

When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don't turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

**TOWN OF BAY HARBOR ISLANDS
PLANNING AND ZONING BOARD**

June 16, 2015

FINAL AGENDA

CALL TO ORDER: Set for 7:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

1. Request for approval for a revision of a previously approved project for "Matty and Dekla Oren" located at 1261 99 Street, Lot 10 of Block 27. The owners have made some minor revisions to the front façade, building footprint and elevations. Enclosed please find the site plan and elevations. (Item #1A)

** Staff Review:* Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks, Community Planner.

ADJOURNMENT

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AGENDA ITEM REPORT

June 16, 2015

ITEM NUMBER: 1.

ITEM:

Request for approval for a revision of a previously approved project for "Matty and Dekla Oren" located at 1261 99 Street, Lot 10 of Block 27. The owners have made some minor revisions to the front façade, building footprint and elevations. Enclosed please find the site plan and elevations. (Item #1A)

DESCRIPTION:

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RECOMMENDED ACTION:

Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks, Community Planner.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Marante
 Ayanidys Marante

ATTACHMENTS

1.	Staff Report	Oren SFR PZB Reapproval StaffReport Jun 08 2015.pdf
2.	Revisions	OrenRevisionsPNZ6.16.15.pdf
3.	Approved and Revised Front Elevation	OrenApproved.Propsd.View.pdf

**TOWN OF BAY HARBOR ISLANDS
COMMUNITY DEVELOPMENT
MEMORANDUM**

To: Planning and Zoning Board
Town of Bay Harbor Islands

From: Scott D. Marks *SDM*
Community Planner
MMPA - Consultant Town Planner

Date: June 8th, 2015

Subject: Oren Residence - SFR
Proposed Revisions from Original PZ Board Approval
1261 99th Street
Bay Harbor Islands Acct. No.: BP2015-158
MMPA Acct. No.: 01-0702-0988

RECOMMENDED ACTION

MMPA recommends the Planning and Zoning Board review the contents of this staff report, the most recent revised plans (dated 06/03/15) and if felt to be acceptable, **APPROVE** the revised plans as submitted or with modifications as deemed appropriate and/or with conditions, to allow for revisions to the original PZB approval for the construction of a new single-family house at 1261 99th Street.

GENERAL PROJECT INFORMATION

Land Use Designation:	L – Low Density Residential
Zoning District:	RD Single-Family District
General Location:	1261 99 th Street
Legal Description:	Lot 10, Block 27, "Bay Harbor Island" according to the plat thereof, as recorded in Plat Book 46, Page 5 of the Public records of Miami-Dade County.

PROJECT DESCRIPTION

The project architect, Daniel Sorogon, as agent for the property owner, Matty Oren, has submitted a **REVISED** application for the construction of a new single-family residence on an interior lot located at 1261 99th Street. The proposed 2-story home has approximately 6,194 square feet of A/C living space with a two-car garage and a covered open terrace. The residence will have

seven (7) bedrooms (one shown as an office), eight (8) full bathrooms and one (1) half bathroom. The overall height of the structure will be 25 feet above Base Flood Elevation which is the maximum height allowed for a flat-roofed interior residence within the RD Single-Family District. The application proposes two (2) gated driveway connections to 99th street connected internally by a walkway leading to the entrance, and a pool with pool deck in the rear of the property. Extensive landscaping is proposed that meets and exceeds the Town Landscape Code and Miami-Dade County Landscape Code requirements including the use of native and drought tolerant plant materials.

The Historical Structure Survey for the Town of Bay Harbor Islands indicates that the existing structure was built in 1955 and is a "Ranch" design. The existing structure is to be demolished. The new single-family residence is a modern architectural design.

PROJECT HISTORY

The applicant previously submitted an initial set and several revised sets of plans that were reviewed by MMPA for consistency with the Town Code requirements. On May 6th, 2014, the Planning and Zoning Board approved the Site Development Plan. On May 4th, 2015 MMPA received / reviewed the Building Permit plans and found that some of the plans have been modified slightly after approval by the PZB (elevations / balconies). MMPA notified the applicant the PZB approval would be required for the proposed changes and the latest plans are reflective of all proposed changes.

COMPREHENSIVE PLAN / ZONING

Comprehensive Plan – The property has a Future Land Use Map (FLUM) designation of "Low Density Residential". The maximum allowable base density is six (6) DUA. The proposed use and density of the property would be consistent with the applicable FLUM designation of the property.

