

When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don't turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

**TOWN OF BAY HARBOR ISLANDS
PLANNING AND ZONING BOARD**

August 18, 2015

FINAL AGENDA

CALL TO ORDER: Set for 7:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

1. Request for approval for an addition and renovation for "Daniel and Melina Mizrahi" located at 1330 97 Street, Lot 3 of Block 34. On May 19, 2015 the Board denied their project. The owners have hired a new architect and redesign the house. The proposed 2-story home has approximately 3,710 square feet of living space with a one car garage. The residence will have four (4) bedrooms and four (4) full bathrooms. Enclosed please find the site plan, elevations and landscape plan (Item 1A)

** Staff Review:* Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks, Community Planner.

2. Approval of the minutes held on July 7, 2015. (Item #2A)

** Staff Review:*

ADJOURNMENT

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AGENDA ITEM REPORT

August 18, 2015

ITEM NUMBER: 1.

ITEM: Request for approval for an addition and renovation for "Daniel and Melina Mizrahi" located at 1330 97 Street, Lot 3 of Block 34. On May 19, 2015 the Board denied their project. The owners have hired a new architect and redesign the house. The proposed 2-story home has approximately 3,710 square feet of living space with a one car garage. The residence will have four (4) bedrooms and four (4) full bathrooms. Enclosed please find the site plan, elevations and landscape plan (Item 1A)

DESCRIPTION:

Request for approval for an addition and renovation for "Daniel and Melina Mizrahi" located at 1330 97 Street, Lot 3 of Block 34. On May 19, 2015 the Board denied their project. The owners have hired a new architect and redesign the house. The proposed 2-story home has approximately 3,710 square feet of living space with a one car garage. The residence will have four (4) bedrooms and four (4) full bathrooms. Enclosed please find the site plan, elevations and landscape plan (Item 1A)

RECOMMENDED ACTION:

Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks, Community Planner.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

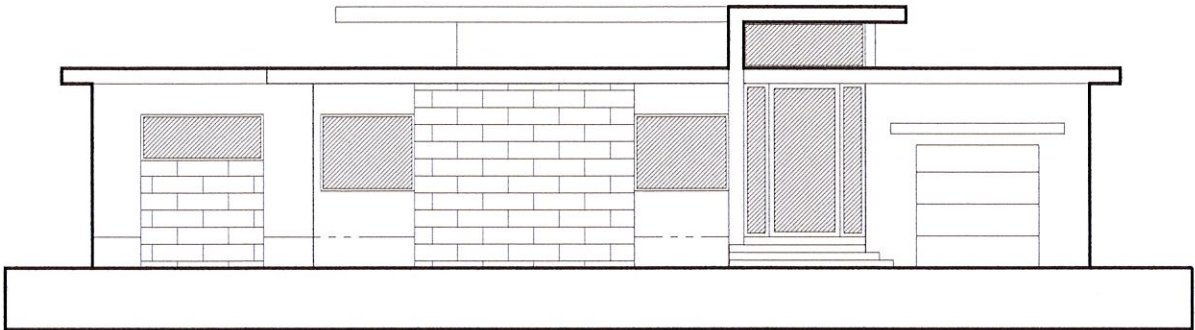
Submitted By: Ayanidys Martinez
 Ayanidys Martinez

ATTACHMENTS

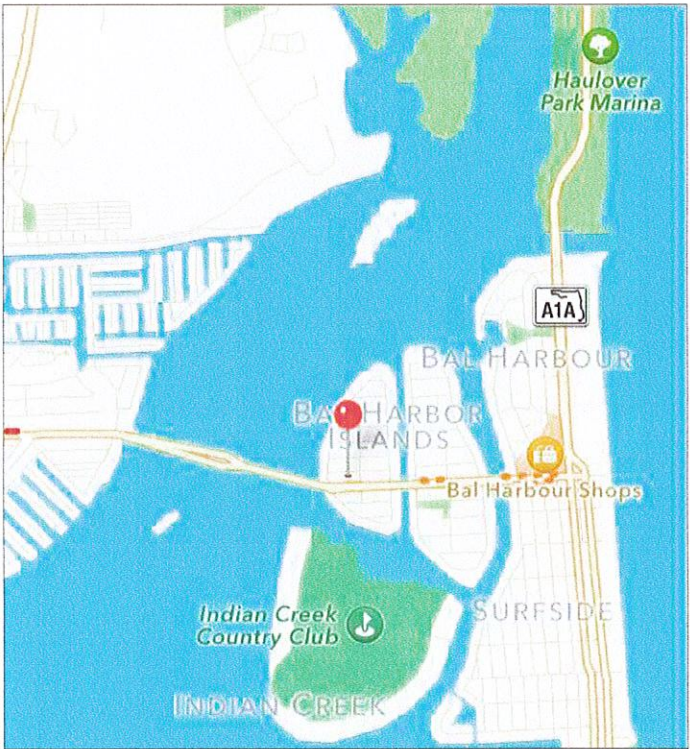
1.	Site Plan and Elevations	Mizrahi8.18.15PNZ.pdf
2.	Staff Report	Mizrahi SFR - PZB StaffReport Aug 12 2015.pdf

MIZRAHI RESIDENCE

SINGLE FAMILY HOUSE ADDITION AND RENOVATION



LOCATON MAP



LEGAL DESCRIPTION
LOT 3 BLOCK 34 OF "BAY HARBOR" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, AT PAGE 5 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
FOLIO NUMBER: 13-2227-001-6260

PROPOSED FOR:
1330 97 ST
Bay Harbor Islands,
FL.

DRAWING LIST

ARCHITECTURAL

- A-0.0. COVER SHEET.
- A-0.1. EXISTING PHOTOS OF SITE
- A-1.0 SITE PLAN
- A-1.1 SITE PLAN OVERLAY
- A-2.0 GROUND FLOOR PLAN
- A-2.1 ROOF PLAN
- A-3.0 ELEVATION
- A-3.1 COLOR ELEVATION
- A-3.2 ELEVATION
- A-4.0. EXISTING/DEMO. PLAN
- A-4.1. DEMO ELEVATION

LANDSCAPE

- LS-1. LANDSCAPE PLAN
- LS-2. TREE DISPOSITION PLAN

PROJECT No.
REVISIONS

SCALE: AS SHOWN
DATE: DECEMBER 15, 2014

A0.0

PROPOSED FOR:
1330 97 ST
Bay Harbor Islands,
FL.

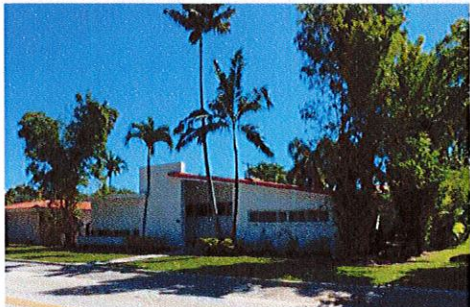
PROJECT No.

REVISIONS

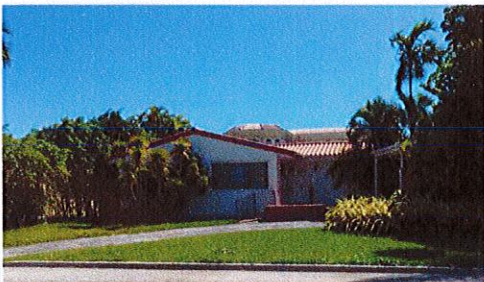
SCALE: AS SHOWN

DATE: DECEMBER 15, 2014

A0.1



Mizrahi Single Family House Addition and Renovation
1330 97th St Bay Harbor Island Florida 33154. ADJACENT HOUSE SIDE EAST

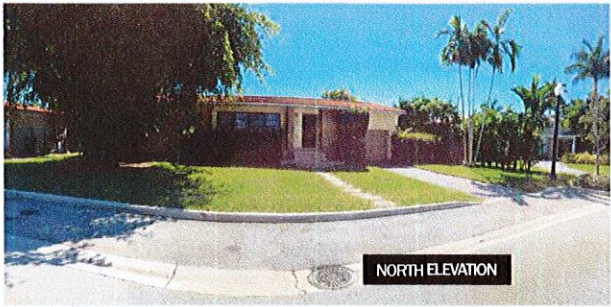


Mizrahi Single Family House Addition and Renovation
1330 97th St Bay Harbor Island Florida 33154. ADJACENT HOUSE SIDE WEST

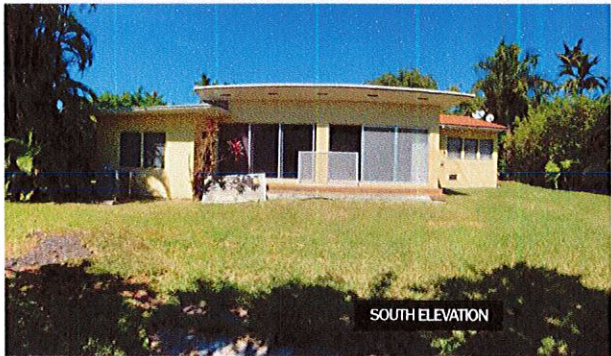


ADJACENT HOUSES SIDE SOUTH

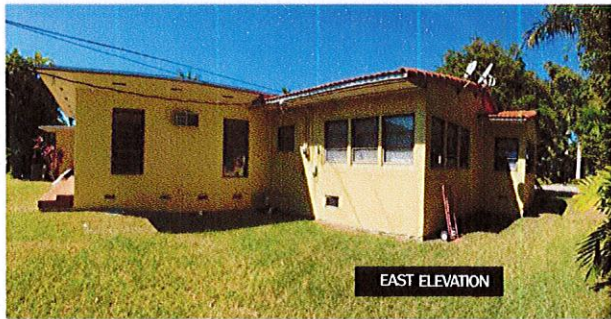
ADJACENT BUILDINGS



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

EXISTING BUILDING

EXISTING PHOTOS OF SITE & NEIGHBOURS

LEGEND:	
ENCLOSED EXISTING HOUSE	
ENCLOSED ADDITION/NEW ALL FLOORING TO MATCH 8.19 NGVD	
ENCLOSED ADDITION/NEW ALL FLOORING TO MATCH 5.65 N.G.V.D.	
24" X 48" CONCRETE SLABS W/ 5" TURF JOINT	
LANDSCAPE	
CONCRETE SLAB, STEPSTONES, STAIRS	
TINTED CONCRETE DRIVEWAY	

SITE INFORMATION

ZONING:

RD SINGLE FAMILY RESIDENTIAL DISTRICT
PROJECT IS LOCATED WITHIN ZONE "AE"-BASE FLOOD ELEVATION 8'-0"
SUFFIX "L".

CONCRETE SLAB AND ALL CONCRETE PADS MUST HAVE
A FFE OF 8.0 FEET NGVD.

OCCUPANCY GROUP:

IN ACCORDANCE WITH 2014 FLORIDA BUILDING CODE. THIS PROJECT IS
CLASSIFIED GROUP R- RESIDENTIAL OCCUPANCY.

CONSTRUCTION TYPE:

ACCORDING TO FBC 2014, CHAPTER 6 TABLES 601 AND 602, THE EXISTING
STRUCTURE IS CLASSIFIED AS TYPE IIB (NONCOMBUSTIBLE CONSTRUCTION)

UTILITIES

WATER & SEWER:	MUNICIPAL SEWER SYSTEM
ELECTRIC:	F.P.L. CO.

