

When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don't turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

**TOWN OF BAY HARBOR ISLANDS
PLANNING AND ZONING BOARD**

September 1, 2015

FINAL AGENDA

CALL TO ORDER: Set for 7:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

1. Request for approval for the "Mediterranean Co-Op Apartments" located at 9101 E. Bay Harbor Drive, Tract B. The applicant is proposing the replacement of the precast facade catwalk balcony retaining wall covering the complex. The replacement of this wall may change the appearance of the building. Enclosed please find the elevation showing the design (Item #1A)

** Staff Review:* Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks, Community Planner.

ADJOURNMENT

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AGENDA ITEM REPORT

September 1, 2015

ITEM NUMBER: 1.

ITEM: Request for approval for the “Mediterranean Co-Op Apartments” located at 9101 E. Bay Harbor Drive, Tract B. The applicant is proposing the replacement of the precast facade catwalk balcony retaining wall covering the complex. The replacement of this wall may change the appearance of the building. Enclosed please find the elevation showing the design (Item #1A)

DESCRIPTION:

Request for approval for the “Mediterranean Co-Op Apartments” located at 9101 E. Bay Harbor Drive, Tract B. The applicant is proposing the replacement of the precast facade catwalk balcony retaining wall covering the complex. The replacement of this wall may change the appearance of the building. Enclosed please find the elevation showing the design (Item #1A)

RECOMMENDED ACTION:

Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks, Community Planner.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Martinez
 Ayanidys Martinez

ATTACHMENTS

1.	Staff Report	PZB Staff Report - Mediteranean - August 18 2015.pdf
2.	Elevation	MediterraneanCatWalk.pdf

**TOWN OF BAY HARBOR ISLANDS
COMMUNITY DEVELOPMENT
MEMORANDUM**

To: Town of Bay Harbor Islands
Planning and Zoning Board

CC: Ronald Wasson – Town Manager
Marlene Siegel – Town Clerk / Code Supervisor
Dale Lee – Building Official
Ayanidys Martinez – Bldg. Dept. Supervisor

From: Michael J. Miller, AICP 
Consultant Town Planner

Date: August 18th, 2015

Subject: Mediterranean Co-Op Multi-Family Residential Complex
9101 East Bay Harbor Drive
Precast Façade Catwalk Balcony Retaining Wall Covering
Bay Harbor Islands Acct. No. BP2015-288
MMPA Acct. No: 01-0702-1023

RECOMMENDED ACTION

MMPA recommends the P&Z Board review the contents of this staff report and the submitted plans for the installation of a replacement precast façade catwalk balcony retaining wall covering at 9101 E. Bay Harbor Drive. If found to be acceptable, **APPROVE** the submittal.

BACKGROUND

On July 17th, 2015 the Town received an application for the installation of a replacement precast façade catwalk balcony retaining wall covering for the Mediterranean Co-Op multi-family residential complex located at 9101 East Bay Harbor Drive. The plans were reviewed by Town staff and it was determined that PZB approval is required, as the replacement precast façade catwalk balcony retaining wall covering may change the appearance of the building.

PROJECT DESCRIPTION

The applicant is requesting Town approval for the installation of a replacement precast façade catwalk balcony retaining wall covering for the Mediterranean Co-Op multi-family residential complex located at 9101 East Bay Harbor Drive.

**Town of Bay Harbor Islands
Mediterranean Co-Op Multi-Family Residential Complex
9101 East Bay Harbor Drive
Precast Façade Catwalk Balcony Retaining Wall Covering
August 18th, 2015
Page 2**

Per the guidelines set forth in Town of Bay Harbor Islands Resolution No. 1077, Section 2, the Town Manager shall bring to the Planning and Zoning Board (PZB) for approval, any items that he or she feels needs additional input from the PZB. Several members of the Town's staff have reviewed this matter and advised the Town Manager that PZB approval should be required because:

- (1) The unique appearance of the building's exterior decorative covering of the catwalks; and
- (2) The extremely large area requested to be modified (14,000 sq. ft.); and
- (3) The possible historical significance of the building (listed in the draft 2015 Miami-Dade Historic Survey as "Eligible for Designation as an Individual Historic Site" / Built - 1957 / Architect - A. Herbert Mathis / Architecture - MiMo).

SUMMARY

The applicant is proposing to install a replacement precast façade catwalk balcony retaining wall covering for the Mediterranean Co-Op multi-family residential complex that is slightly different than the existing decorative façade walls. The proposed precast façade walls will be constructed of five (5) vertical rows of concrete panel material whereas the existing façade walls are constructed of four (4) vertical rows of material. The existing concrete panels are slightly larger than the proposed panels. The applicant has indicated that this is necessary to meet the latest Building Code requirement of railings rejecting a 4-inch sphere. The existing façade wall panels are quite dated and are becoming more difficult to maintain.

TOWN OF BAY HARBOR ISLANDS

9665 Bay Harbor Terrace, Bay Harbor Islands, FL 33154

Tel.: 305-993-1786

Fax: 305-861-1130

PERMIT APPLICATION

INSTRUCTIONS - The following steps must be taken to obtain a permit from the Town of Bay Harbor Islands.