Land Development Regulations / Zoning Code –The property has a Zoning Classification of RD Single Family Zoning District. The proposed use and density of the property is consistent with this zoning classification. The following Zoning and Planning sections of the Code apply to this proposal: Section 23-3 (Use Regulations RD Single-Family District), Section 23-9 (Minimum Size of Living Units), Section 23-10 (Minimum Size of Building Lot), Section 23-11(A) (Land Development Regulations RD Single-Family Area) and Section 23-12 (Land Development Regulations General Provisions). In addition, the Town has separate regulations for landscaping, driveways and building material regulations.

PLATTING

The site will not require re-platting, as the site is currently platted as described above under the legal description.

DESCRIPTION OF MAY 2015 REVISIONS

On May 4th, 2015 MMPA received / reviewed the Building Permit plans and found that some of the plans have been modified slightly after approval by the PZB (elevations / balconies). MMPA notified the applicant that PZB approval would be required for the proposed changes. MMPA

compared the May 2014 PZB approved plans with the May 2015 plans and noted all modifications. Below is a listing of those items found to differ between 2014 and 2015.

Front Façade / Balconies – The applicant desires to add a balcony on the second floor in the front of the house to allow for a second means of escape for a sleeping room (Amy's bedroom). The addition of this balcony changed the front façade of the house. Additionally, another balcony in the front of the house (Daniel's bedroom) is now accessible (previously approved as non-accessible as it projected into the setback). The proposed accessible balconies do not project into the front yard setback; therefore, meeting the Town Code requirements.

Building Footprint – The applicant shifted the house towards the rear property line 3+/- feet to allow for the addition of the front balcony. Accessible balconies are not permitted to encroach into the front yard setback. As revised all of the setbacks and encroachments meet the Town Code's minimum criteria.

Elevations – The elevations were changed slightly; a column was removed on the rear elevation at ground level, wall finish / window design on the left elevation on the second floor, and scuppers were also added at roof level on both side elevations.

SITE PLAN COMMENTS

The current **REVISED** plans submitted for a new house at 1261 99th Street meet or exceed all Town Land Development and Landscape Code requirements.

ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE PROPERTY OF ARCHITECT AND ARCHITECTURAL SERVICES INC. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL SERVICES INC. IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL SERVICES INC. SO DOING WILL BE IN VIOLATION OF THE ARCHITECT'S PROFESSIONAL ETHICS.

PROPOSED RESIDENCE FOR MR. & MRS. OREN

1261 99th St Bay Harbor Islands, FL 33154

GENERAL NOTES

- WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
A. THESE GENERAL NOTES (UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS).
B. THE FLORIDA BUILDING CODE, LATEST EDITION.
C. ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.
D. NATIONAL ELECTRICAL CODE, NFPA 70E NATIONAL BOARD OF FIRE UNDERWRITERS.
- ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE SUB CONTRACTOR NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- THE GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN.
- ALL CONDITIONS AND ALL APPLICABLE REQUIREMENTS OF THE CONTRACT BETWEEN THE CONTRACTOR AND OWNER SHALL GOVERN ALL SECTIONS OF THE SPECIFICATIONS.
- ALL WORK THAT IS EITHER IMPLIED OR REASONABLY INFERRABLE FROM THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DRAWINGS AND SPECIFICATIONS ARE DIRECTED TO THE ATTENTION OF THE CONTRACTOR AND THE INCLUSION OF ANY WORK BY MENTION, NOTE OR DETAIL, IMPLICATION OR IMPLICATIONS HOWEVER BRIEF, MEANS THE CONTRACTOR SHALL PROVIDE AND INSTALL SAME. ALL WORK PERFORMED TO BE PART OF A COMPLETE PACKAGE WITHIN THE DEFINITIONS OF NORMAL INDUSTRY STANDARDS.
- ALL PERMITS, INSPECTIONS, APPROVALS, ETC. SHALL BE APPLIED FOR AND PAID BY THE CONTRACTOR IN ALL FIELDS OF HIS WORK, AND HE SHALL BE RESPONSIBLE FOR THE COORDINATION OF INSPECTION AND APPROVAL OF HIS WORK. PRIME BUILDING PERMITS SHALL BE OBTAINED BY THE CONTRACTOR.
- ALL WORK COMPLETED OR OTHERWISE, SHALL BE PROPERLY PROTECTED AT ALL TIMES. CONTRACTOR SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AND PROVIDE ALL FENCES, BARRICADES, ETC. AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY AND AS MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THIS WORK. HE SHALL REPAIR AT HIS OWN COST ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATION.
- DISCREPANCIES: THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PROJECT THOROUGHLY INSPECTED THE SITE, THE DRAWINGS AND SPECIFICATIONS, SO AS TO THOROUGHLY UNDERSTAND THE WORK, ANY AND ALL DISCREPANCIES AND OMISSIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT DISCREPANCIES OR OMISSIONS ARE REPORTED AND CLARIFICATION OBTAINED FROM THE ARCHITECT PRIOR TO WORK BEING DONE. ANY WORK THAT PROCEEDS OTHERWISE SHALL BE, IF INCORRECTLY PERFORMED, REPLACED OR REPAIRED WITH THE COST OF THE SAME BEING BORNE BY THE CONTRACTOR. HE SHALL VERIFY ALL DIMENSIONS FOR COORDINATION.
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- THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF BUILDINGS OF THE AMERICAN INSTITUTE OF ARCHITECTS, DOCUMENT A-228, LATEST EDITION, ARE HEREBY MADE PART OF CONTRACT DOCUMENTS. THESE GENERAL NOTES, SPECIFICATIONS AND CONTRACT BETWEEN THE OWNER AND CONTRACTOR SHALL TAKE PRECEDENCE OVER THE 'GENERAL CONDITIONS' IN THE EVENT OF A CONFLICT.
- AIR CONDITIONING + VENTILATION PERMIT BY MECHANICAL CONTRACTOR.
- LANDSCAPING NOTES
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- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR THE APPROVAL OF TRUSSES AND PRE CAST JOISTS SHOP DRAWINGS.

