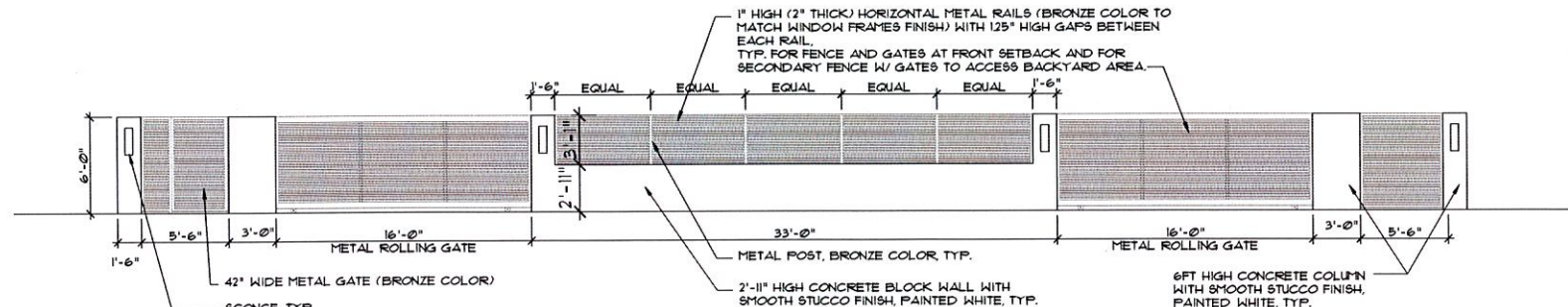


ADJOINING SIDE LOT / EXISTING SITE VIEW FROM 99TH STREET (LOOKING NORTH-WEST)



EXISTING SITE / ADJOINING SIDE LOT VIEW FROM 99TH STREET (LOOKING NORTH-EAST)

NOTES:
1. ALL FENCES AND RETAINING WALLS (INCLUDING FOOTINGS) SHALL BE INSTALLED ON THE PROJECT PROPERTY WITH NO PORTION (ABOVE AND BELOW GRADE) PROTRUDING INTO ADJOINING PROPERTY.
2. NOT MORE THAN 15% OF ANY WALL / FENCE SURFACE SHALL BE OPAQUE.
AREA CALCULATIONS FOR THE CONC./METAL FENCE WITHIN FRONT SETBACK:
TOTAL FRONT (SOUTH) FENCE AREA: 508 SQ. FT.
OPAQUE SURFACE AREA OF THE FRONT (SOUTH) FENCE (METAL RAILS, POSTS AND SOLID WALLS): 3321 SQ. FT.
3321 SQ. FT. x 100% / 508 SQ. FT. = 653%
PROVIDED OPAQUE SURFACE PERCENTAGE AREA OF THE FRONT (SOUTH) FENCE 653% - ALLOWED: 15% MAX.
TOTAL (2) SIDES (WEST & EAST) FENCE AREA: 314 SQ. FT.
OPAQUE SURFACE AREA OF THE EAST & WEST FENCE SIDES (METAL RAILS, POSTS AND SOLID WALLS): 234 SQ. FT.
234 SQ. FT. x 100% / 314 SQ. FT. = 74.5%
PROVIDED OPAQUE SURFACE PERCENTAGE AREA OF THE EAST & WEST FENCE SIDES: 74.5% - ALLOWED: 15% MAX.



FRONT (SOUTH) FENCE ELEVATION

SCALE: 3/16"=1'-0"



EXISTING SITE VIEW FROM 99TH STREET (LOOKING NORTH)

PHOTOGRAPHS

NOT TO SCALE

REVISIONS	No.

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architect, inc.
n.c.a.r.b. certified - a.i.a. associate
or 13039

CUSTOM RESIDENCE FOR:
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1311 99th STREET
BAY HARBOR ISLANDS, FLORIDA

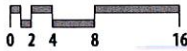
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OF 6 SHEETS



TREE SURVEY TABLE					
TREE NUMBER	BOTANICAL NAME	COMMON NAME	SIZE (DBH)	HEIGHT X SPREAD	CONDITION
1	Stelitzia nicholai	White Bird of Paradise	4	20 x 10	GOOD
2	Stelitzia nicholai	White Bird of Paradise	4	20 x 10	GOOD



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April 19, 2016

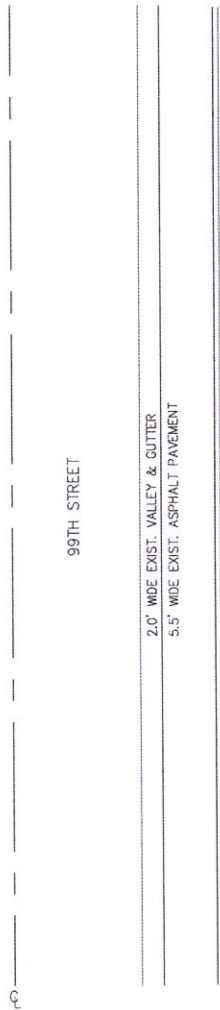
revisions

TREE SURVEY

Jeffery and Cathy Weiss
RESIDENCE
1311 99th Street
Bay Harbor Islands, Florida 33154

SECTION L
Landscape Architecture
3821 el Prado Blvd.
Miami, FL 33133
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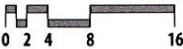
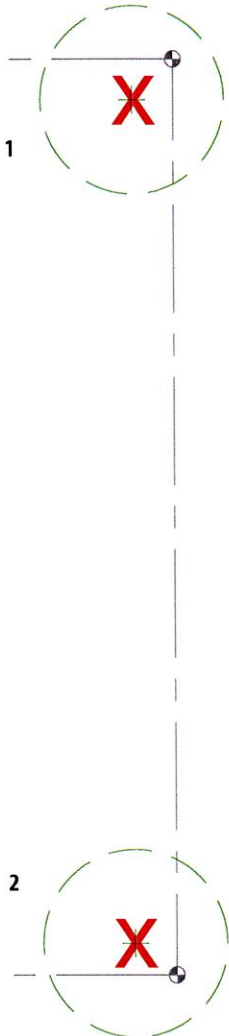
TREE SURVEY TABLE					
TREE NUMBER	BOTANICAL NAME	COMMON NAME	SIZE (DBH)	HEIGHT X SPREAD	CONDITION
1	Stellizia nicholai	White Bird of Paradise	4	20 x 10	G000
2	Stellizia nicholai	White Bird of Paradise	4	20 x 10	G000