- Step 1. Complete the attached permit application which must be signed by the property owner and qualifier. Both signatures must be notarized. Please print or type to allow for a more accurate processing of your application. All permits/plans must be dropped off and may take up to 15 working days to be processed. Building Department hours of operation are Monday - Friday from 8:00 a.m. 3:30 p.m.
- Step 2. Submit the completed application with all necessary documents to the Building, Planning and Zoning Department for processing. During the processing of your application, you may be asked to submit additional information.

APPLICATION

JOB ADDRESS: 9101 E Bay Harbor Drive Bay Harbor Islands, FL 33154		UNIT #:	PROCESS NUMBER: <i>BP 2015-288</i>
FOLIO NUMBER: 13-2227-023-0001			
LOT: TRACT	BLOCK: B	TOWN OF BAY HARBOR ISLANDS PB 46 PG 5	
MASTER PERMIT #			
PROPOSED USE OF PROPERTY:		CURRENT USE OF PROPERTY: Residential	
TENANT INFORMATION:			
JOB COST: <i>300,000.00</i>		SQUARE FOOTAGE: <i>14000</i>	
DESCRIPTION OF WORK: <i>Inst. of new concrete balconies retaining walls</i>			

PERMIT TYPE (✓)	
Building	☒
Electrical	☐
Mechanical	☐
Plumbing	☐
LPGX	☐
Roofing	☐
Fence	☐
Other	☐

PERMIT CHANGE (✓)	
Chg. Contractor	☐
Renewal	☐
Revision	☐
Extension	☐
Supplement	☐
Reinspection	☐
	☐
	☐

TYPE OF IMPROVEMENT (✓)			
New Construction	☒	Enclosure	☐
Alteration Exterior	☒	Repair	☐
Alteration Interior	☐	Demolish	☐
Relocation of Structure	☐	Shell Only	☐
Foundation Only	☐	Add'l Attachment	☐
Other	☐	Add'l Detachment	☐
Other	☐		☐

PROPERTY OWNER	
Name: Mediterranean Apartments, Inc.	
Address: 9101 E Bay Harbor Dr. Bay Harbor Island FL 33154	
Home Telephone:	Work Number: (305) 865-8445

ENGINEER	
Name: <i>Solver Structural Partnership, INC</i>	
License No. <i>P.E. 56902</i>	
Address: <i>950 NW. 22 Ave. Miami, FL</i>	
Business Telephone: <i>305-643-8699</i>	
Fax: <i>305-643-8692</i>	

CONT. REGISTRATION # CONT-	
Company Name: <i>Dynamic Restoration</i>	
Qualifier Name: <i>Robert Gurina</i>	
License No. <i>CGC1512372</i>	
Address: <i>15540 Palmetto Lake Dr</i>	
City: <i>Miami</i> State: <i>FL</i> Zip Code: <i>33157</i>	
Telephone: <i>786 229 5257</i> Fax: <i>1877 809 2795</i>	
Email Address: <i>for out@vrtach.com</i>	
Contact Person/Permit Expediter:	

ARCHITECT <i>V/A</i>	
Company Name:	
License No.	
Address:	
Telephone:	Fax:

IMPORTANT NOTICES

1. DO NOT BEGIN ANY WORK WITHOUT HAVING RECEIVED YOUR VALIDATED PERMIT AND PERMIT CARD. Applying for a permit does not grant the right to begin construction. HOURS OF CONSTRUCTION are limited to: Monday through Friday from 9:00 a.m. to 6:00 p.m. and Saturdays from 10:00 a.m. to 5:00 p.m. No inspections will be conducted on weekends and holidays.
2. All construction of demolition areas MUST BE MAINTAINED IN A CLEAN, NEAT AND SANITARY CONDITION free from construction debris.
3. STREETS AND NEIGHBORING PROPERTIES SHALL BE KEPT FREE FROM DIRT AND DEBRIS.
4. SWALES MUST BE PROTECTED FROM BEING DAMAGED BY EQUIPMENT OR VEHICLES.
5. Construction trailers are prohibited on single family residential construction sites. Other construction may have a trailer, which requires a separate permit.
6. PORTABLE TOILETS for a construction site require a separate permit and must be screened from view.
7. DO NOT DISCHARGE WATER INTO THE RIGHT OF WAY OR STORM DRAINS without approval from the Building Department.
8. EQUIPMENT AND MATERIALS SHALL BE STORED at least 10 feet from the edge of pavement.

AFFIDAVIT - Please read carefully

Application is hereby made to obtain a permit to do work and installation as indicated. I, the OWNER of the property, certify that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that separate permits are required for ELECTRICAL, PLUMBING, POOL, EXTERIOR DOOR, MECHANICAL, WINDOW, FENCE, DRIVEWAY, ROOFING, SHUTTERS and SIGNS. There may be additional permits required from other governmental agencies.

I, the OWNER of the property, have disclosed all information related to any work at the property performed in the prior twelve months to the Building Official. Further, I am fully aware that if the cumulative cost of work to my home or business under this and any other permit equals or exceeds fifty percent (50%) of the fair market value of the structure, the entire structure must meet the present federal flood criteria for finished floor elevation. I am also fully aware that if the total cost of work to my home or business under this and any other permit exceeds fifty percent (50%) of the replacement cost of the structure, then the entire structure must conform to the current code requirements of the Florida Building Code.