SET BACKS:	REQUIRED	PROVIDED
NORTH (FRONT):	25'-0"	25'-0"
SOUTH (REAR):	15'-0"	25'-0"
EAST (SIDE):	10'-0"	10'-13/16"
WEST (SIDE):	10'-0"	10'-1"

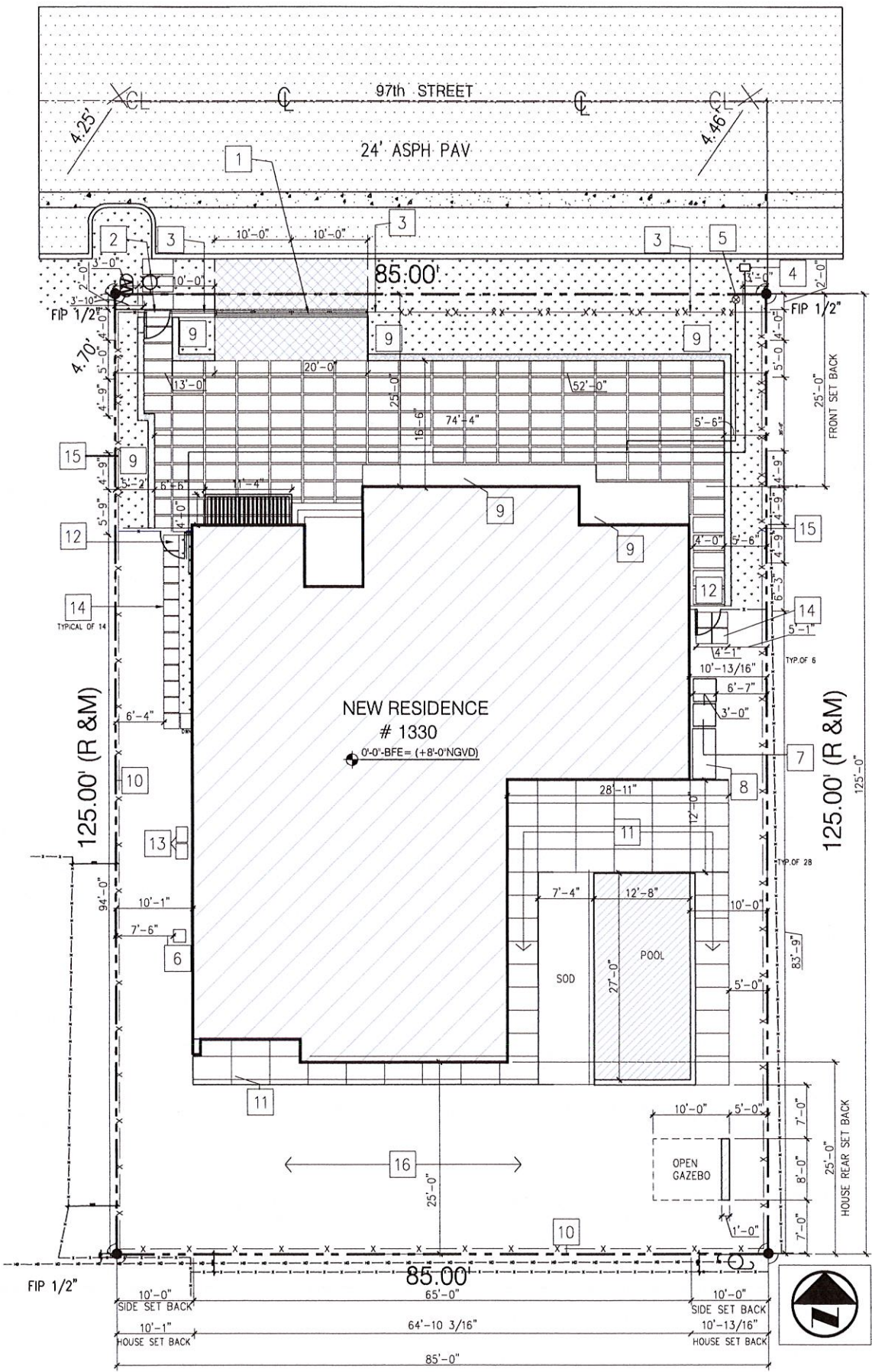
SITE CALCULATION		
	S.F	%
TOTAL SITE AREA	10,625.0	
PROPOSED ENCLOSED AREA UNDER A/C	3,710.0	
EXTERIOR CONCRETE TERRACE, STEPS & CONCRETE PAVERS	1,780.2	
FRONT WALLS, FENCE BASE & DRIVEWAY ASPHALT	681	
POOL	348	
TOTAL IMPERVIOUS AREA	6,201.2	58.3
LANDSCAPE	4,423.8	41.6
TOTAL PERVIOUS AREA	4,423.8	41.6
PROPOSED ENCLOSED UNDER A/C	3,710.0	S.F
EXISTING ENCLOSED UNDER A/C	2,809.0	S.F
ENCLOSED ADDITION	901.0	S.F

BUILDING INFORMATION

MAXIMUM BUILDING HEIGHT:
TWO AND ONE HALF STORIES OR 25' IN HEIGHT
ABOVE THE BFE: 8'-0"NGVD
TOTAL BUILDING HEIGHT: 15'-0"ABOVE BFE

LEGAL DESCRIPTION

LOT 3 BLOCK 34 OF "BAY HARBOR" ACCORDING TO THE PLAT
THEREOF, AS RECORDED IN PLAT BOOK 46, AT PAGE 5 OF
THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
FOLIO NUMBER: 13-2227-001-6260

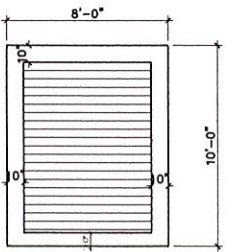


SITE PLAN
SCALE: 1/8"=1'-0"

PROPOSED SITE PLAN KEY NOTES

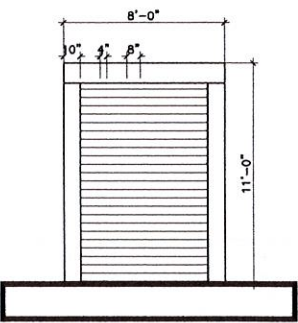
- 1 SLIDING DRIVEWAY GATE. OPENS TO EAST DIRECTION. WHEN OPENED GATE, WILL BE LOCATED BEHIND THE FENCED IN FRONT.
- 2 PEDESTRIAN GATE.
- 3 FROM YARD FRONT FENCE.
- 4 EXISTING WATER METER AND 1" COLD WATER LINE.
- 5 EXISTING 3" SANITARY LINE.
- 6 GAS METER (RELOCATED).
- 7 CONCRETE SLAB FOR A/C EQUIPMENT: AC EQUIPMENT DIMENSIONS: 48"Hx35"Wx35"D.
- 8 POOL EQUIPMENT.
- 9 LANDSCAPING
- 10 WOOD FENCE 5'-0" HIGH. SEE DETAIL 1/A-1.1
- 11 POOL DECK PREFAB. CONCRETE, PAVERS OR SAND FILL.
- 12 SERVICE GATE 5'-0" HIGH.
- 13 TRASH BINS.
- 14 PRE-FABRICATED 24"x24"x3"CONCRETE TILES.
- 15 FROM YARD ALUM.5'-0" HIGHT FENCE SEE DETAIL 2/A-1.1.
- 16 SOD.

NOTAS:
1-OVERHEAD POWER LINES TO REMAIN.
2-ALL ITEMS BELOW ITEMS BY OTHERS:
A-POOL AND POOL FENCE.
B-WOOD FENCE.
C-ALUM. FENCE.
3-A/C SLABS MUST BE AT 8'-00" NGVD.



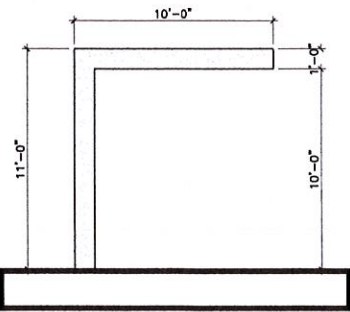
GAZEBO ROOF PLAN

SCALE: 1/4"=1'-0"



PROPOSED GAZEBO EAST ELEVATION

SCALE: 1/4"=1'-0"



PROPOSED GAZEBO SOUTH ELEVATION

SCALE: 1/4"=1'-0"

eavarchitect

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Eduardo Vazquez, ra
14369

ENGINEERING CONSULTANT

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Bay Harbor Islands,
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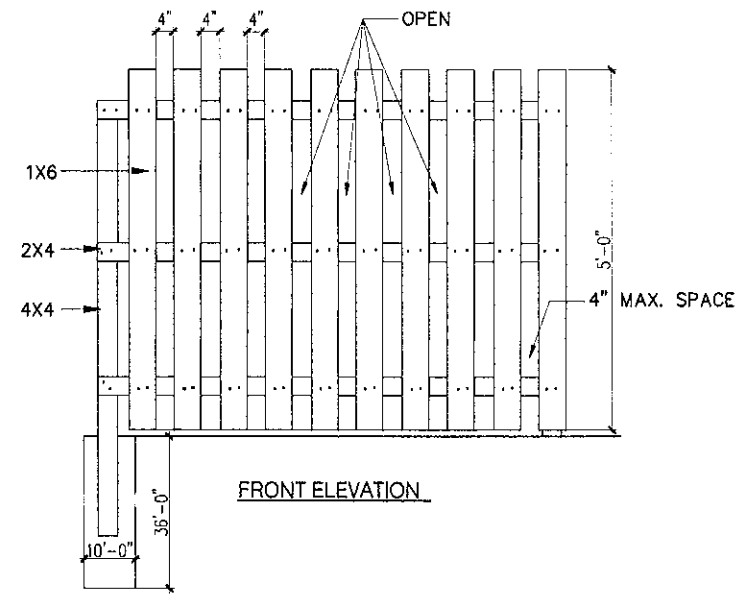
PROJECT No.

REVISIONS

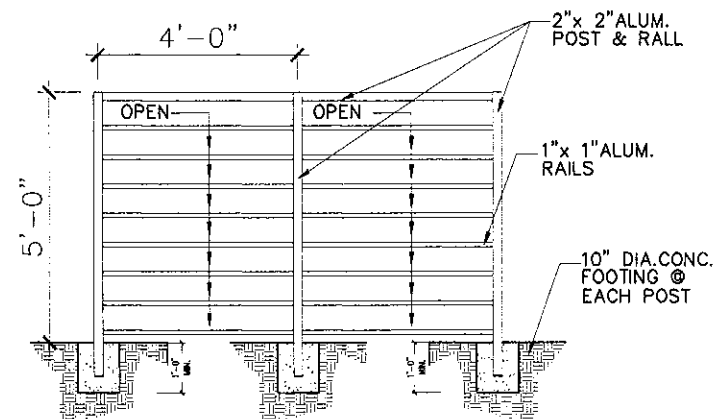
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DATE: DECEMBER 15, 2014