LEGEND

X Remove

RL Relocate

RP Remain in place



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L002

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TREE DISPOSITION

Revisions

Jeffery and Cathy Weiss
RESIDENCE
1311 99th Street
Bay Harbor Islands, Florida 33154

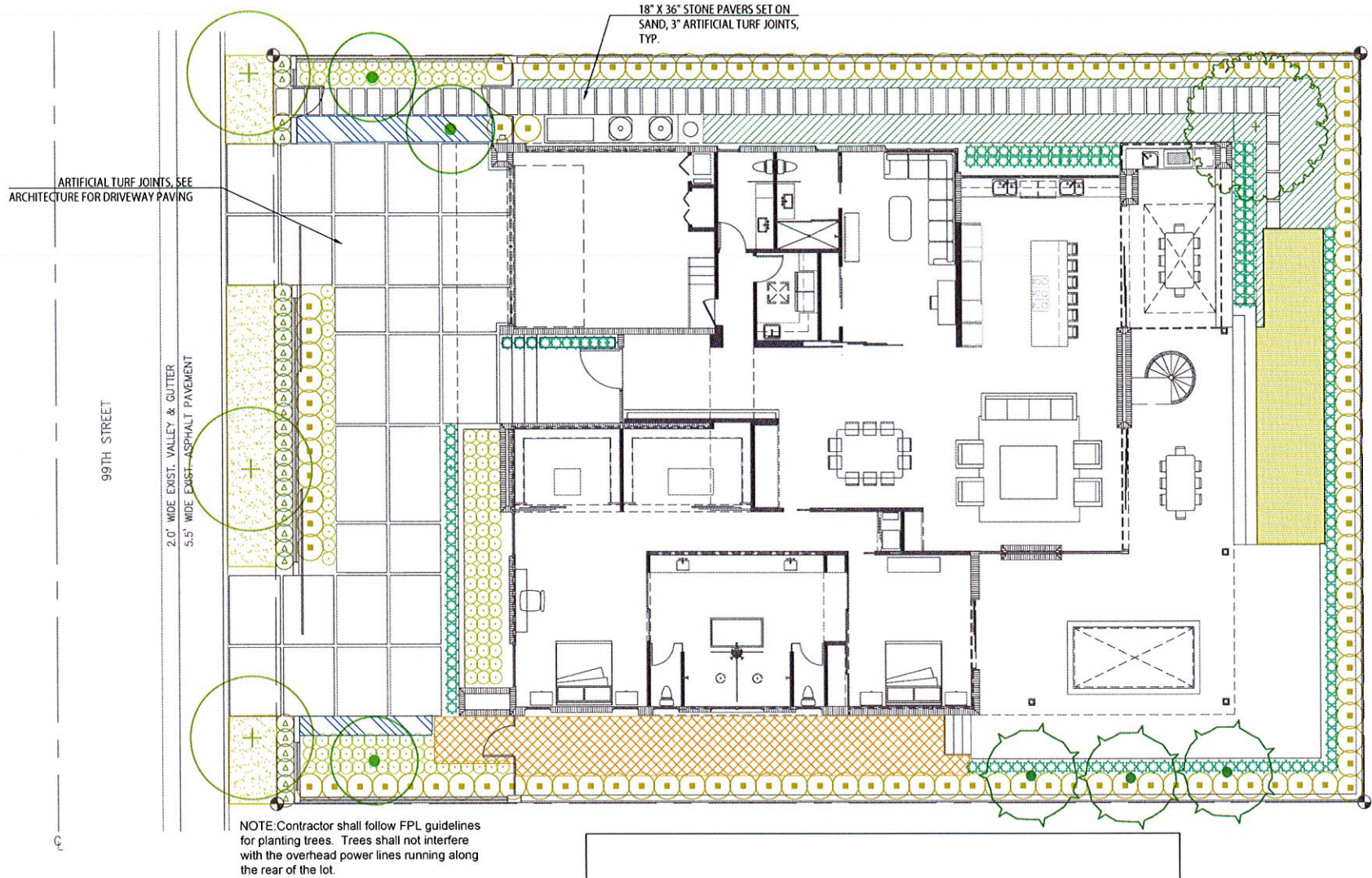
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TREE AND PALM LEGEND

QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION
1		Chrysophyllum oliviforme	Satin Leaf	12' OA	2 1/2 DBH, 4' CT
3		Dictyosperma album	Hurricane Palm	12' OA	FG, 2 1/2" DBH
3		Myrica cerifera	Wax Myrtle	12' OA	2 1/2" DBH, 4' CT
3		Quercus virginiana	Live Oak	15' OA	2 1/2" DBH, 4' CT

SHRUB, GROUNDCOVER AND VINE LEGEND

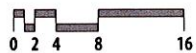
QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION
109		Agave attenuata	Foxtail Agave	7 Gal.	
386		Arachis glabrata	Perennial Peanut	1 Gal.	12" O.C.
29		Chrysobalanus icaco	Cocoplum	7 Gal.	MIN. 3' High
115		Clusia rosea	Pitch Apple	15 Gal.	MIN. 6' High, FTG
166		Ficus Green Island	Green Island Ficus	3 Gal.	18" O.C.
92		Liriope muscari	Big Blue Lily Turf	3 Gal.	12" O.C.
253		Spartina bakerii	Sand Cordgrass	3 Gal.	
269 SF		Sod			
278 SF		Artificial Sod			



Town of Bay Harbor Islands
Landscape Code (Sec. 24-16) Requirements Legend
Residential - Single-Family and Two-Family Home Sites