WARNING TO OWNER: Your failure to record a NOTICE OF COMMENCEMENT may result in your paying twice for improvements to your property. If you are spending more than \$2,500 or intend to obtain financing, you may wish to consult with your attorney or lender before recording your Notice of Commencement. The Notice of Commencement must be recorded with the Clerk of Courts, for additional information please call 305-372-7777. Once recorded, the Notice of Commencement must be POSTED AT THE JOB SITE in accordance with Section 713.35 of Florida Statutes.

STATE OF FLORIDA, COUNTY OF MIAMI-DADE

Signature of Owner

Print Name

Sworn to and subscribed before me this 9th Day ofJuly, 2015

Signature of Notary Public-State of Florida

SEAL:



JOSE F. PEDREIRA
MY COMMISSION # FF 149013
EXPIRES: December 7, 2018
Bonded Thru Budget Notary Services

Personally known ☒ OR, Produced Identification ☐

Type of Identification Produced: _____

STATE OF FLORIDA, COUNTY OF MIAMI-DADE

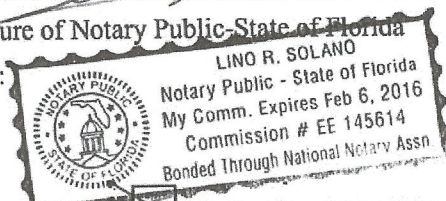
Signature of Contractor Qualifier

Print Name

Sworn to and subscribed before me this 7 Day ofAugust, 2015

Signature of Notary Public-State of Florida

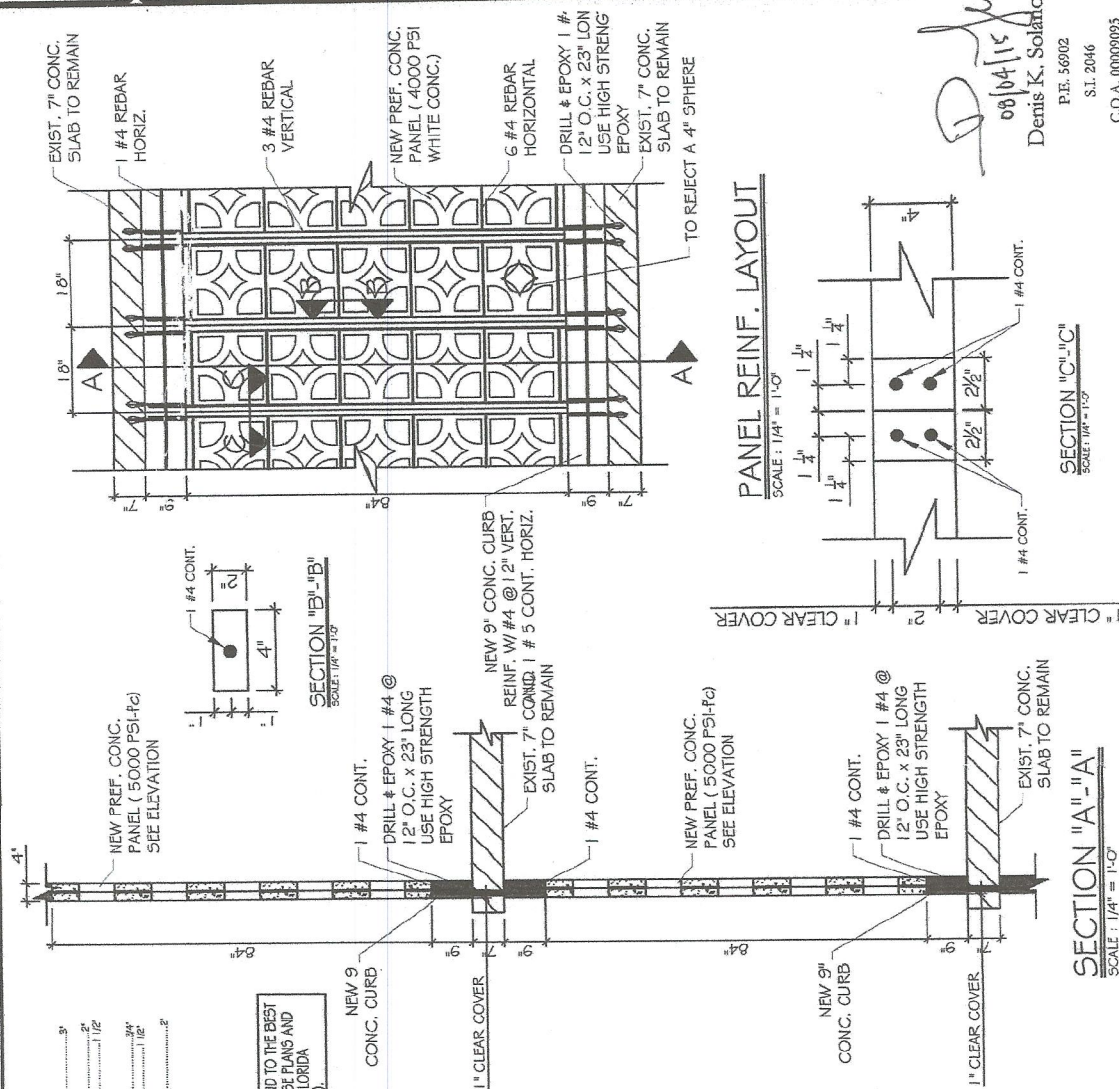
SEAL:

Personally known ☒ OR, Produced Identification ☐

Type of Identification Produced: _____

[illegible]

IN MY PROFESSIONAL JUDGEMENT AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE: 5TH EDITION (2014).