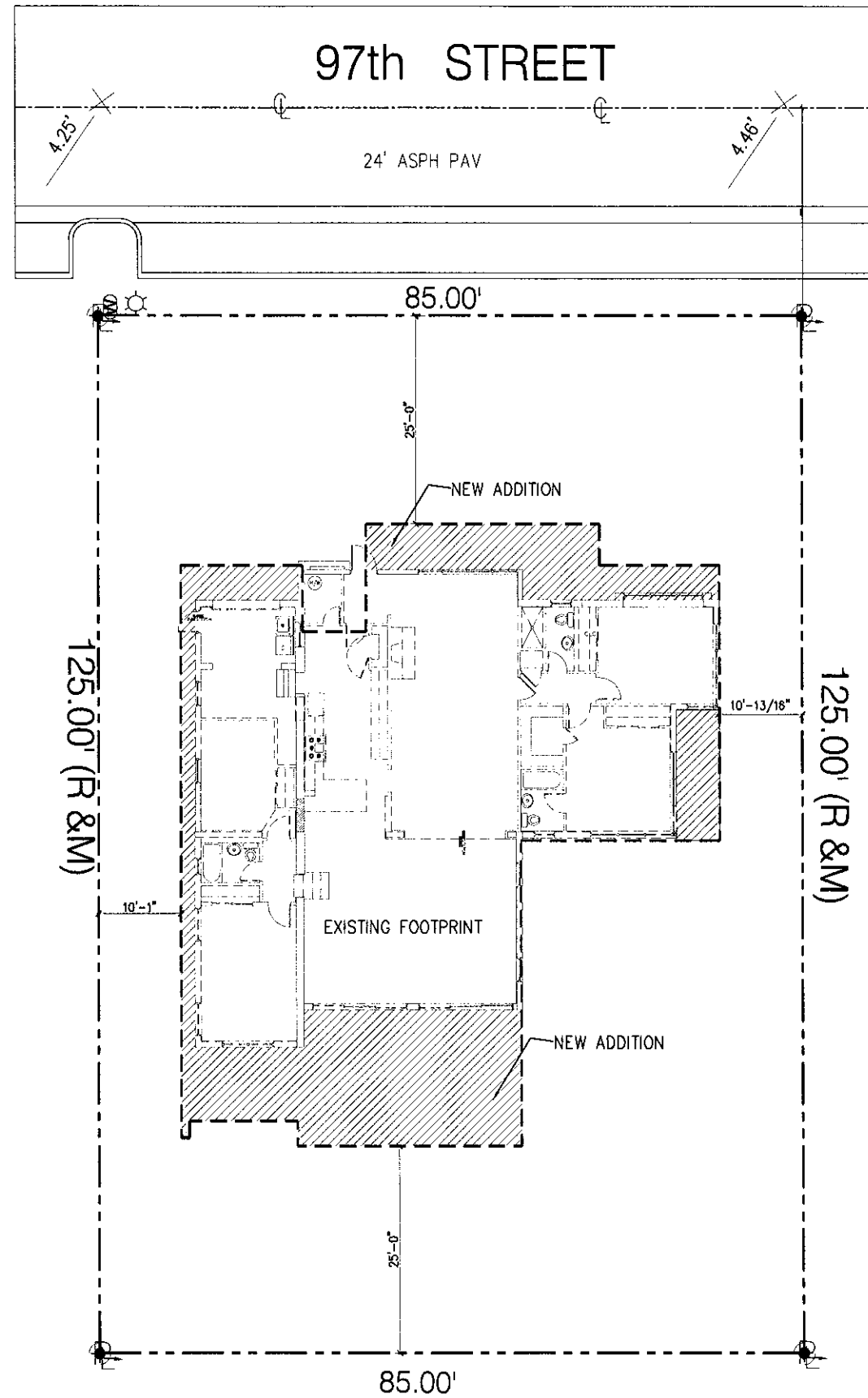
A1.0



1 TYP. WOOD FENCE
A-1.1 N.T.S. 32% OPEN



2 TYP. ALUM. FENCE
A-1.1 N.T.S. 79.8 % OPEN



SITE PLAN OVERLAY
SCALE: 1/8" = 1'-0"

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SCALE: AS SHOWN

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A1.1

PROPOSED FOR:
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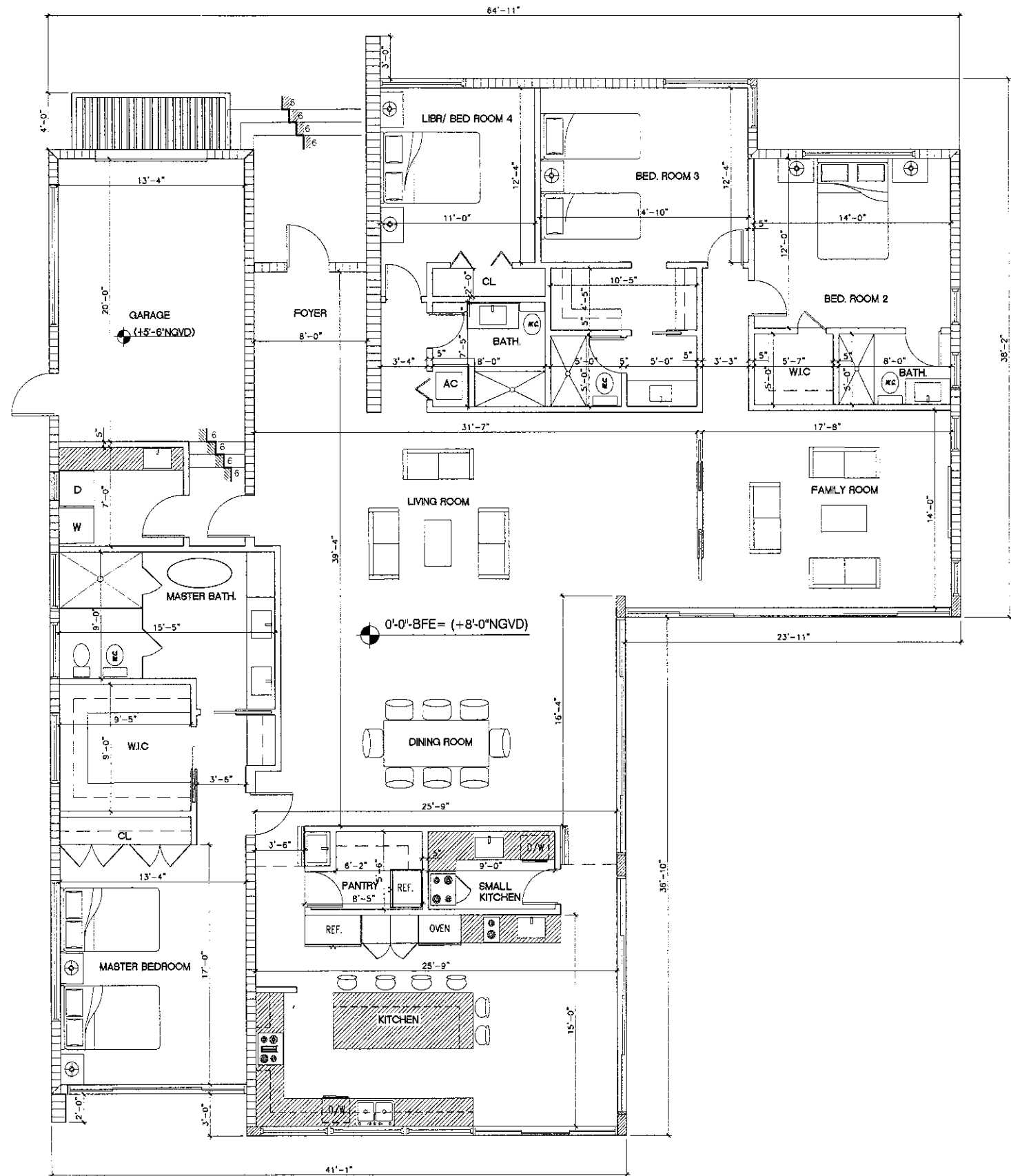
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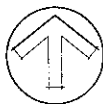
SCALE: AS SHOWN

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A2.0



GROUND FLOOR



AREA- 3,710 SF

SCALE: 1/4"=1'-0"

PROPOSED FOR:
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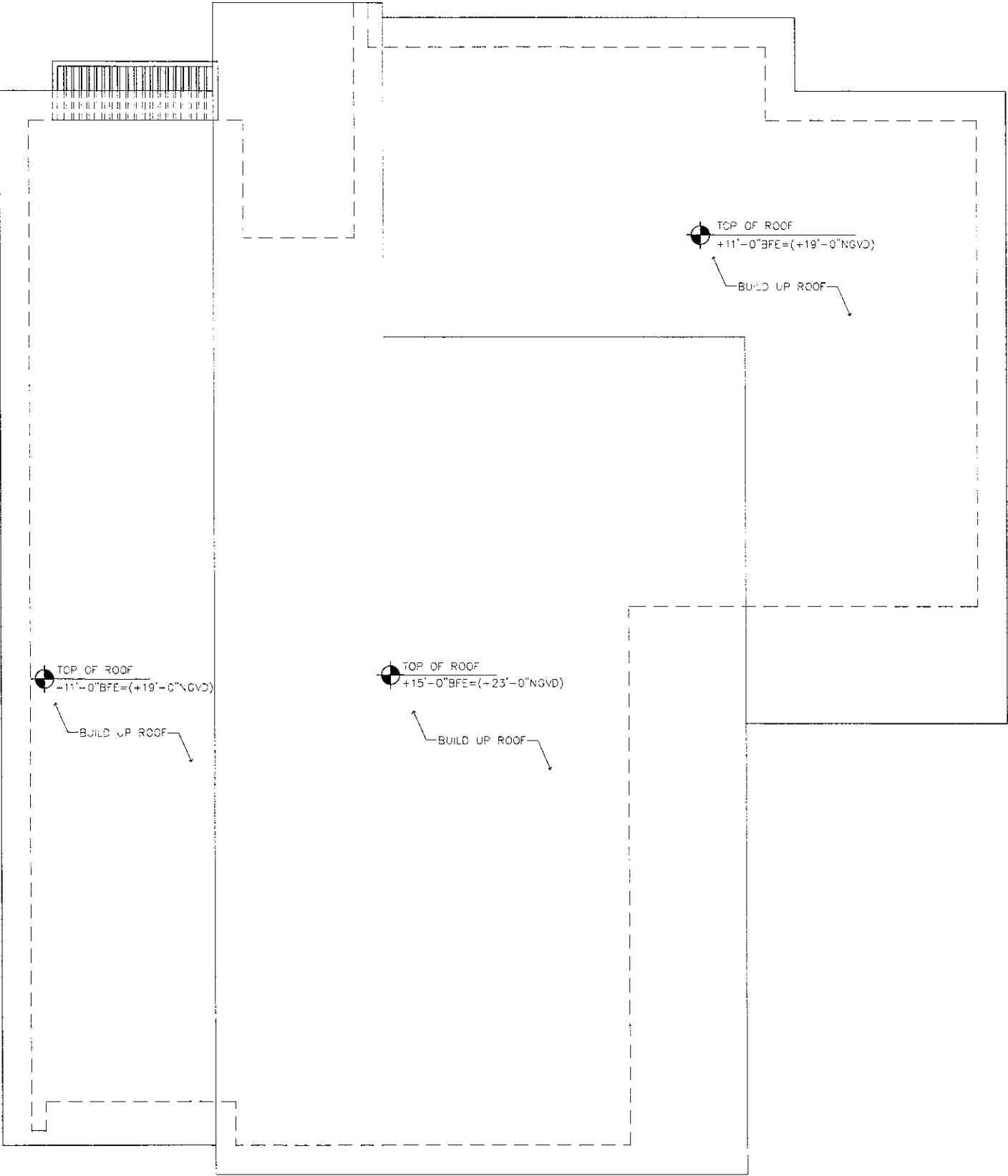
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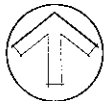
REVISIONS

SCALE: AS SHOWN

DATE: DECEMBER 15, 2014

A2.1



ROOF PLAN 
SCALE: 1/4" = 1'-0"