A. Shade Trees Required*	Required	Provided
1. Single-Family Non-Waterfront Lot	5	4 + 3 Palms = 5
2. Single-Family Waterfront Lot	6	N/A
3. Two-Family Lot	5	N/A
4. Number of Shade Trees in Front Yard	2	3
5. Native Species Required - 50%	3	4
6. Drought Tolerant and Low Maintenance Species Require - 50%	3	4
B. Shrubs Required**		
1. Single-Family Non-Waterfront Lot	50	764
2. Single-Family Waterfront Lot	60	N/A
3. Two-Family Lot	50	N/A
4. Native Species Required - 30%	15 / 18	397
5. Drought Tolerant and Low Maintenance Species Require - 50%	25 / 30	397
C. Maximum Lawn Area Allowed*** 50% of Net Lot Area	(Max)	272 sf

Notes
* Required Shade Trees at time of planting must be a minimum of: 12 feet in overall height; have 4 feet of clear wood before branching; and have a 2 1/2 inch caliper. Palm Trees can be substituted at a 3:1 ratio (except approved larger varieties) to a maximum of 25% of the required trees.
** Required Shrubs at time of planting must be a minimum of 24 inches in overall height; if used as a visual screen must be a minimum of 36 inches in overall height.
*** Miami-Dade County Landscape Ordinance Sec. 18A-5 (A)(5)