PANEL REINF. LAYOUT

SECTION "C"-C"

SECTION "A"- "A"
SCALE: 1/4" = 1'-0"

Denis K. Solano
P.E. 56902
S.I. 2046
C.O.A. 00009095

9101 EAST BAY HARBOR ISLAND, FL
PRECAST FACADE COVERING
REPLACEMENT

Date 07/23/15
 Issued _____
 Drawn Y.S.P.
 Checked D.K.S.
 Project no. _____
 08/15/15-2523

sheet no.

S-1

1 of 1

CONSTANTS:

Solver Structural Partners, LLC
 550 N.W. 22 ND AVE.
 Miami, Florida 33125
 Fax: (305) 663-8922
 Phone: (305) 663-0599
 E-Mail: info@solversstructural.com
 DESIGN - INSPECTION - INVESTIGATION - REPORTS

Reviews:

REVISIONS:

CONSULTANTS:

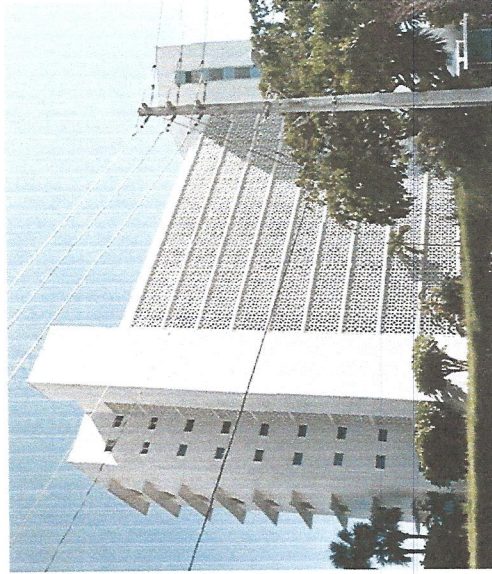
Solver Structural Partnership, Inc.
300 N.W. 23rd Ave.
Miami, Florida 33125
Phone (305) 643-8899
Fax (305) 643-8892
Email: info@solverstructural.com
DESIGN - INSPECTION - INVESTIGATION - REPORTS



9101 EAST BAY HARBOR ISLAND, FL
PRECAST FACADE COVERING
REPLACEMENT

date 07/23/15
issued Y.G.F.
drawn Y.G.F.
checked D.K.S.
project no. DE-157-15-2523

sheet no.
A-1
1 of 1

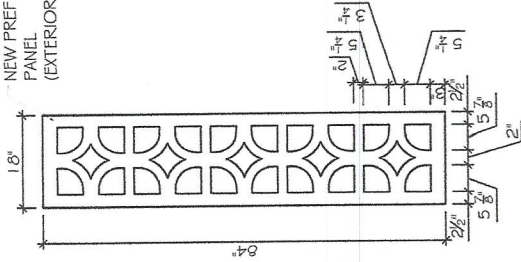


NORTH WEST ELEVATION
SCALE 1/8" = 1'-0"

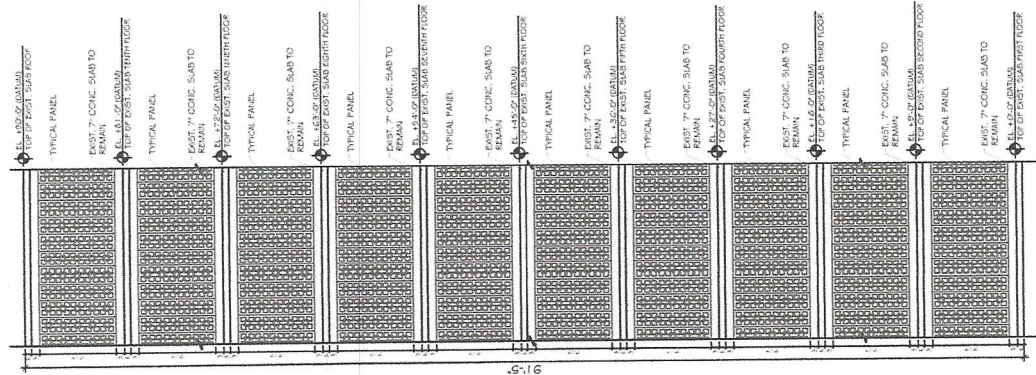


WEST ELEVATION
SCALE 1/8" = 1'-0"

NEW PREF. CONC.
PANEL
(EXTERIOR FACE)