PROPOSED FOR:
1330 97 ST
Bay Harbor Islands,
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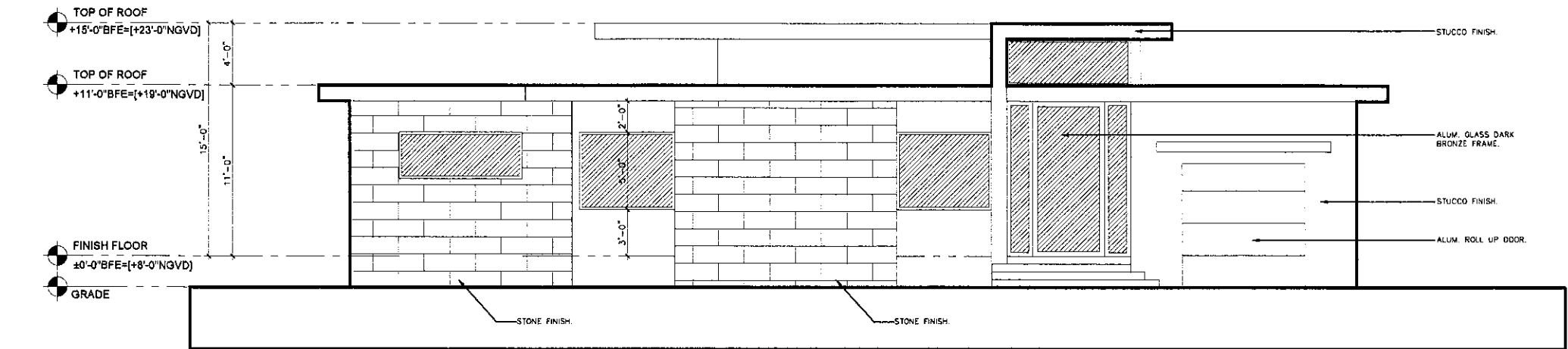
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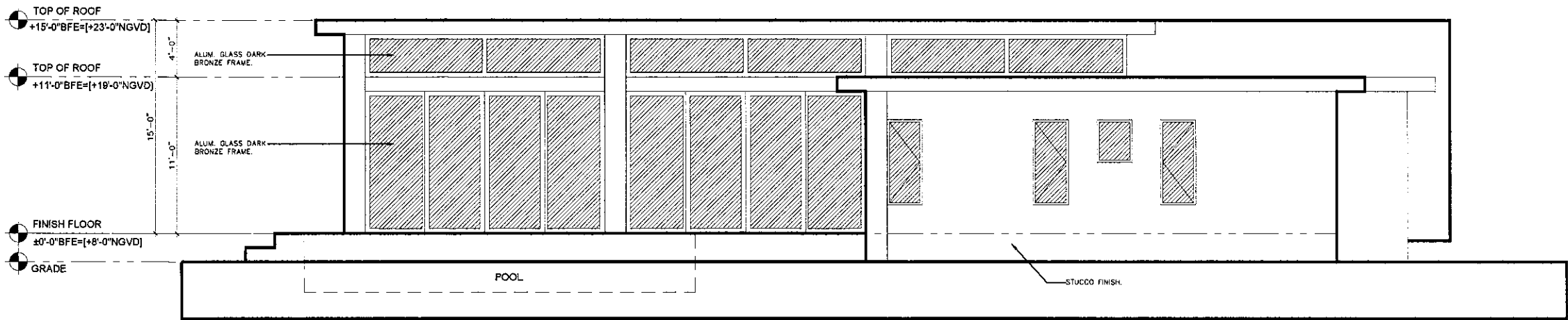
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DATE: DECEMBER 15, 2014

A3.0



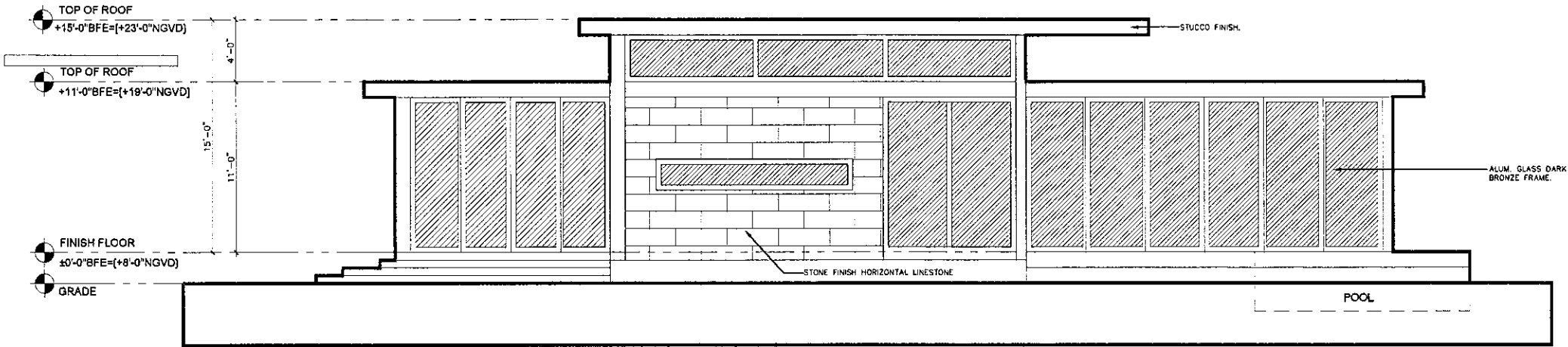
NORTH ELEVATION
SCALE: 1/4"=1'-0"



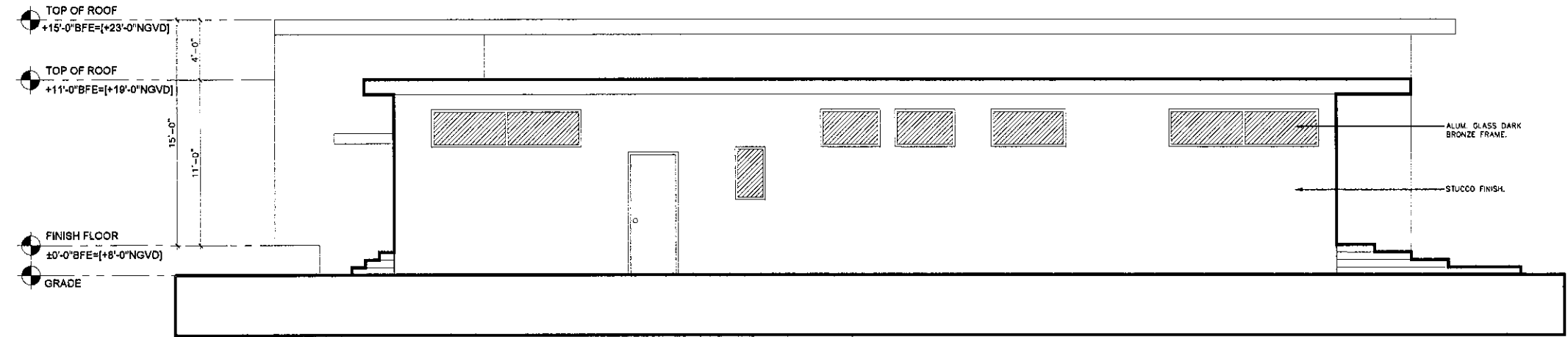
EAST ELEVATION
SCALE: 1/4"=1'-0"

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SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT No.
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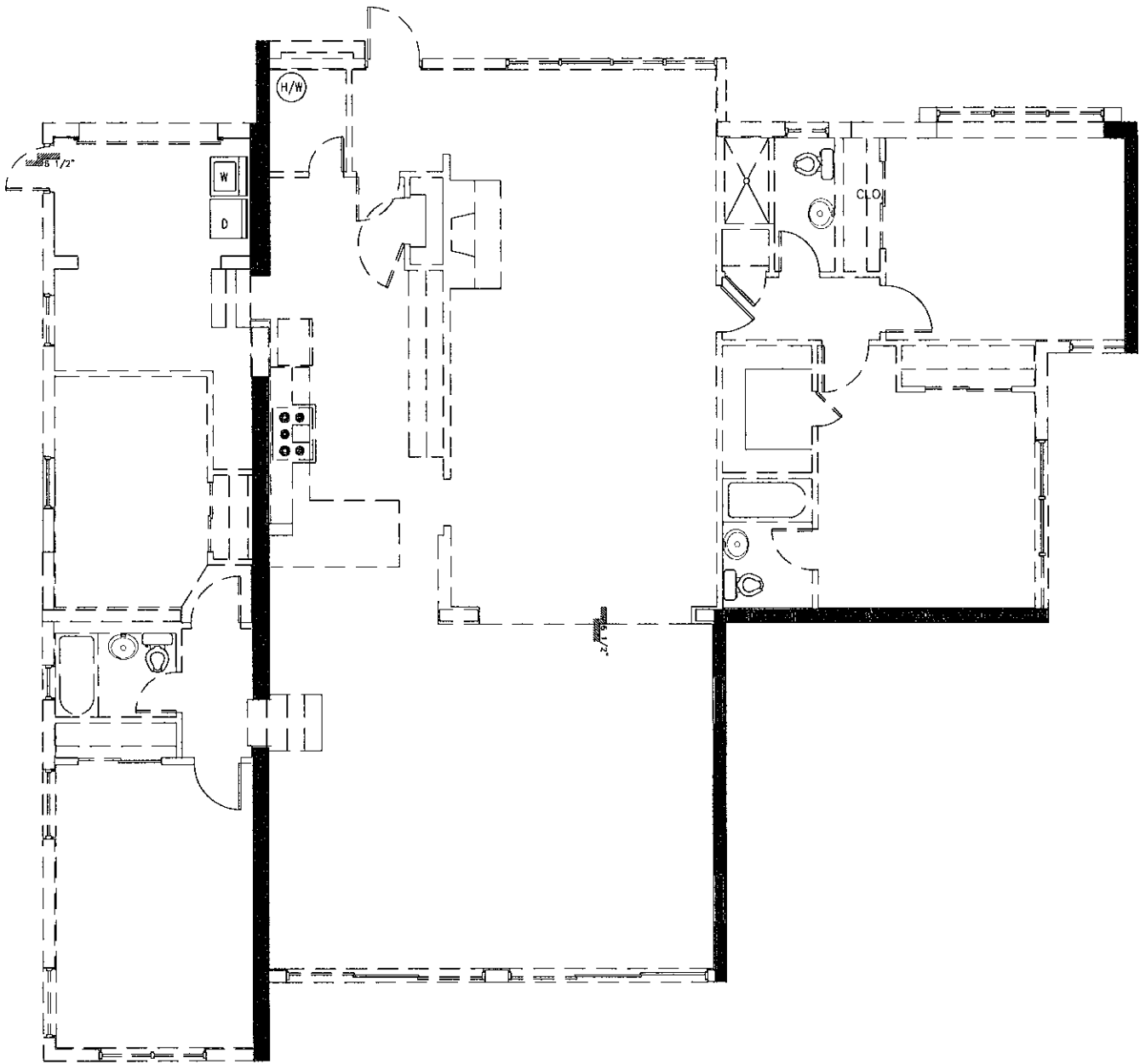
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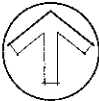
DATE: DECEMBER 15, 2014

A4.0



EXISTING/ DEMO. PLAN

SCALE: 1/4"=1'-0"



LEGEND:

- WALLS TO REMAIN.
- - -

 DEMOLISH WALLS TO FOUNDATION
STEM WALL.

DEMOLITION GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH THE NEW CONSTRUCTION TO DETERMINE DIMENSIONS AND SCOPE OF WORK AND TO ENSURE THAT NO ITEMS OR SERVICES TO REMAIN ARE DISTURBED OR DAMAGED.
2. WHERE REMOVALS ARE MADE CONTRACTOR SHALL PATCH ALL CONSTRUCTION TO PROVIDE SMOOTH AS NEW CONDITION.
3. CONTRACTOR SHALL PATCH AND/OR LEVEL ALL EXISTING SURFACES RECEIVING NEW FINISHES.
4. PROTECT ALL ITEMS TO REMAIN AND ALL EXISTING CONSTRUCTION NOT SCHEDULED TO BE DEMOLISHED – IMMEDIATELY REPAIR OR REPLACE DAMAGED ITEMS.
5. REROUTE ALL UTILITIES REMAINING IN USE INTERRUPTED BY DEMOLITION.
6. OWNER TO REMOVE ALL FURNITURE, EQUIPMENT, AND OTHER FURNISHINGS FROM CONSTRUCTION AREA PRIOR TO PROJECT START.
7. CONTRACTOR TO COORDINATE DEMOLITION WITH ENGINEERING DOCUMENTS.
8. SEAL ALL OPENINGS UNCOVERED DURING DEMOLITION OF FURRED WALLS, RELOCATION OF DUCT SHAFTS OR PIPE CHASES, OR REMOVAL OF PARTITIONS OR FIXTURES.
9. ALL DAMAGED EXISTING WORK MUST BE REPAIRED AND PREPARED TO RECEIVE NEW FINISHES. THE CONTRACTOR SHALL INCLUDE ON THE BASE PRICE ALL REPAIR OR REPLACEMENT WORK REQUIRED FOR NEW CONSTRUCTION.
10. RESTORE THE INTEGRITY OF EXISTING FIRE RATED PARTITIONS, FIREPROOFING AND STRUCTURE DAMAGED DURING DEMOLITION.