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landscape plan

revisions

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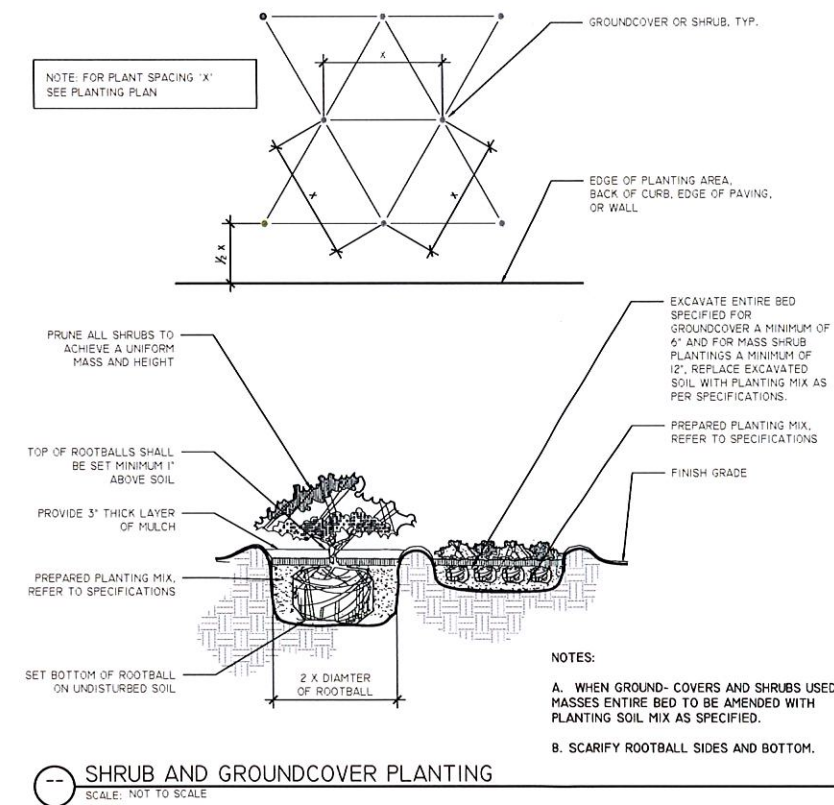
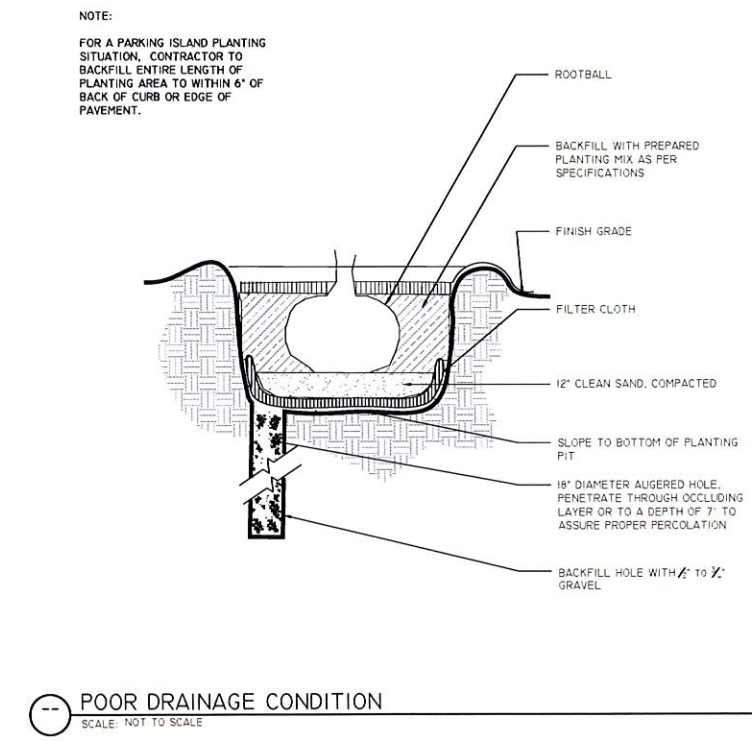
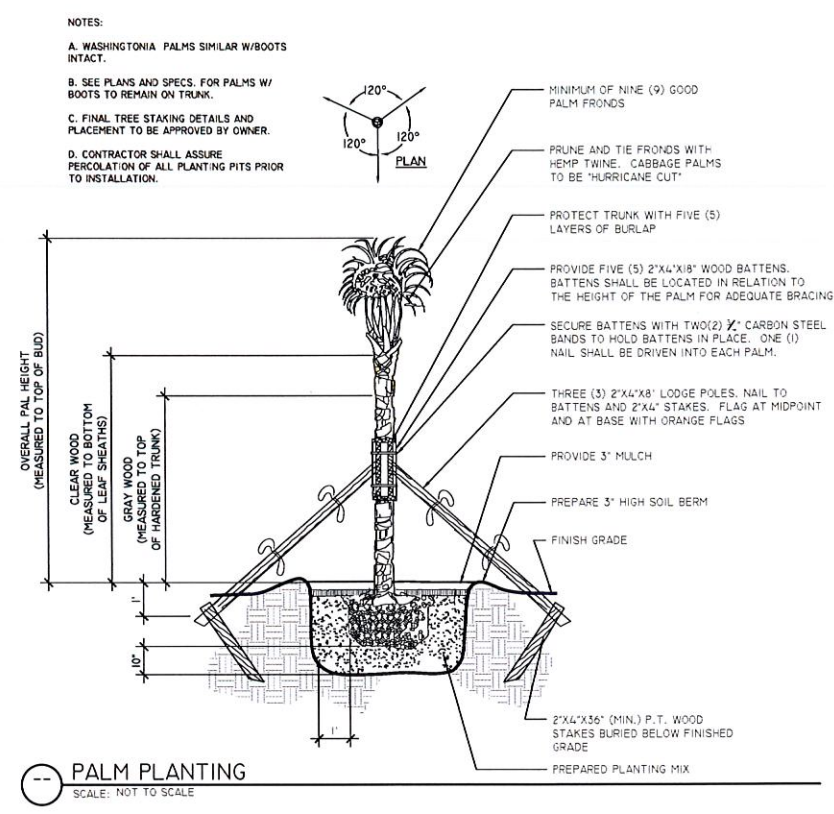