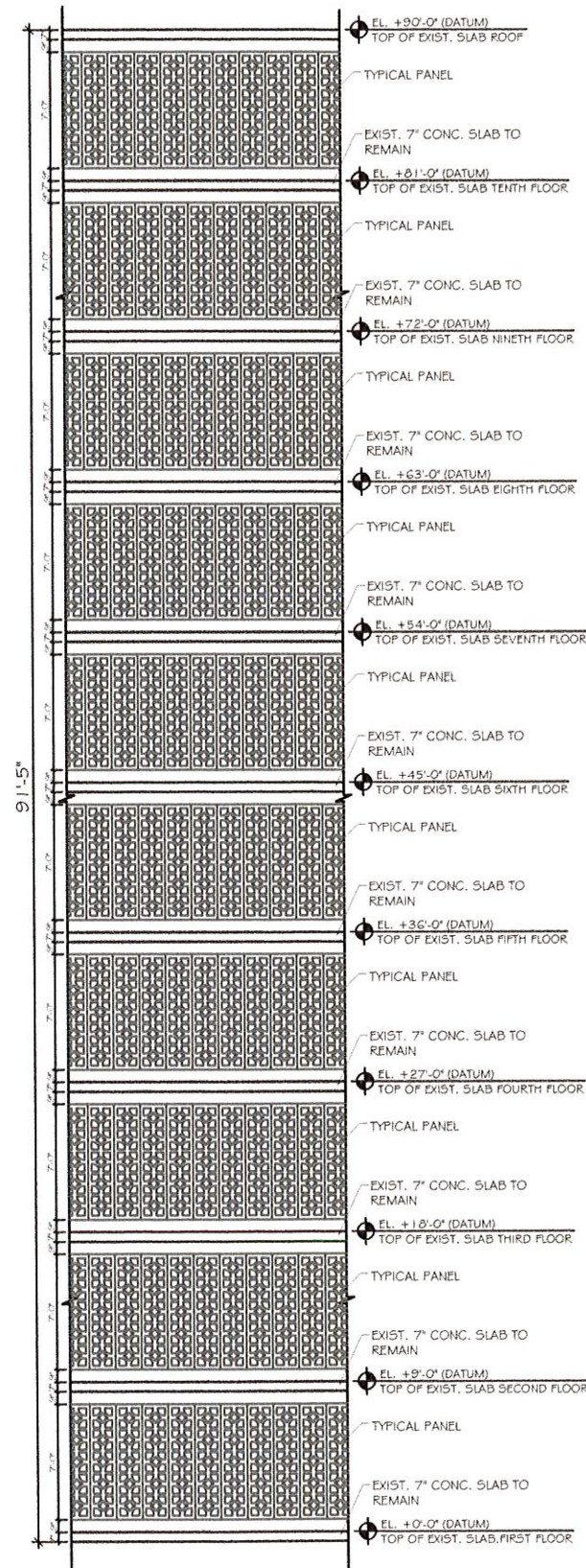
TYP. PROPOSED PANEL ELEVATION
SCALE 1/8" = 1'-0"



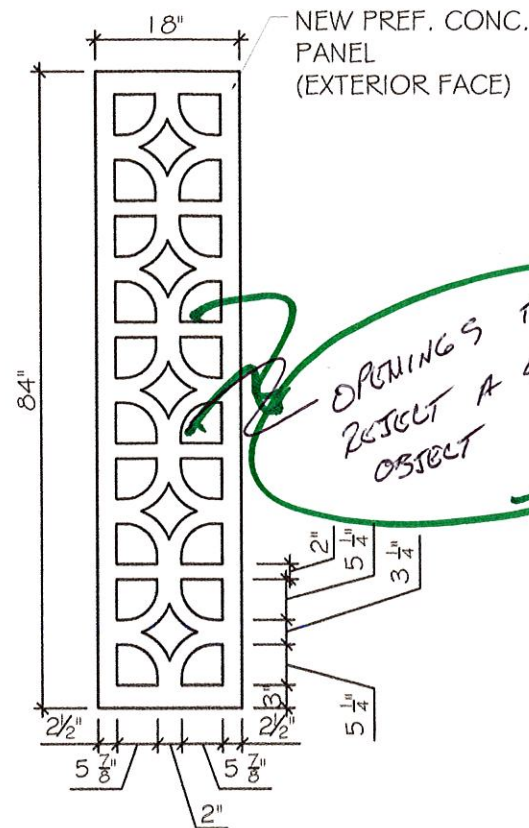
TYPICAL ELEVATION
SCALE 1/8" = 1'-0"

08/04/15
Denis K. Solano
P.E. 56902
S.I. 2046
C.O.A. 00009095





TYPICAL ELEVATION
SCALE: 1/4" = 1'-0"



TYP. PROPOSED PANEL ELEVATION
SCALE: 1/2" = 1'-0"



NORTH WEST ELEVATION
SCALE: N.T.S.



WEST ELEVATION
SCALE: N.T.S.

08/04/15
Denis K. Solano

P.E. 56902
S.I. 2046
C.O.A. 00009095

revisions:

CONSULTANTS:

Solver Structural Partnership, Inc.
950 N.W. 22 ND AVE.
MIAMI, FLORIDA 33125
E-MAIL: info@solstructural.com
PHONE: (305) 643-8899
FAX: (305) 643-8892
DESIGN - INSPECTION - INVESTIGATION - REPORTS

9101 EAST BAY HARBOR ISLAND, FL

PRECAST FACADE COVERING REPLACEMENT

date 07/23/15
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project no. _____
DR-15/ 15-2523

sheet no.