PROPOSED FOR:
1330 97 ST
Bay Harbor Islands,
Fl.

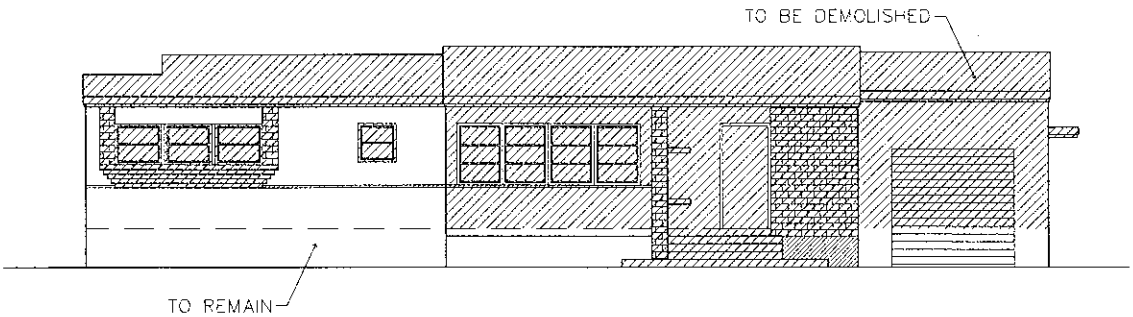
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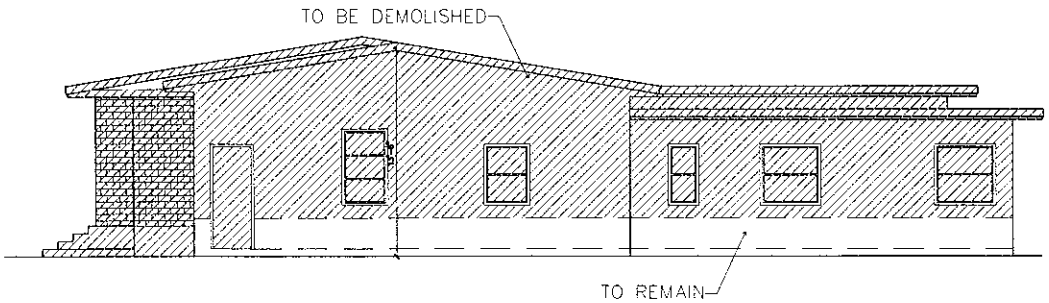
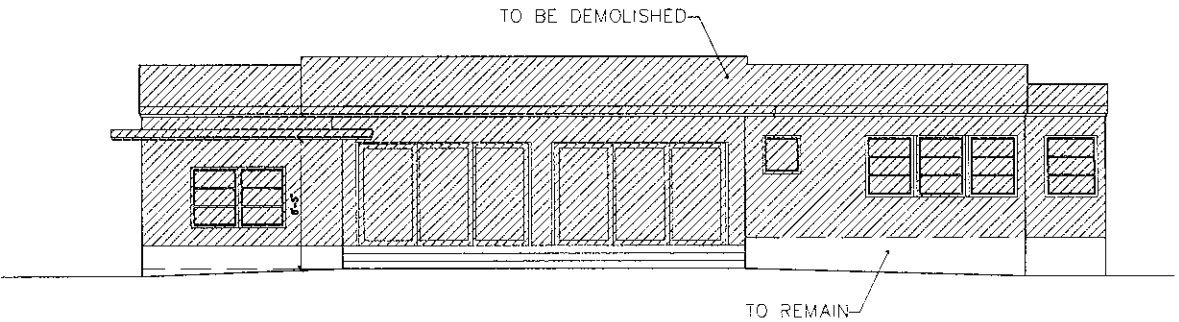
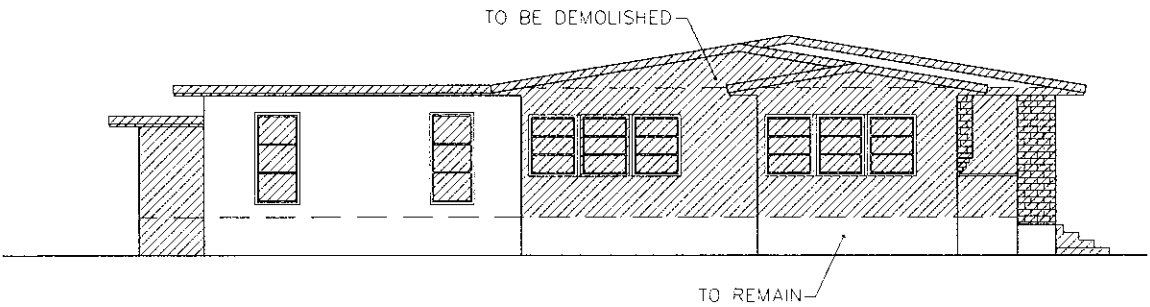
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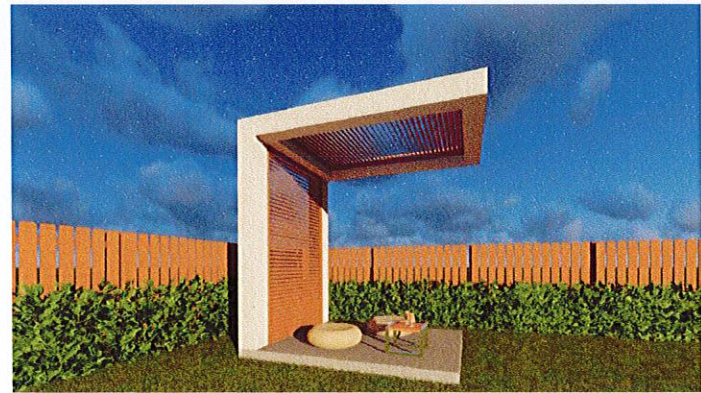
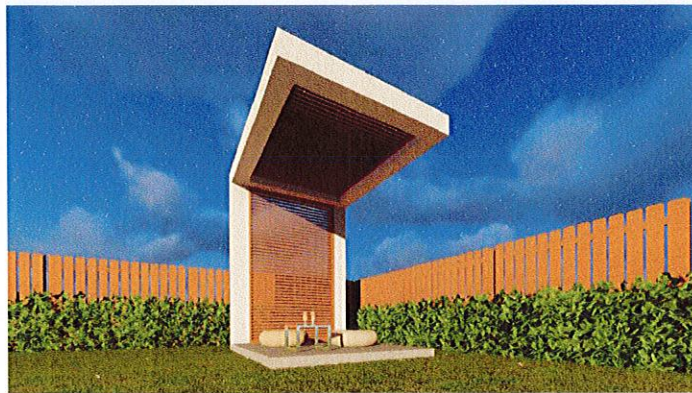
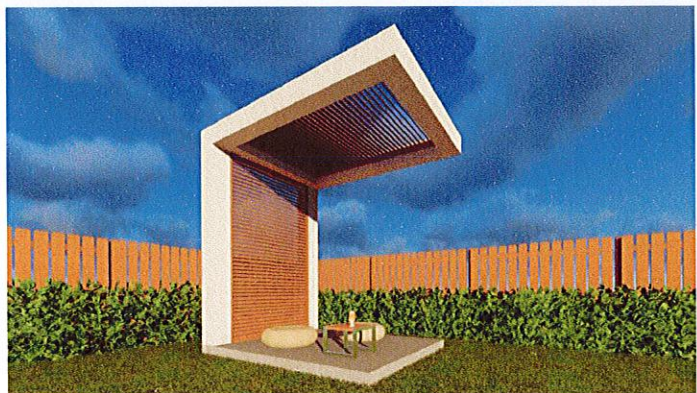
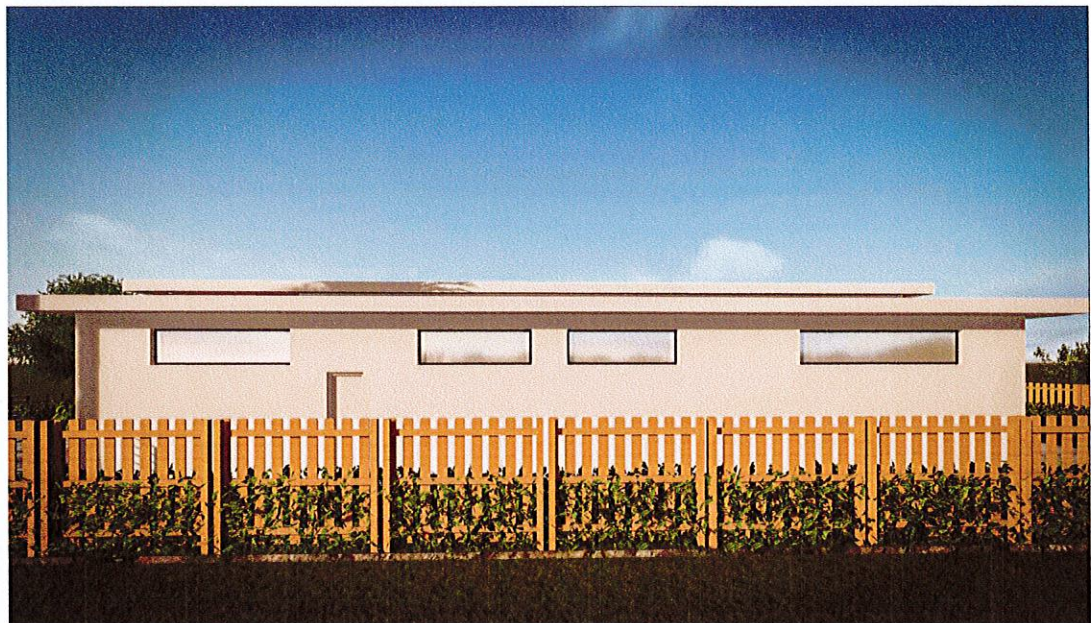
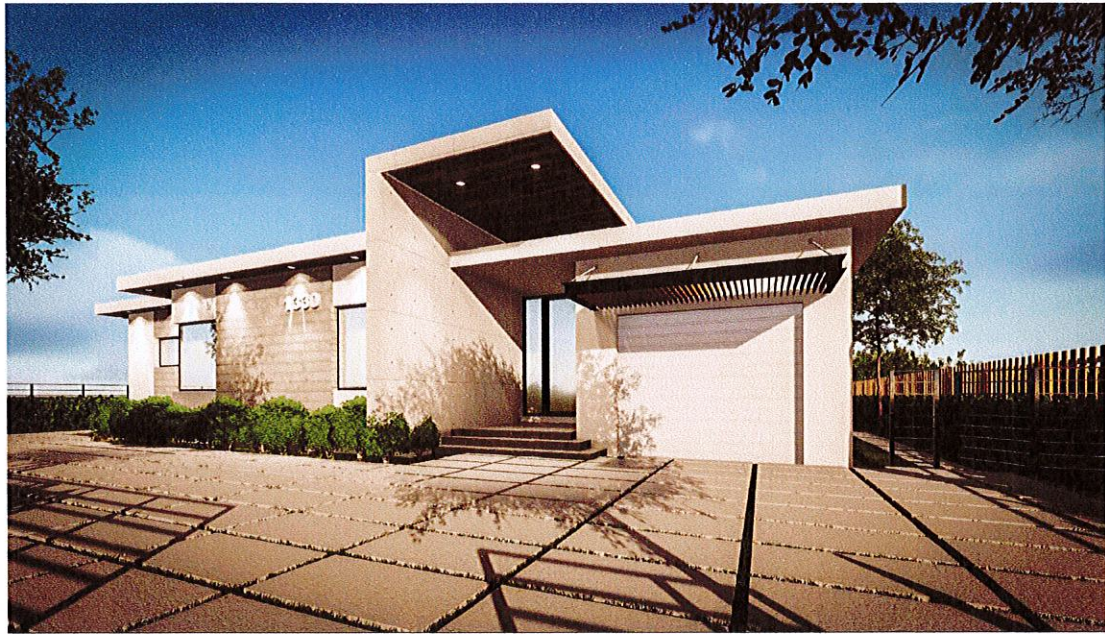


LEGEND:	
TO BE DEMOLISHED	
TO REMAIN	



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PROPOSED FOR:
1330 97 ST
Bay Harbor Islands,
Fl.