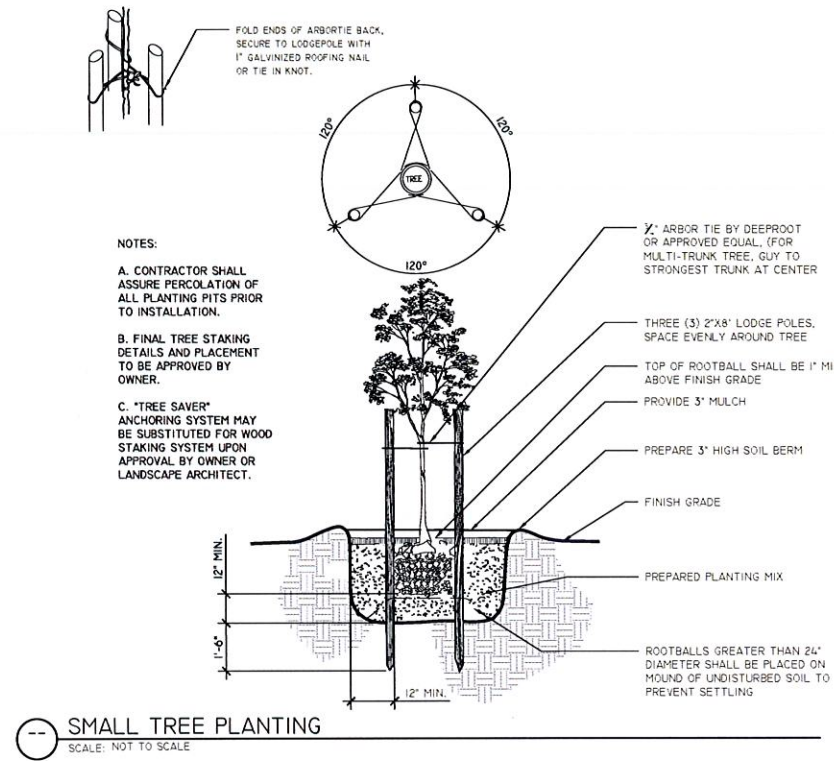
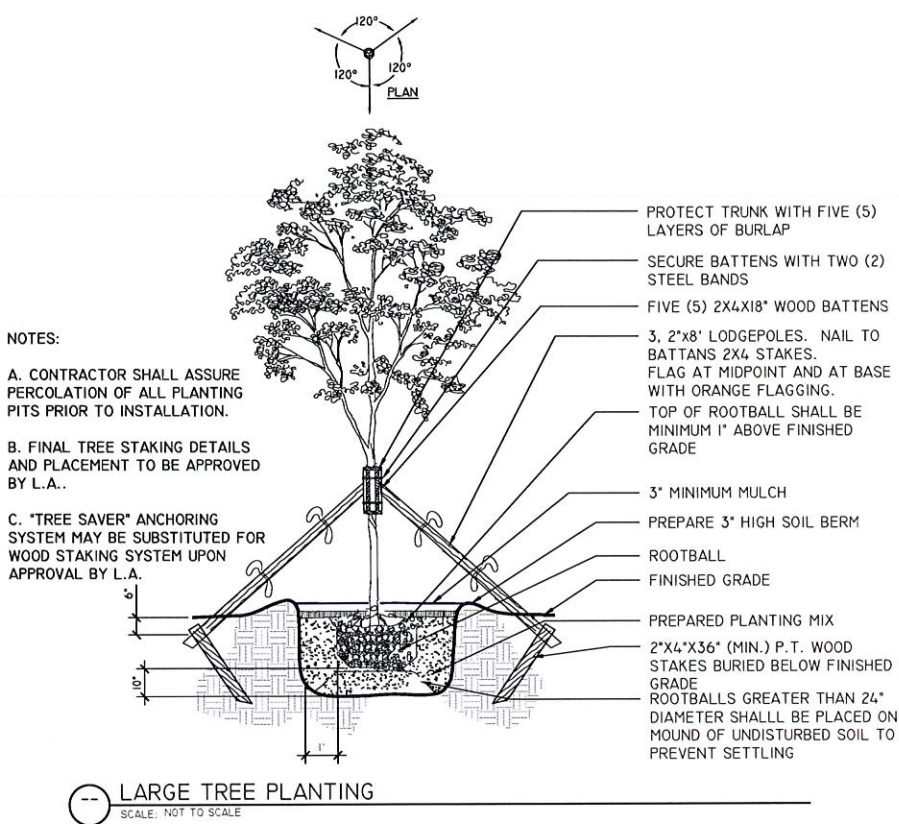
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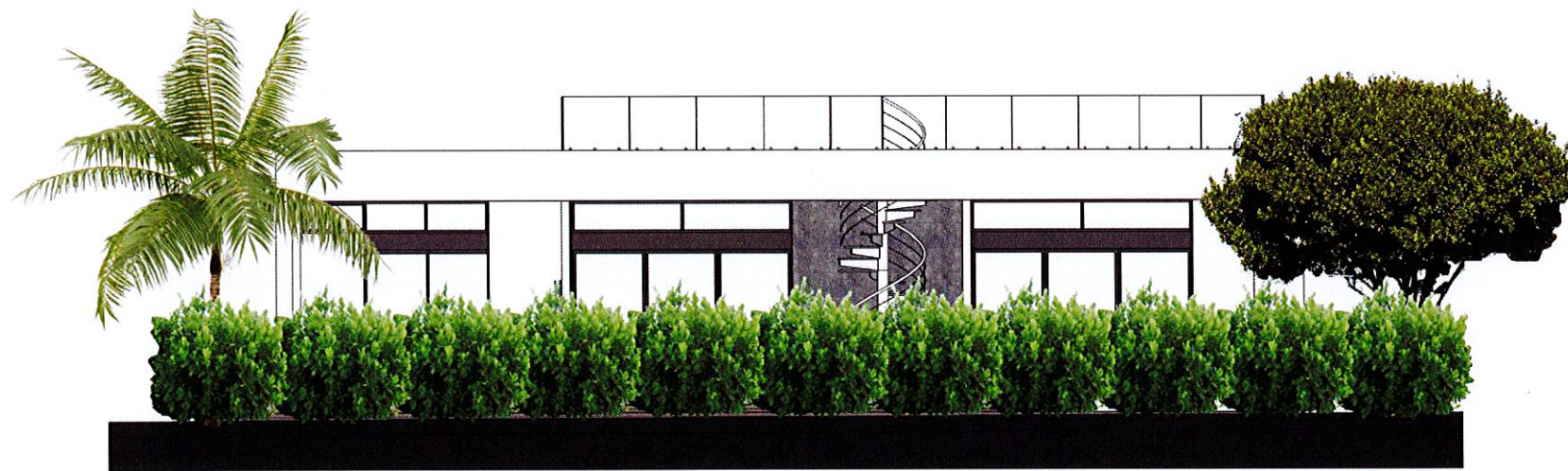
Jeffery and Cathy Weiss
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SECTION L