A-1
1 of 1

STRUCTURAL NOTES

1. GENERAL:

A. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE FLORIDA BUILDING CODE, 2010 EDITION, ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDINGS, THE ACI 318-10 BUILDING CODE, AND ALL APPLICABLE FEDERAL, STATE AND LOCAL ORDINANCES.

B. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS OF EXISTING STRUCTURES AFFECTING NEW CONSTRUCTION BEFORE COMMENCING ANY WORK. ANY VARIATIONS IN ACTUAL FIELD CONDITIONS/DIMENSIONS FROM THOSE SHOWN IN THE CONTRACT DRAWINGS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER FOR DETERMINING THE NEED OF REDESIGN PRIOR TO CONTRACTOR'S SUBMITTAL OF SHOP WORKING DRAWINGS FOR REVIEW.

C. THESE DRAWINGS SHALL BE WORKED TOGETHER WITH ARCHITECTURAL, AIR CONDITIONING, MECHANICAL AND ELECTRICAL DRAWINGS TO LOCATE DEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, OPENINGS, REGLETS, BOLT SETTINGS, SLEEVES, ETC. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.

D. WHEN PERFORMING WORK BELOW GRADE, CARE SHALL BE TAKEN TO AVOID DAMAGING ANY EXISTING UTILITIES. ALL UNKNOWN UTILITIES DISCOVERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. ANY DAMAGE TO THE EXISTING UTILITIES SHALL BE REPORTED TO ALL AFFECTED PARTIES, INCLUDING THE ARCHITECT/ENGINEER.

E. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING HIS CONSTRUCTION DOCUMENTS WITH THE REVISED DRAWINGS AND SPECIFICATIONS, FIELD ORDERS, CHANGE ORDERS AND CLARIFICATION SKETCHES ISSUED DURING THE COURSE OF CONSTRUCTION.

F. TYPICAL DETAILS AND NOTES ON THESE DRAWINGS SHALL APPLY UNLESS SPECIFICALLY NOTED OTHERWISE. CONSTRUCTION DETAILS AND SECTIONS NOT COMPLETELY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS AND SECTIONS SHOWN OR NOTED FOR SIMILAR CONDITIONS.

G. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT.

H. BACKFILL AROUND THE EXTERIOR PERIMETER OF WALLS SHALL NOT BE PLACED UNTIL AFTER THE WALLS ARE SUPPORTED BY THE COMPLETION OF INTERIOR FLOOR SYSTEMS. DO NOT PROCEED WITH BACKFILL UNTIL (7) DAYS AS A MINIMUM AFTER THE COMPLETION OF INTERIOR FLOOR SYSTEM UNLESS WALLS ARE ADEQUATELY BRACED. BACKFILL SHALL NOT BE PLACED UNTIL AFTER COMPLETION AND INSPECTION OF WATERPROOFING WHERE WATERPROOFING OCCUR.

I. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER FROM EXCAVATIONS AND Dewatering OPERATIONS IN SUCH A WAY AS TO NOT CAUSE INCONVENIENCE TO THE WORK AND DAMAGE TO THE STRUCTURAL ELEMENTS.

J. REINFORCING STEEL SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE STRUCTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST STRUCTURAL DRAWINGS.

K. THE CONTRACTOR SHALL SUPPLY THE ENGINEER THREE COPIES OF SHOP DRAWINGS A MINIMUM OF ONE WEEK PRIOR TO PLACEMENT. THE REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH THE STRUCTURAL DRAWINGS AND SPECIFICATIONS. THE REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT NOR DOES IT IMPLY THAT THEY SUPERSEDE THE STRUCTURAL DRAWINGS.

L. SUBMITTALS TO STRUCTURAL ENGINEER:

- CONCRETE TEST REPORT FOR CAST-IN-PLACE CONCRETE AS PER 301-2010.
- REINFORCING STEEL SHOP DRAWINGS.
- STRUCTURAL STEEL SHOP DRAWINGS, ERECTION DRAWINGS.

2. CONCRETE:

- ALL CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-2010 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."
- CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI FOR FOOTINGS & 3000 PSI COLUMNS, SLABS AND BEAMS.
- FORMWORK SHALL COMPLY WITH ACI 347-04, "RECOMMENDED PRACTICE FOR CONCRETE WORK."
- NO WATER SHALL BE ADDED TO THE CONCRETE AT THE JOB SITE.
- THE OWNER SHALL CONTRACT AN INDEPENDENT TESTING LABORATORY TO PERFORM CONCRETE CYLINDER TESTS AS FOLLOWS: FOUR CYLINDER TESTS FOR ANY 50 CUBIC YARDS OF CONCRETE POURED, OR THREE CYLINDER TESTS PER ANY DAYS POUR LESS THAN 50 CUBIC YARDS. ONE CYLINDER SHALL BE TESTED AT 7 DAYS AND TWO AT 28 DAYS.
- TRANSPORTING, PLACING, CURING AND DEPOSITING OF CONCRETE SHALL COMPLY WITH ACI 301-36.
- CONCRETE MIX FOR BALCONIES SHALL HAVE ALL CORROSION INHIBITING ADDITIVES & A MINIMUM CONCRETE COMPRESSIVE STRENGTH OF 3000 PSI.