PROJECT No.

REVISIONS

SCALE: AS SHOWN

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IMAGES

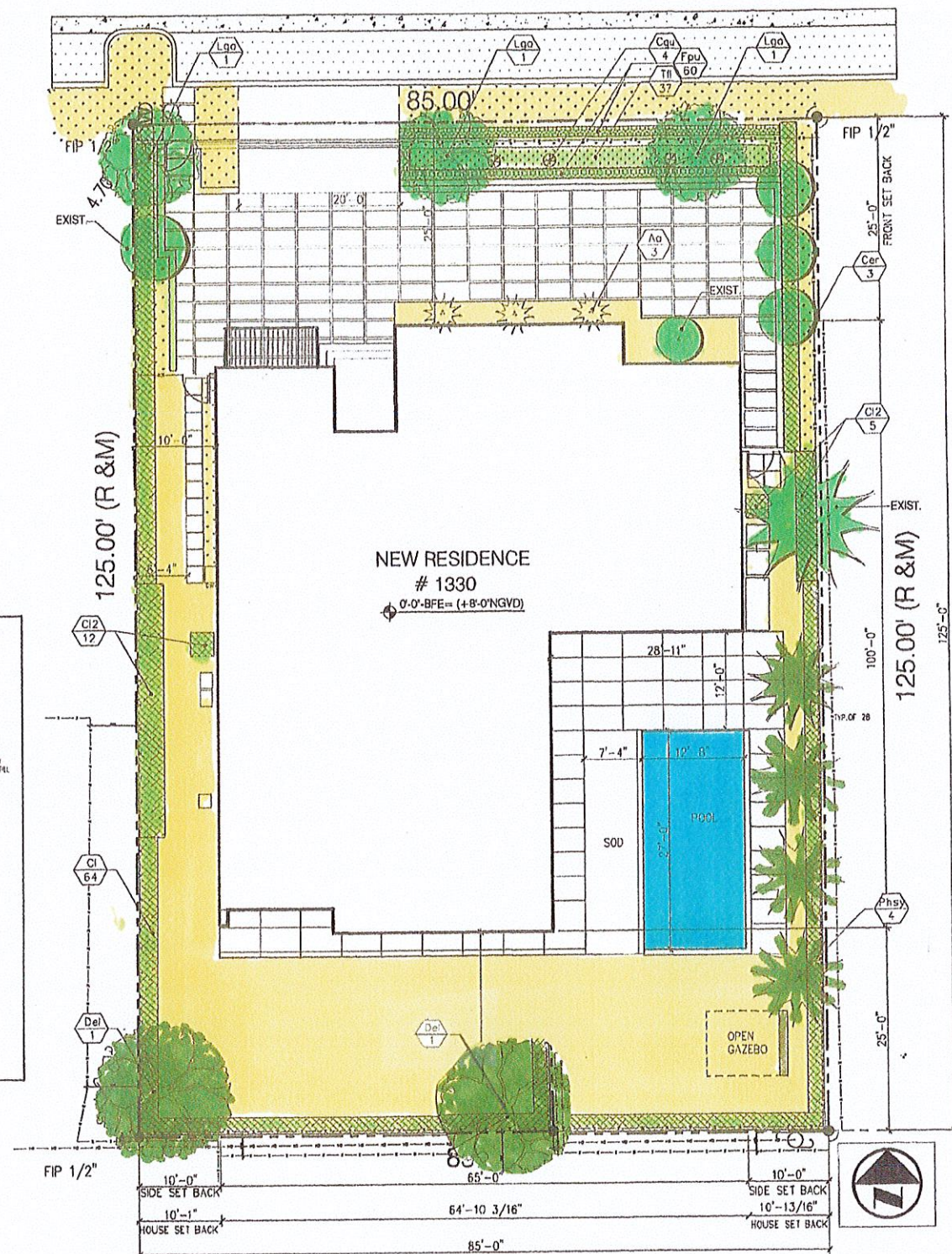
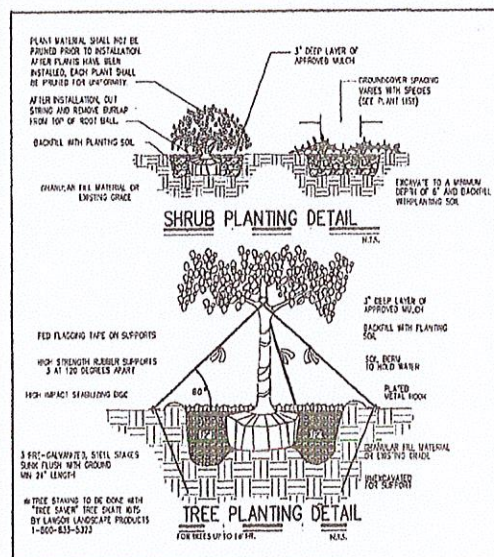
TREES/PALMS			
SYMBOL	QUAN.	PROPOSED MATERIAL	SPECIFICATIONS
Cer	3	* <i>Conocarpus erectus</i>	12'-14' O.A PLANTED HT.
		GREEN BUTTWOOD TREE	45 GAL.
IJa	3	STREET TREE	15' HT. X 10' SPR.
		TO BE DETERMINED BY CITY TREE MASTER PLAN	
Phsy	4	<i>Phoenix Sylvestris</i>	10'-14' OA
		SYLVESTER PALM	F.G.

SHRUBS AND GROUNDCOVERS			
SYMBOL	QUAN.	PROPOSED MATERIAL	SPECIFICATIONS
Cgu	4	Clusia guttifera SMALL LEAF CLUSIA	4' PLANTED HT. BUSH 7 GAL.
Fpu	90	Ficus pumila CREEPING FIG	GREEN LEAVES 1 GAL
Tfl	37	*Tripsacum floridana DWARF FAKAHATCHEE GRASS	24" HT. X 24" SPR. / 24" O.C. 3 GAL.
LAWN	As Required	Stenotaphrum secundatum 'Floralam' ST. AUGUSTINE GRASS	SOLID EVEN SOD

SYMBOL		QUAN.	PROPOSED MATERIAL	SPECIFICATIONS
Aa	3	Agave attenuate	24"x24"7	Drought tol. & Low Maint.
		Thornless Agave	7 GAL.	full, dense plant.
Cl	64	Cusla guttiflora	36"x36", 36" o.c	/ Drought tol. & Low Maint.
		Small leaved cusla	7 GAL.	full, dense plant.
Cl2	17	Cusla guttiflora	5'-6" o.e.h	
		Small leaved cusla	25 GAL/ full to base/tigh spacing/	Drought tol
Del	2	Delonix regia	12' o.a.h, x 8' spr./ 2.5' min.	caliper/ florida #
		Royal Poinciana		

SEE LANDSCAPE LIST

1. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY/ALL DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
2. CONTRACTOR IS RESPONSIBLE FOR FRESH GRASSES- POND GRASSES BY GENERAL CONTRACTOR.
3. ALL PLANT MATERIALS TO BE FLORIDA NOB OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRASSES & SHrubVegEtabLIShMEnt A RULING IN 1993.
4. POND GRASSES TO BE A MEDIUM FINE TEXTURE OF MAHAI & SAKO (PAC) WITH 50 LBS OF WORKMAN FERT PER 600.
5. THREE PALMS PER 600 SQUARES FOR THE (1) YEAR.
6. AFTER 3" BUD BREAK/GRASSES BEGIN TO GROW ALL PLANTS WITHIN 7 DAYS.
7. CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORNAMENT REQUIREMENTS.
8. WHEN THERE IS A DISCREPANCY THERE IS QUANTITATIVE MATTERS ITS OR INTERPRETATIONS PLEASE THE PLAN OR PLANT LIST/PLAN FIRM PAGES REFERENCES.
9. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE CONTRACTOR'S OWNERS OR ARCHITECTS.
10. ALL PLANTS MUST BE GROWN BY POTS OR STRUCTURES TO BE SECONDARY WITH FLORIDIAN SOIL.
11. SOIL TO BE 60% TO 80% COMPOST ORGANO A BOSTON LUSHY WITH 50% VERT.
12. ALL LANDSCAPE AREAS MUST BE PROPERLY AND ADJUNCTIVE FROM AREAS TO BE 100% COVERED WITH ALTERNATIVE ORNAMENT SYSTEM WITH APPROPRIATE DENSE OVERLAP WITH BUSH FREE PAPER AND A BUSH COVER ONLY.
13. TREES & PALMS TO BE STATED AS NECESSARY IN A COLOR PHOTOGRAPH, WATERMARK AND PLANTS BEING REQUIRED.



LANDSCAPE PLAN 
SCALE: 1/8"=1'-0"

LS-1

LANDSCAPE LIST

TREES/PALMS			
SYMBOL	QUAN.	PROPOSED MATERIAL	SPECIFICATIONS
Cer	3	*Coccoloba erectus	12'-14' O.A PLANTED HT.
		GREEN BUTTWOOD TREE	45 GAL.
Lja	3	STREET TREE	15' HT. X 10' SPR.
		TO BE DETERMINED BY CITY TREE MASTER PLAN	
Phsy	4	Phoenix Sylvestris	10'-14' OA
		SYLVESTER PALM	F.G.

SHRUBS AND GROUNDCOVERS			
SYMBOL	QUAN.	PROPOSED MATERIAL	SPECIFICATIONS
Cgu	4	Clusia guttifer	4' PLANTED HT. BUSH
		SMALL LEAF CLUSIA	7 GAL.
Fpu	90	Ficus pumila	GREEN LEAVES
		CREeping FIG	1 GAL.
Tfl	37	*Tripsacum floridana	24" HT. X 24" SPR. / 24" O.C.
		DWARF FAKAHATCHEE GRASS	3 GAL.
LAWN	As Required	Stenotaphrum secundatum 'Floratam'	SOLID EVEN SOD
		ST. AUGUSTINE GRASS	

* DENOTES NATIVE SPECIES

SYMBOL	QUAN.	PROPOSED MATERIAL	SPECIFICATIONS
Aa	3	Agave attenuate	24"x24" Drought tol. & Low Maint.
		Thornless Agave	7 GAL. full, dense plant.
Cl	64	Clusia guttifer	36"x36", 36" o.c. / Drought tol. & Low Maint.
		Small leaved clusia	7 GAL. full, dense plant.
Cl2	17	Clusia guttifer	5'-6" o.a.h
		Small leaved clusia	25 GAL full to base/tight spacing/ Drought tol.
Del	2	Delonix regia	12' o.a.h. x 8' spr./ 2.5" min. caliper/ florida #1-
		Royal Poinciana	

TREE CHART

#	NAME	Ø	H	S	DISPOSITION
1	BUCIDA BUCERAS/ BLACK OLIVE	36"	35'	30'	REMOVE
2-7	FICUS NITIDA/ CUBAN LAURAL	12"	15'	6'	REMOVE (POOR CONDITION)
8	PHOENIX ROEBLINII/ PYGMY DATE PALM	5"	8'	5' DOUBLE	REMAINS
9	ROYSTONIA REGIA/ ROYAL PALM	12"	8' GREY WOOD	12'	REMAINS
10	PTYCHOSPERMA ELEGANS/ SOLITAIRE PLAN	5"	18'	5' TRIPLE	REMAINS
11	CHRYSLIDOCARPUS LUTECANS/ ARECA PALM		14'	8'	REMAINS

LANDSCAPE LEGEND Information Required to be Permanently Affixed to Plan
Following Bay Harbor Landscape Code

Zoning District: RD (Single Family Residential) Net Lot Area 0.24 acres 10,625 s.f.