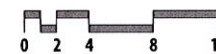
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NORTH ELEVATION



SOUTH ELEVATION



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LANDSCAPE ELEVATIONS

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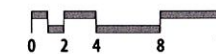




EAST ELEVATION



WEST ELEVATION



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LANDSCAPE
ELEVATIONS

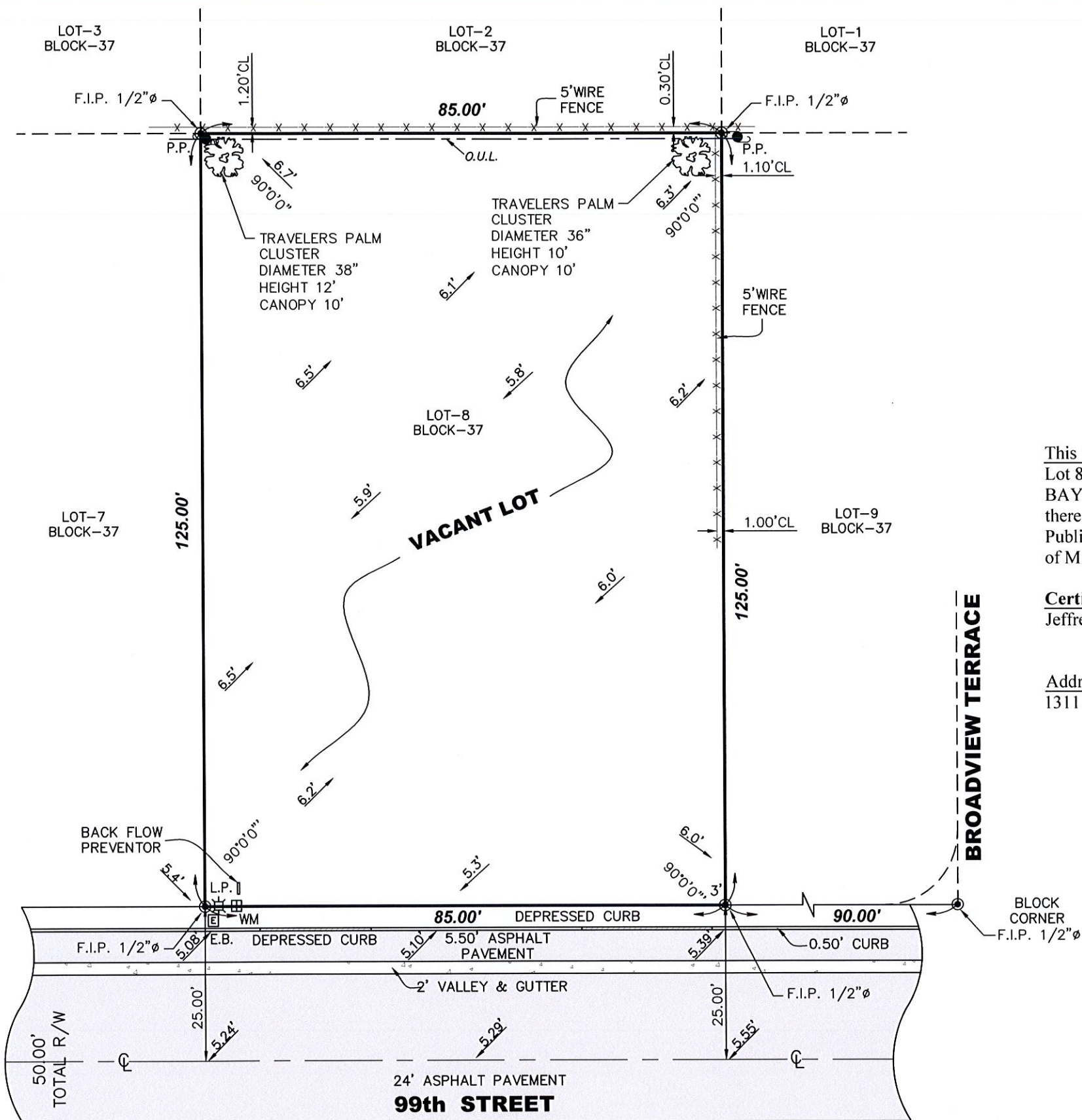
revisions	

DATE OF ISSUE:
Apr 19, 2016
DRAWN BY:
BM
CHECKED BY:
SS
SCALE:
As Noted
SHEET NUMBER:

L502

Jeffery and Cathy Weiss
RESIDENCE
1311 99th Street
Bay Harbor Islands, Florida 33154

LANDSCAPE ARCHITECT
L5020
L5020



This property described as:
Lot 8, Block 37,
BAY HARBOR ISLAND, according to the Plat
thereof as recorded in Plat Book 46, Page 5, of the
Public Records
of Miami-Dade County, Florida.

Certified to:
Jeffrey Weiss and Cathy Weiss

Address:
1311 99th Street, Bay Harbor Islands, FL 33154

**"THIS SURVEY DECLARATION IS MADE ON THE FIELD
DATE INDICATED, TO THE OWNER(S) LISTED. IT IS NOT
TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR
SUBSEQUENT OWNERS."**

TOPOGRAPHIC & BOUNDARY SURVEY.
I HEREBY CERTIFY: that this survey meets the
minimum technical standards as set forth by the
FLORIDA BOARD OF PROFESSIONAL SURVEYORS
AND MAPPERS in chapter 5J-17 Florida Administrative
Code, pursuant to Section 472.027 Florida Statutes.

RENE AIGUESVIVES 10/08/14
PROFESSIONAL SURVEYOR AND
MAPPER No. 4327. State of Florida.

Alvarez, Aiguesvives and Associates, Inc.
Surveyors, Mappers and Land Planners
5701 S.W. 107th Avenue #204, Miami, FL 33173
Phone 305.220.2424 Fax 305.552.8181
L.B. No. 6867 / E-mail: aaasurvey@aol.com

Field Date	Scale:	Drawn by:	Drwg. No.
10/07/14	1"=20'	R.S.	14-17162

- NOTE: a) All clearances and/or encroachments shown hereon are of the apparent physical use, fence legal ownership not determined. b) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification. c) Code restrictions and title search not reflected in this survey. d) Underground utilities, improvements, footings and encroachments, if any not located. e) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or damage and does not create liability on the part of the firm or employee thereof, for any damage that occurs from reliance on said information. f) Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership or matters of title are made or implied.
- LEGEND**
A = Arc
ASPH = Asphalt
BM = Bench Mark
BRG = Bearing
CATV = Cable TV
CB = Catch basin
CBS = Concrete Block Structure
CH = Chord
Chatta = Chattahoochee
CL = Center Line
CLF = Chain Link Fence
CL = Clear
CONC = Concrete
D = Delta
DH = Drill Hole
DME = Drainage & Maintenance Easement
E.B. = Electric Box
Enc. = Encroachment
F.F. = Finish Floor
F.H. = Fire Hydrant
F.I.R. = Found Iron Rebar
FPL = Florida Power & Light
F.I.P. = Found Iron Pipe
F.N. = Found Nail
L.P. = Light Pole
M = Measured
M.F. = Metal Fence
M.H. = Manhole
M = Monument Line
MON. = Monument
N/A = Not Applicable
N/D = Nail & Disc
NTS = Not to Scale
O/S = Offset
O.U.L. = Overhead Utility Lines
OH = Overhang
P = Plat
PB = Plat Book
PC = Point of Curvature
P.C.C. = Point of Compound Curvature
PCP = Permanent Control Point
PG = Page
P.I. = Point of Intersection
PL = Property Line
PL = Planter
P.O.B. = Point of Beginning
P.O.C. = Point of Commencement
P.P. = Power Pole
P.R.M. = Permanent Reference Monument
P.R.C. = Point of Reverse Curvature
PT = Point of Tangency
R = Radius
R/R = Railroad
PSM = Professional Surveyor Mapper
R/W = Right-of-Way
SWK = Sidewalk
Sec. = Section
(TYP) = Typical
T = Tangent
U.E. = Utility Easement
W.F. = Wood Fence
W.M. = Water Meter
W.V. = Water Valve
X = Denotes Spot Elevations Taken

Bearing, if any, shown based on Plat Meridian (reference) N/A

REVISIONS:
10/30/14 CERTIFICATIONS ADDED
04/01/16 SURVEY UPDATE

FLOOD ZONE AE	COMM. No. 120637	PANEL No. 0144	SUFFIX: L
F.I.R.M.DATE 09/11/09	F.I.R.M.INDEX 09/11/09	BASE ELEV. + 8 FT N.G.V.D.	

ELEVATION NOTE: (IF APPLICABLE)
L.F.Elev. = N/A (lowest habitable floor elevation).
Elevation shown hereon refer to N.G.V.D. 1929.
Lowest adjacent grade elevation = N/A
BM. # A-17 (Miami-Dade) Elev. = 7.67'
Garage Elev. = N/A Erp. = N/A

Not valid unless
it bears the
signature and the
original raised seal
of Florida licensed
Surveyor and
Mapper.