3. REINFORCING STEEL:

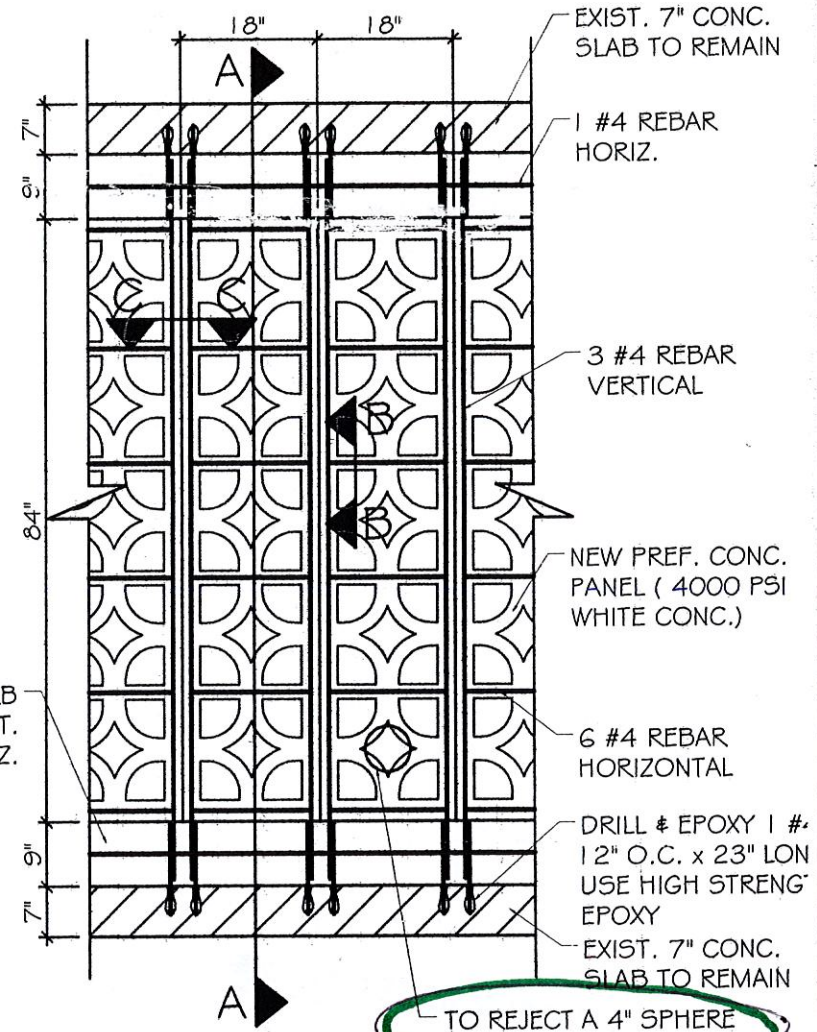
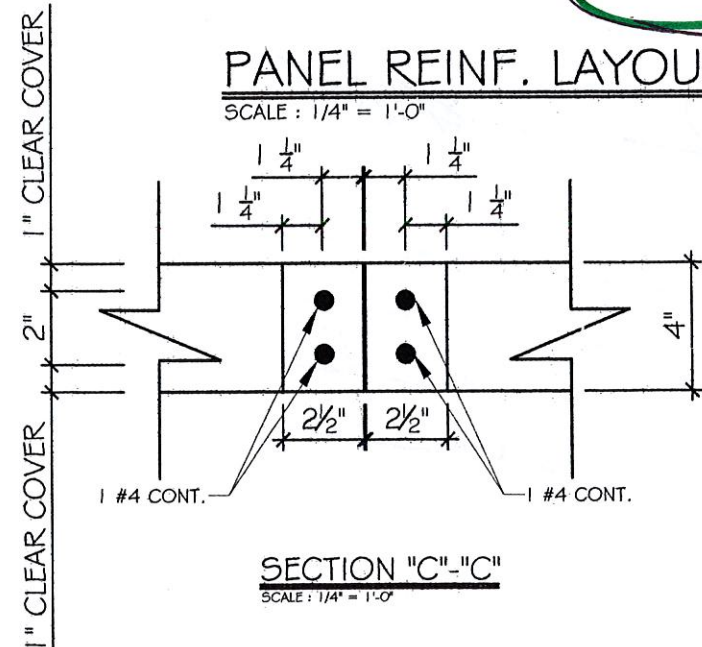
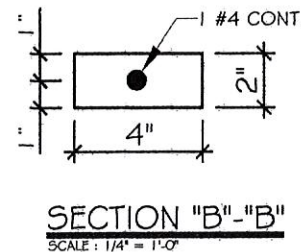
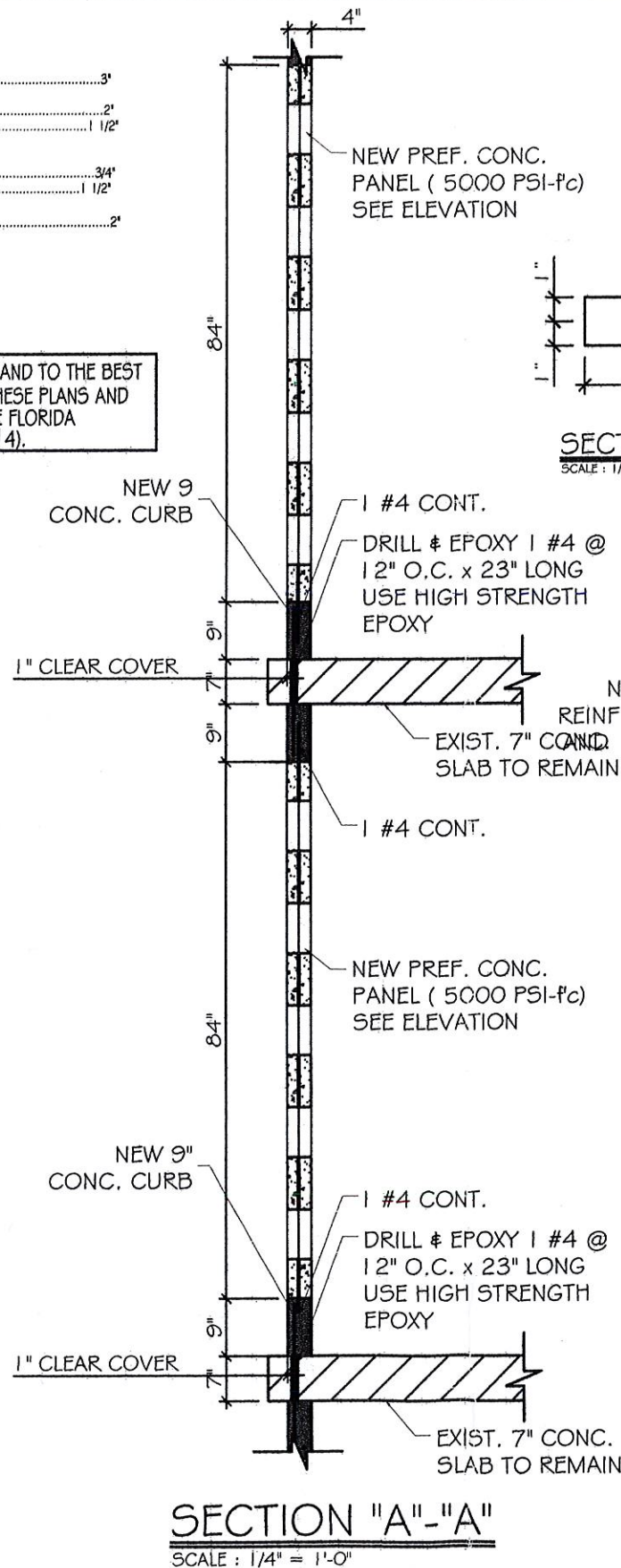
- REINFORCING STEEL SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH FBC 2010 EDITION.
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A 615-2010 (S1) GRADE 60.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185-94.
- REINFORCING SHALL BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACING OF CONCRETE.
- ALL TOP REINFORCING SHALL TERMINATE WITH STANDARD HOOKS AT DISCONTINUOUS EDGES OR ENDS.
- ALL BOTTOM BARS SHALL BEAR 6" MINIMUM OVER SUPPORTS, U.O.N.
- ALL REINFORCING BARS MARKED CONTINUOUS SHALL BE LAPPED 30 DIA. AT SPLICES AND CORNERS UNLESS OTHERWISE NOTED. LAP CONTINUOUS TOP BARS AT CENTER BETWEEN SUPPORTS AS REQUIRED. TERMINATE CONTINUOUS BARS AT NON-CONTINUOUS ENDS WITH STANDARD HOOKS, U.O.N.