PERVIOUS AREA REQUIRED PROVIDED

TREES

A. Shade Trees Required

1. Single Family Non-waterfront Lot	5	6
4. Number of Shade Trees in Front Yard	2	2
5. Native Species Required - 50%	3	3
6. Drought Tolerant and Low Maintenance Species Required- 50 %	3	3

SHRUBS

B. Shrubs Required

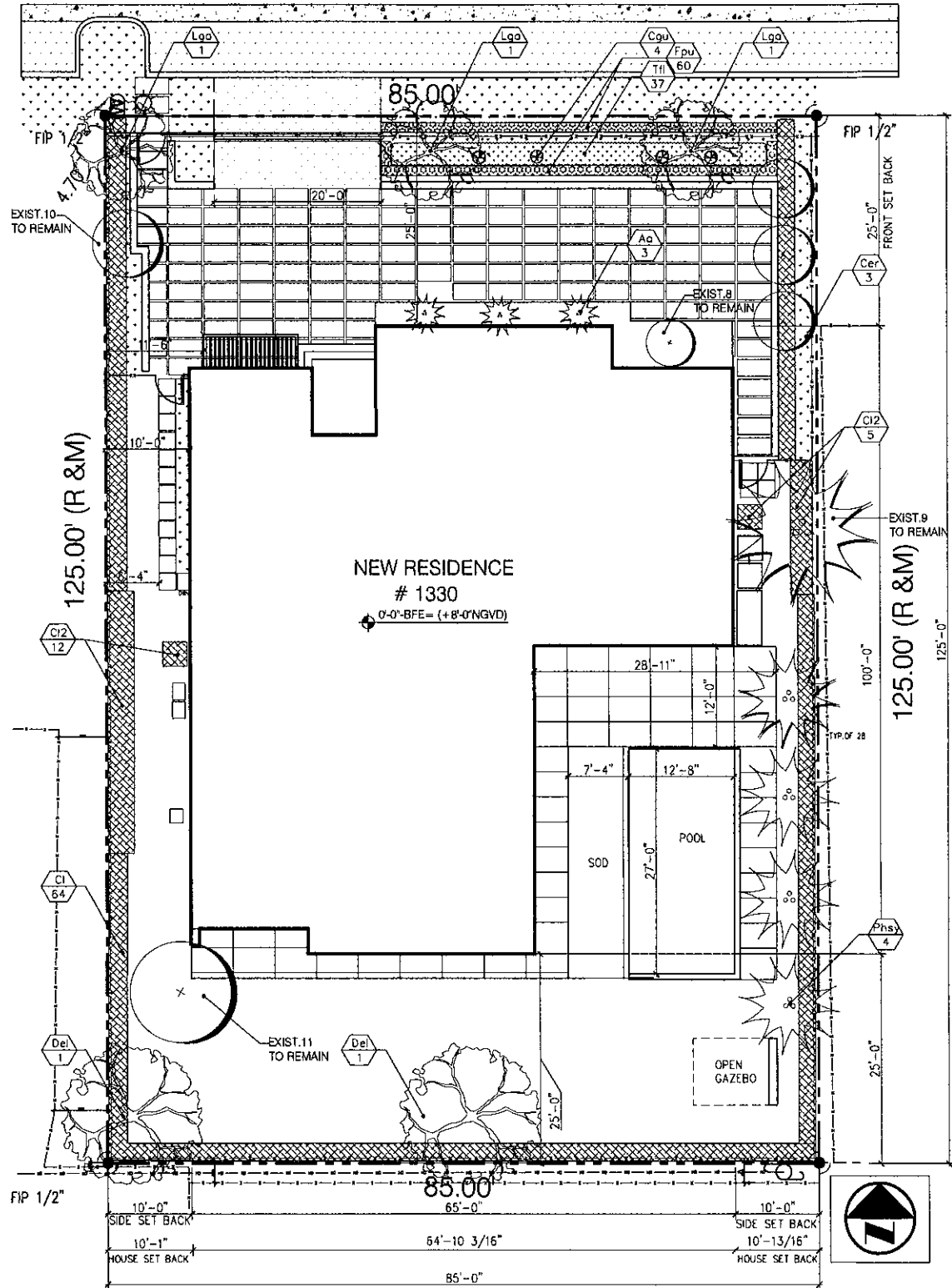
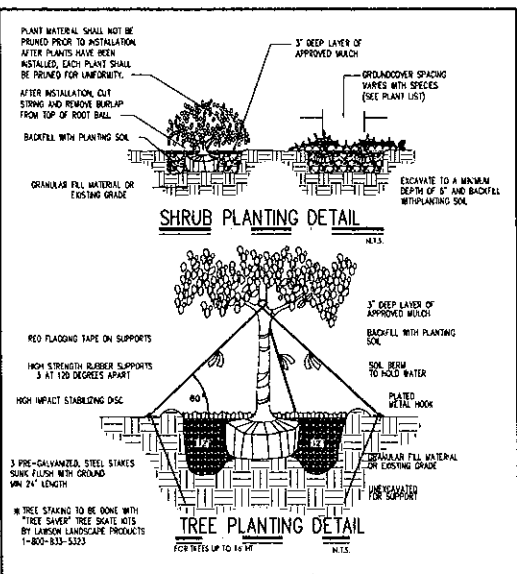
1. Single Family Non-waterfront Lot	50	271
4. Native Species Required - 30 %	15	80
6. Drought Tolerant and Low Maintenance Species Required- 50 %	25	80

C. Maximum Lawn Area Allowed 50% of Net Lot Area 5,000 max 4,223

SEE LANDSCAPE LIST

GENERAL LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
- CONTRACTOR IS RESPONSIBLE FOR FIRM GRASSES - MOUND GRASSES BY GENERAL CONTRACTOR.
- ALL PLANT MATERIALS TO BE FLORIDA GROWN OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRASSES & STANDARDS PARTS I & II, 1973 & 1975.
- PLANTING SOIL TO BE A MIXED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF NUTRIENT PER 5 CU. YDS.
- TREES, PALMS, SHRUBS - GUARANTEED FOR ONE (1) YEAR.
- APPLY 3" MULCH/CAULICULUS MULCH AROUND ALL PLANTS WITHIN 3 DAYS.
- CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
- WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PRECEDENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
- ALL AREAS NOT COVERED BY PAVING OR STRUCTURES TO BE SOODED WITH FLORATAM SOD SOD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM LAY WITH TIGHT JOINTS.
- ALL LANDSCAPED AREAS INSIDE PROPERTY AND ADJACENT ROW AREAS TO BE 100% COVERED WITH AUTOMATIC SPRINKLER SYSTEM WITH APPROXIMATELY 100% OVERLAP USING RUST FREE WATER AND A RAIN CHECK DEVICE.
- TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.



LANDSCAPE PLAN
SCALE: 1/8\"=1'-0"

eavarchitect

Eduardo A. Vazquez, R.A.

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Eduardo Vazquez, RA
14369

ENGINEERING CONSULTANT

THE WENSELL GROUP
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8087 ROBINSON ST.
JUPITER, FL 33458
LA 6867120
PHONE: 561-788-3811

PROPOSED FOR:
1330 97 ST
Bay Harbor Islands,
Fl.

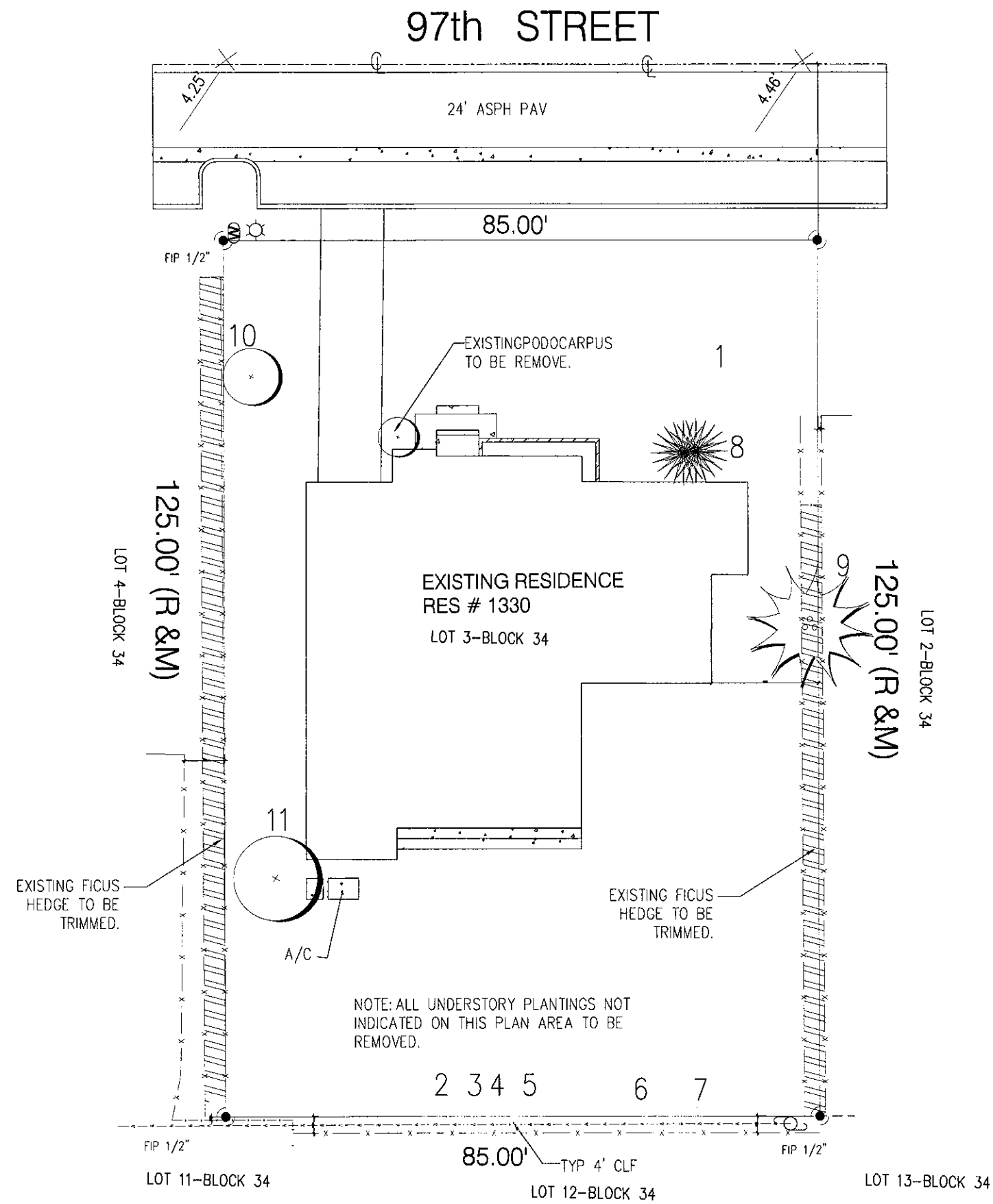
PROJECT No.

REVISIONS

SCALE: AS SHOWN

DATE: DECEMBER 15, 2014

LS-1



TREE DISPOSITION PLAN

SCALE: 1/8"=1'-0"

eavarchitect

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LA 6667120
PHONE: 561-768-3811

PROPOSED FOR:
1330 97 ST
Bay Harbor Islands,
FL.

PROJECT No.