**TOWN OF BAY HARBOR ISLANDS
COMMUNITY DEVELOPMENT
MEMORANDUM**

To: Town of Bay Harbor Islands
Planning and Zoning Board

From: Scott D. Marks *SDM*
Community Planner
MMPA-Consultant Town Planner

Date: June 1st, 2016

Subject: Proposed Single-Family Residence
Weiss Residence
1311 99th Street
Bay Harbor Islands Acct. No.: MB2016-44
MMPA Acct. No.: 01-0702-1036

RECOMMENDED ACTION

MMPA recommends the Planning and Zoning Board review the contents of this staff report, the submitted site plan and architectural plans (dated 04/29/16) and if felt to be acceptable, **APPROVE** the plans as submitted or with modifications as deemed appropriate and/or with conditions, to allow for the construction of a new single-family house at 1311 99th Street.

GENERAL PROJECT INFORMATION

Land Use Designation:	L – Low Density Residential
Zoning District:	RD Single-Family District
General Location:	1311 99 th Street
Legal Description:	Lot 8, Block 37, "Bay Harbor Island" according to the plat thereof, as recorded in Plat Book 46, at Page 5 of the Public records of Miami-Dade County.

PROJECT DESCRIPTION

The project architect, Roger Piper Architect, Inc., as agent for the property owners, Mr. & Mrs. Jeffrey Weiss, has submitted an application for the construction of a new single-family residence on an interior lot located at 1311 99th Street. The proposed single-story home has approximately 3,625 square feet of A/C living space with a two-car garage. The residence will

have three (3) bedrooms, two (2) full bathrooms and one (1) half bathroom. The overall height of the structure will be 16'-2" above Base Flood Elevation which is below the maximum height allowed for a flat-roofed interior lot residence within the RD Single-Family District. The application proposes two (2) driveway connections to 99th Street (circular driveway). A new pool and pool deck is proposed. Extensive landscaping is proposed that meets and exceeds the Town Landscape Code and Miami-Dade County Landscape Code requirements including the use of native and drought tolerant plant materials.

The current draft of the Street Tree Master Plan identifies the tree species for this area of the Town as Live Oak along 99th Street.

The Historical Structure Survey for the Town of Bay Harbor Islands list the recently demolished structure as a ranch design that was built in 1950 (FMSF No. DA 10336). The new single-family residence is a modern ranch architectural design with wood look accents.

PROJECT HISTORY

The applicant previously submitted an initial set and several revised sets of plans that were reviewed by MMPA for consistency with the Town Code requirements. Comments were given to the applicant each time and the current submitted plans are reflective of all requested changes.

COMPREHENSIVE PLAN / ZONING

Comprehensive Plan – The property has a Future Land Use Map (FLUM) designation of "Low Density Residential". The maximum allowable base density is six (6) DUA. The proposed use and density of the property would be consistent with the applicable FLUM designation of the property.

Land Development Regulations / Zoning Code –The property has a Zoning Classification of RD Single Family Zoning District. The proposed use and density of the property is consistent with this zoning classification. The following Zoning and Planning sections of the Code apply to this proposal: Section 23-3 (Use Regulations RD Single-Family District), Section 23-9 (Minimum Size of Living Units), Section 23-10 (Minimum Size of Building Lot), Section 23-11(A) (Land Development Regulations RD Single-Family Area) and Section 23-12 (Land Development Regulations General Provisions). In addition, the Town has separate regulations for landscaping, driveways and building material regulations.

PLATTING

The site will not require re-platting, as the site is currently platted as described above under the legal description.

SUMMARY / SITE PLAN COMMENTS

The current site and architectural plans submitted for the construction of a new house at 1311 99th Street meet or exceed all Town Land Development and Landscape Code requirements. The applicant previously submitted plans that were reviewed and commented on by MMPA and all previous comments and issues have been addressed by the current plans.

It should be noted that the finished grade in the rear of the property is being requested to be raised. Per Sec. 23-12(12) of the Town's Code, BFE (8'-0" in this area) is the maximum height allowed for finished grades within the Town. The applicant is requesting to raise the lot to 7'-4" in elevation, which is 8-inches below the maximum permitted. Raising the lot will make the finished grades at the adjoining lots unequal. Section 23-12(12) also states that all finished grades at adjoining lots shall be equal unless the Planning and Zoning Board approves a retaining wall system. Therefore, Planning and Zoning Board approval is required for the retaining wall system proposed.

It should also be noted that the fence within the front yard setback requires PZB approval. Per Sec. 23-12(22)(i)(5), walls within the front (street side) setback may not exceed 3-feet solid above grade unless the PZB approves otherwise for specific sites based on creative and compatible design solutions. This section states also states that no more than 75 percent of any overall wall or fence within the front yard setback may be opaque; the applicant has provided calculations on the plans showing that the fence complies with the maximum opaque percentage permitted. The applicant is requesting PZB approval for the front wall design.

The following conditions of approval are recommended:

- 1) This approval is based on the plans prepared by Roger Piper Architect, Inc., dated April 29th, 2016 with any modifications required by the PZ Board. All modifications to the above plans shall be reviewed by Town staff and may require re-approval by the PZB if felt to be substantial.
- 2) The finished grade in the rear of the property is being requested to be raised. Per Sec. 23-12(12) of the Town's Code, BFE (8'-0" in this area) is the maximum height allowed for finished grades within the Town. The applicant is requesting to raise the lot to 7'-4" in elevation, which is 8-inches below the maximum permitted. Raising the lot will make the finished grades at the adjoining lots unequal. Section 23-12(12) also states that all finished grades at adjoining lots shall be equal unless the Planning and Zoning Board approves a retaining wall system. Specific Planning and Zoning Board approval is required for the retaining wall system proposed.
- 3) The fence within the front yard setback requires PZB approval. Per Sec. 23-12(22)(i)(5), walls within the front (street side) setback may not exceed 3-feet solid above grade unless the PZB approves otherwise for specific sites based on creative and compatible design solutions. This section states also states that no more than 75 percent of any overall wall or fence within the front yard setback may be opaque; the applicant has provided calculations on the plans showing that the fence complies with the maximum opaque percentage permitted. Specific Planning and Zoning Board approval is required for the fence proposed in the front yard setback.