H. MINIMUM CONCRETE COVER FOR REINFORCEMENT:

- CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH.....3"
- CONCRETE EXPOSED TO EARTH OR WEATHER
#6 BARS AND LARGER.....2"
#5 BARS AND SMALLER.....1 1/2"
- CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH:
SLABS AND WALLS.....3/4"
BEAMS AND COLUMNS.....1 1/2"
- EXTERIOR CONCRETE BALCONY SLABS.....2"

4. DESIGN CRITERIA:
WIND LOAD:
ASCE 7-10
WIND VELOCITY: 170 MPH
EXPOSURE 'D'
KD=.85

IN MY PROFESSIONAL JUDGMENT AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE, 5TH EDITION (2014).



revisions:

CONSULTANTS:

Solver Structural Partnership, Inc.
950 N.W. 22 ND AVE.
Miami, Florida 33125
Phone: (305) 643-8699
Fax: (305) 643-8692
E-Mail: info@solverstructural.com
DESIGN - INSPECTION - INVESTIGATION - REPORTS

9101 EAST BAY HARBOR ISLAND, FL

PRECAST FACADE COVERING REPLACEMENT

job name:

date 07/23/15

issued

drawn Y.G.F.

checked D.K.S.

project no.

DR-15/15-2523

sheet no.

S-1

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