REVISIONS

SCALE: AS SHOWN

DATE: DECEMBER 15, 2014

LS-2

**TOWN OF BAY HARBOR ISLANDS
COMMUNITY DEVELOPMENT
MEMORANDUM**

To: Town of Bay Harbor Islands
Planning and Zoning Board

From: Scott D. Marks *SOM*
Community Planner
MMPA-Consultant Town Planner

Date: August 12th, 2015

Subject: Addition and Renovation to an Existing Single-Family Residence
Mizrahi Residence
1330 97th Street
Bay Harbor Islands Acct. No.: BP2015-122
MMPA Acct. No.: 01-0702-1018

RECOMMENDED ACTION

MMPA recommends the Planning and Zoning Board review the contents of this staff report, the submitted site plan and architectural plans (dated 08/12/15) and if felt to be acceptable, **APPROVE** the plans as submitted or with modifications as deemed appropriate and/or with conditions, to allow for the addition and renovation of an existing single-family house at located at 1330 97th Street.

GENERAL PROJECT INFORMATION

Land Use Designation: L – Low Density Residential
Zoning District: RD Single-Family District
General Location: 1330 97th Street
Legal Description: Lot 3 of Block 34, "Bay Harbor Island" according to the plat thereof, as recorded in Plat Book 46, at Page 5 of the Public records of Miami-Dade County.

PROJECT DESCRIPTION

The project architect, eavarchitect, as agent for the property owner, Daniel Mizrahi, has submitted an application for the addition and renovation of an existing single-family residence on an interior lot located at 1330 97th Street. The proposed two-story home has approximately 3,710 square feet of A/C living space with a one-car garage. The residence will have four (4)

1330 97th Street – Mizrahi Residence
Addition and Renovation to an Existing Single-Family Residence
Planning and Zoning Board Staff Report
August 12th, 2015
Page 2

bedrooms and four (4) full bathrooms. The overall height of the structure will be 15'-0" above Base Flood Elevation (BFE), which is below the maximum allowed for a flat roof within the RD Single-Family District. The applicant is proposing one (1) driveway connection to 97th Street. Extensive landscaping is proposed that meets the Miami-Dade County Landscape Code and Town Supplemental Landscape Code requirements, including the use of native and drought tolerant plant materials.

The Historical Structure Survey for the Town of Bay Harbor Islands list the existing structure as a masonry vernacular design that was built in 1950 (FMSF No. DA10302). The renovated single-family home will be a contemporary architectural design with concrete and stone accents.

PROJECT HISTORY

The applicant submitted an initial set and several revised sets of plans that were reviewed by MMPA for consistency with the Town Code requirements. Comments were given to the applicant each time and the current submitted plans are reflective of all requested changes.

COMPREHENSIVE PLAN / ZONING

Comprehensive Plan – The property has a Future Land Use Map (FLUM) designation of "Low Density Residential". The maximum allowable base density is six (6) DUA. The proposed use and density of the property would be consistent with the applicable FLUM designation of the property.

Land Development Regulations / Zoning Code –The property has a Zoning Classification of RD Single Family Zoning District. The proposed use and density of the property is consistent with this zoning classification. The following Zoning and Planning sections of the Code apply to this proposal: Section 23-3 (Use Regulations RD Single-Family District), Section 23-9 (Minimum Size of Living Units), Section 23-10 (Minimum Size of Building Lot), Section 23-11(A) (Land Development Regulations RD Single-Family Area) and Section 23-12 (Land Development Regulations General Provisions). In addition, the Town has separate regulations for landscaping, driveways and building material regulations.

PLATTING

The site will not require re-platting, as the site is currently platted as described above under the legal description.

SUMMARY / SITE PLAN COMMENTS

The current site plan and architectural plans submitted for the construction of a new single-family house at 1330 97th Street meet or exceed all Town Land Development and Landscape Code requirements. The applicant previously submitted plans that were reviewed and commented on by MMPA and all previous comments and issues have been addressed by the current plans.

It should be noted that the proposed plans show a pool cabana structure in the rear of the property. Per Section 23-12(15)(e)(iii), certain open, airy and decorative structures such as pool cabanas may project into the rear and side yard setback areas (or into the front and side yard setback areas of waterfront lots) to a point no closer than five feet from the lot line or the seawall for waterfront

1330 97th Street – Mizrahi Residence
Addition and Renovation to an Existing Single-Family Residence
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lots, subject to written approval by the Planning and Zoning Board. The applicant is requesting Planning and Zoning Board approval for the cabana structure per Sec. 23-12(15)(e)(iii).

The following conditions of approval are recommended:

- 1) This approval is based on the plans prepared by eavearchitect, dated August 12th, 2015 with any modifications required by the PZ Board. All modifications to the above plans shall be reviewed by Town staff and may require re-approval by the PZB if felt to be substantial.
- 2) The PZB finds the pool cabana structure design / location is acceptable.

AGENDA ITEM REPORT

August 18, 2015

ITEM NUMBER: 2.

ITEM:

Approval of the minutes held on July 7, 2015. (Item #2A)

DESCRIPTION:

Approval of the minutes held on July 7, 2015. (Item #2A)

RECOMMENDED ACTION:

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Martinez
 Ayanidys Martinez

ATTACHMENTS

1.	P& Z Minutes 7.7.15	7-7-15 DRAFT.docx
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**MINUTES OF THE PLANNING AND ZONING BOARD MEETING
TOWN OF BAY HARBOR ISLANDS**

A Planning & Zoning Board Meeting was held Tuesday, July 7th, 2015 at 7:00 p.m. in the Council Chambers. The meeting was opened with the Pledge of Allegiance. Upon roll call, the following Board Members responded:

Chair Steven Hurwitz

Vice Chair Jerome Gavcovich

Board Member Jed Frankel

Board Member Roberto Gambach

Board Member Roberto Gambach

Board Member Oscar Sklar

Board Member Thomas Telesco

QUASI-JUDICIAL PUBLIC HEARING

At this time Assistant Town Attorney Simone swore in everyone speaking at the Public Hearing.

Item 1. Request for approval for a new multi-family dwelling for "Equity Miami, LLC" located at 9350 Bay Harbor Terrace, Lot 1 of Block 18. The developers are proposing to construct a (6) six unit townhouse development. The proposed units range from 2,263 to 2,291 sq. ft. of a/c plus balconies, garages, etc. The proposed design incorporates one rectangular shaped building positioned north/south on the site. The building has 3 stories in height (2 floors of residential over one floors of parking garage, family room and bathroom @ max. 28 feet above BFE.

Architect Ious Cavete, came forward to address the Board. He stated the applicant was proposing to construct six (6) unit townhouse developments, with units ranging 2,263 to 2,291 square feet, balconies, terrace, and bbq area. He explained the proposed materials included aluminum railings; impact resysta boards; metal painting; and wood stucco. He also added that the project has met all of the Code requirements and has exceeded the landscaping plan.

There was a brief discussion on the proposed project landscape plan; vehicular parking; dimensions of the vehicle parking in the front entrance; cable guard rail system in the front façade, garage door material; corner units; and the units backyard.

PUBLIC COMMENT

Paul Basile, 9240 W. Bay Harbor Drive, came forward to address the Board. He asked the Board how the Town enforced the landscape plan that was approved for a new development. He stated that there was a

new development that presented a great landscaping plan to the Board and install Astro Turf. Town Clerk Siegel stated that issue had been addressed by staff and the new development in question had not received a Certificate of Occupancy.

Richard Lavesir, 9300 W. Bay Harbor Drive, came forward to address the Board. He stated that he lived on the south side of the proposed project and asked about the concrete wall in place and the rear property line. Architect Cavete, stated that the backyard would be clear out completely.

CLOSED PUBLIC COMMENT

There was a brief discussion on the corner townhouse units, views, façade, and making more architectural enhancement to the corner units façade.

ACTION: Board Member Telesco made a motion to approve the proposed project subject to further architectural enhancements to the corner units. Board Member Gambach seconded the motion and it passed 6-1, with Vice Chair Gavcovich opposed.

Item 2. Request for approval for a new hotel “Grand Beach Hotel” located at 9601 E. Bay Harbor Drive, Lots 35-37 of Block 4. The developers are proposing to construct a ninety-nine (99) room hotel. The proposed units range from 353 to 1,402 sq. ft. of a/c plus balconies, etc. The previous Bay Harbor Inn complex was demolished after plans to renovate the former hotel were abandoned due to flood-proofing and structural issues. The proposed design incorporates one rectangular shaped building positioned north / south on the site. Two one way driveway connection to E. Bay Harbor Drive are proposed. The proposed new building is 7 stories in height (6 floors of hotel rooms over one floor of common area. @ 74'10" above BFE (permitted 75'). The developer will be required to obtain 22 Transfer of Development Rights (TDR).

Joel Simmons representing the owners Bay Harbor Hotel, LLC, came forward to address the Board. He explained that the proposed project was an upscale hotel compatible with the Gateway District. He stated that the applicant was proposing to construct a ninety nine (99) room hotel, with rooms ranging from 353 to 1,402 square feet. He added that the building was seven (7) stories in height, 6 floors of Hotel rooms over one common area.

Architect John Carinno, came forward to address the Board. He explained the proposed project was a Gateway property and satisfied with the Gateway requirements. He stated the project feature horizontal banding; wood banding; solid landscaping; valet parking; open floor plans; large cover seating area

adjacent to the spa and every unit would have its own private balcony. He also added the building was 10 feet taller than the neighboring Seascape Condominium.

Designer, Frederic Marq, came forward to address the Board. He handed the Board a letter by Architect Marcus Frankel supporting the proposed project. He explained the design elements included coral stone, driftwood, polished stainless steel elevators and light colors. He stated that the proposed project was an elegant and high quality project that would be in Town for generations. He added that the landscape plan exceeded the Code requirements.

Board Member Frankel asked how the marina would be operated. Mr. Simmons responded that the Marina services would only be for Hotel guests. Town Clerk Siegel stated that the docks were not part of the site plan approval.

There was a detailed discussion from the Board regarding the employees parking; below grade parking; additional architectural enhancements needed on the east and west facade; landscaping plan; entrance driveway; vertical elements; exhaust fans; project materials; garage door; base elevation; public access to promenade; and metal railings.

Designer, Marq explained that the proposed promenade entrance would be through the bridge with benches available for the public to enjoy.

PUBLIC COMMENT

Victor Maya, 1155 103 Street, came forward to address the Board. He was impressed with the applicant and developers approach how they took the time to meet with the neighbors. He asked if the applicant took into consideration the new development on East Bay Harbor Drive and if there was a commercial component for the marina, bar and restaurant. Town Clerk Siegel responded that the Marina was not part of the site plan approval.

Frances Neuhut, 1060 Kane Concourse, came forward to address the Board. She stated that the Gateway should have all parking on site.

Daniel Holder, 24 Bay Road, came forward to address the Board. He was opposed to the proposed development and was concerned with the noise that could be created by the hotel pool, marina and traffic study.

Christine Justice, 9655 E. Bay Harbor Drive, came forward to address the Board. She stated that the neighbors were surprised and concerned with the proposed 99 room Hotel. She was concerned with the

noise and traffic around the proposed development, but added that the neighbors have met with the developers and agreed on making a smooth transition.

Gabriel Boano, 9434 W. Broadview Drive, came forward to address the Board. He supported the proposed development and felt it would be a great addition to Kane Concourse.

CLOSED PUBLIC COMMENT

Traffic Engineer, Juan Espinosa, came forward he explained the traffic study was performed and the growth, vehicle stacking, trends were analyzed. He determined that the study met the levels of service on all regular roads.

There was a detailed discussion from the Board regarding the traffic study; restaurant / bar ; noise level; exhaust fans; railings; waterfront balconies; 96th street façade; overhead door for the garage; driveway; needs further articulation on the east façade; landscaping buffer; louvers; planters; public access and benches for the promenade.

ACTION: Consensus was for the applicant to come back at a later date and addressed the Board recommendations.

CONCLUSION OF QUASI-JUDICIAL PUBLIC HEARING

Item 3. Approval of the minutes held on March 3, 2015, March 17, 2015, April 7, 2015 and May 5, 2015.

ACTION: Board Member Frankel made a motion to approve the reference Minutes. Board Member Telesco seconded the motion and it passed unanimously.

There being no further business meeting was adjourned at 10:03 p.m.

CHAIR

ATTEST

TOWN CLERK