AGENDA ITEM REPORT

June 7, 2016

ITEM NUMBER: 2.

ITEM: Approval of the minutes held on April 19, 2016. (Item #2)

DESCRIPTION:

RECOMMENDED ACTION:

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Martinez
 Ayanidys Martinez

ATTACHMENTS

1.	Minutes 4.19.16	4-19-16 DRAFT.docx
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**MINUTES OF A PLANNING & ZONING BOARD MEETING
TOWN OF BAY HARBOR ISLANDS**

A Planning & Zoning Board Meeting was held Tuesday April 19, 2016 at 7:02 p.m. in the Council Chambers. The meeting was opened with the Pledge of Allegiance. Upon roll call, the following Board Members responded:

Chair Steven Hurwitz

Vice Chair Jerome Gavcovich

Board Member Alan Bebachik

Board Member Jed Frankel

Board Member Oscar Sklar

Board Member Thomas Telesco

QUASI-JUDICIAL PUBLIC HEARING

Item 1. Administration of oath of office to newly appointed Board members. The oath will be administered by Town Clerk Marlene Siegel.

Town Clerk Siegel swore the Planning & Zoning Board Members for the 2016-2018 term.

Item 2. Election of a Chair by the Planning & Zoning Board Members.

ACTION: Board Member Sklar made a motion to re-appoint Steve Hurwitz as Chairperson. Vice Chair Gavcovich seconded the motion and it passed unanimously.

Item 3. Election of a Vice Chair by the Planning & Zoning Board Members.

ACTION: Board Member Telesco made a motion to re-appoint Jerome Gavcovich as Vice Chair. Board Member Sklar seconded the motion and it passed unanimously.

Item 4. Request for approval for a new commercial property for “One Kane Concourse” located at 9551 E. Bay Harbor Drive, Lots 1-2 of Block 1. The owner is proposing to construct a 52,184+/- square foot commercial property. The proposed building is six stories in height over two stories of below grade parking garage @ 75'0" above BFE (maximum of 75' permitted).

At this time Town Clerk Siegel swore in all the individuals speaking at the Public Hearing.

Attorney, Matthew Amster, 200 S. Biscayne Blvd., came forward to address the Board. He stated that the applicant received approval for the project a few years ago and has since made significant enhancement to

provide a better quality project. He stated that among the changes were the modifications to the structure; flex setbacks and landscaping plan.

Architect Alex Druet & Luis Revuelta from Revuelta & Associates, came forward and presented the proposed changes. They explained the intent was to maximize the views and the layout of the spaces. The applicant was attempting gold, if not a silver LEED certification for the proposed project. The project would consist of commercial space, with a proposed restaurant on the ground floor and partial below grade parking garage.

There was a detailed discussion from the Board on the below grade parking; proposed materials; traffic study; seawall; valet parking service; waterproofing; width of the parking ramps; ceiling heights and the traffic effect that the proposed restaurant could have.

PUBLIC COMMENT

Paul Basile, 9240 W. Bay Harbor Drive, came forward and supported the proposed project and felt that the traffic would not be an issue at the location.

Victor Maya, 1155 103 St., came forward and urged the Board to look at the project overall. He felt that there was a lot of activity on the roof and added that there was an increase in density at this location.

Frances Neuhut, 1060 Kane Concourse, came forward and felt that the public hearing was not properly notice.

Teri D'amico, 9101 W. Bay Harbor Drive, came forward to address the Board and felt that the proposed project would impact the Town's character.

CLOSED PUBLIC COMMENT

There was a detailed discussion from the Board on the hours of operation of the proposed restaurant; parking requirements; project approval expired July of 2016; traffic circulation; base flood elevation; parking ramp; backflow preventers; staircases; landscaped area; exhaust fans for the parking garage; vertical design; railings; and the need for architectural enhancements.

Consensus was for the applicant to come back to the Board and provide more architectural details; parking study; provide better copies of drawing and a larger scale; landscaping elevations; show the backflow preventers on the plans; and to incorporate horizontal lines in the design.

CONCLUSION OF QUASI-JUDICIAL PUBLIC HEARING

Item 5. Request for approval for a new single family home for the "Shapiro Residence" located at 9430 W. Broadview Drive, Lot 81 of Block 23. The owner is proposing to construct a new single family residence on a waterfront lot. The proposed two story home will have approximately 6,844 square feet of a/c living space with a two car garage a pool and pool deck. The residence will have six bedrooms, 6 full bathrooms and two half bathrooms.

Architect, Cesar Molina, came forward to address the Board. He presented the proposed project as a tropical modern home with simple materials such as key stone, wood, light colors and aluminum windows. The home would have a entrance water garden with a skirt of landscaping on the second floor. He presented the renderings to the board and explained the property elevation; proposed retaining wall; green area and the motor port.

ACTION: Board Member Sklar made a motion to approve the proposed home. Board Member Frankel seconded the motion and it passed unanimously.

Item 6. Request for approval for a new single family home for the "Bay Hill Capital Group, Inc" located at 1311 100 Street, Lot 13 of Block 26. The Developer is proposing to construct a new single family residence on a waterfront lot. The proposed two story home will have approximately 5,430 square feet of a/c living space with a two car garage. The residence will have six bedrooms, 7 full bathrooms and one half bathroom.

BRG Homes Representative, Mattias Alamos, came forward to address the Board. He explained the project was previously approved by the Board by the approval expired. He clarified that there were significant changes to the site plans and respectfully asked for the Board approval.

ACTION: Board Member Telesco made a motion to approve the proposed single family home. Board Member Frankel seconded the motion and it passed 5-1, with Vice Chair Gavcovich opposed.

Item 7. Approval of the minutes held on February 2, 2016.

ACTION: Vice Chair Gavcovich made a motion to approve the Minutes. Board Member Telesco seconded the motion and it passed unanimously.

There being no further business to discuss meeting was adjourned at 9:38 p.m.

CHAIR

ATTEST

TOWN CLERK

DRAFT