ZONING DATA

ZONING: RD-SINGLE FAMILY DISTRICT
LOT AREA: 10,000 SF
LOT FRONTAGE: 80'-0"

SETBACKS:	REQUIRED	PROVIDED
FRONT (SOUTH)	25'	25'-0"
REAR (NORTH)	15'	20'-0"
SIDE (EAST)	10'	10'-0"
SIDE (WEST)	10'	10'-0"
BUILDING HEIGHT	25' MAX. ABOVE BFE	25'-0"

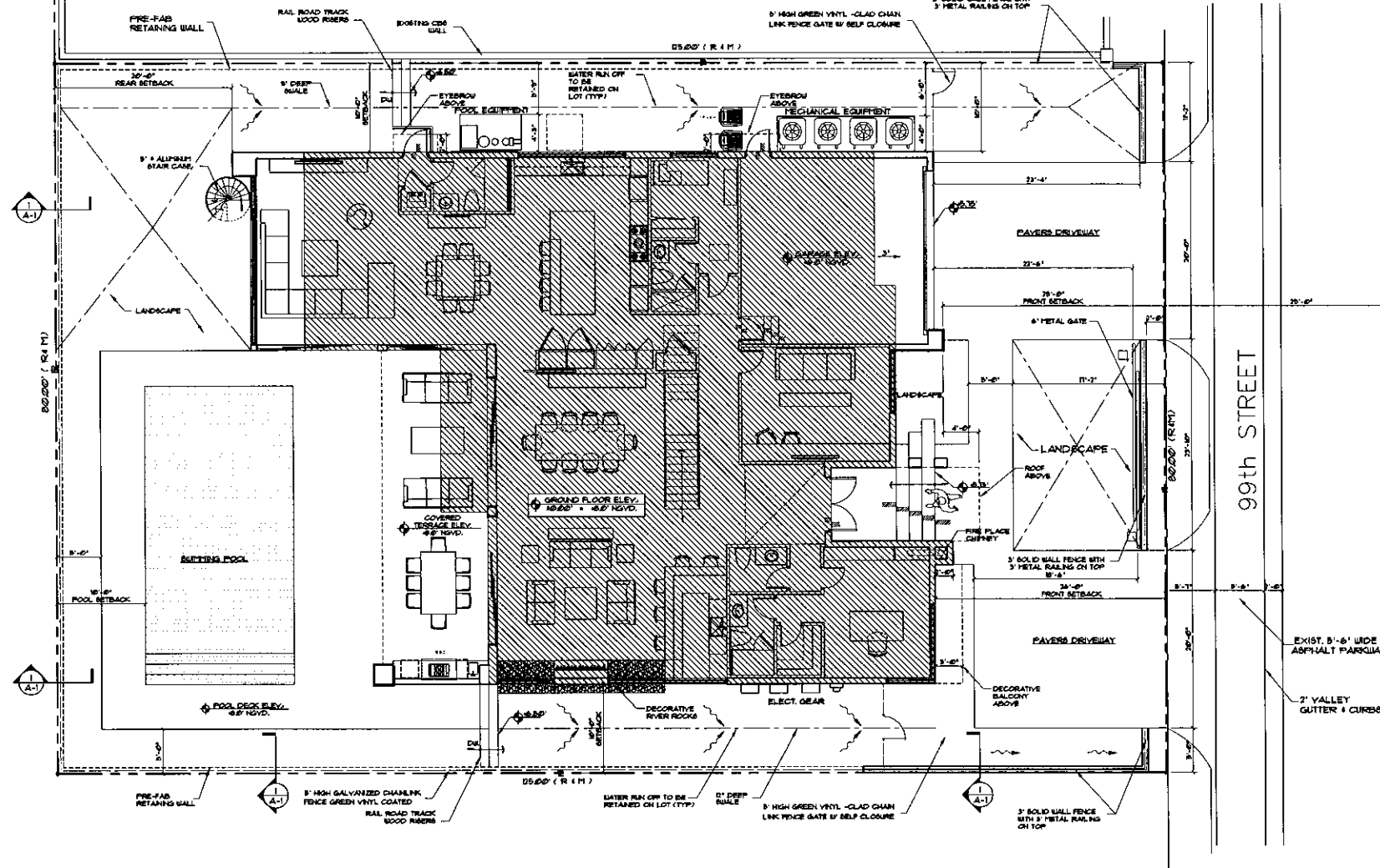
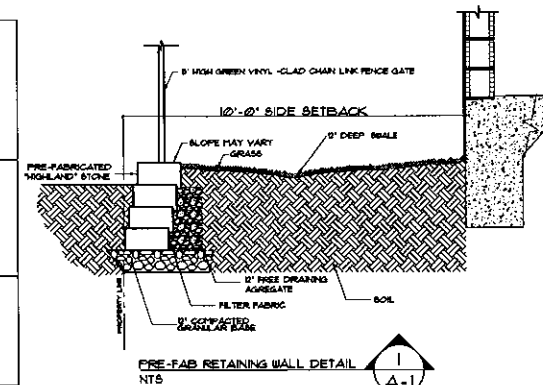
AREA CALCULATIONS:
LOT AREA: 10,000 SF
MINIMUM FLOOR AREA: 1,500 SF
IMPERVIOUS

34.5% = 3,450 SF
65.5% = 6,550 SF

BUILDING AREAS UNDER A/C:
GROUND FLOOR A/C AREA: 2,985 SF
SECOND FLOOR A/C AREA: 3,203 SF
TOTAL A/C AREA: 6,184 SF

GENERAL AREAS:
GARAGE: 411 SF
COVERED ENTRANCE: 60 SF
GROUND FL. TERRACES: 425 SF
SECOND FL. TERRACE + BALCONY: 740 SF

POOL DECK: 923 SF
DRIVEWAY: 1125 SF
SWIMMING POOL: 561 SF



LEGAL DESCRIPTION:
LOT 10, BLOCK 27 OF 'BAY HARBOR ISLAND'
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN
PLAT BOOK 46 AT PAGE 5 OF THE PUBLIC
RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

EXISTING HOUSE TO
BE DEMOLISHED UNDER
SEPARATE PERMIT.

HATCHED AREA INDICATES
SECOND FLOOR ABOVE

SITE PLAN

SCALE: 1/8"=1'-0"

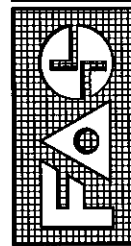
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APPROVED BY PLANNING & ZONING BOARD MAY 6, 2014

REVISIONS	BY:
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PROPOSED RESIDENCE FOR:
MR. & MRS. OREN
PROPERTY ADDRESS: 1261 99TH ST BAY HARBOR ISLAND, FL 33154

florida architectural services inc.
daniel sorogon AR 0010418 architect/planner
34 N.W. 168 TH. STREET, NORTH MIAMI BEACH FL 33169 (305) 653-0212



DRAWN
OR
CHECKED
DATE
APRIL 25, 2014
SCALE
1/8"
JOB NO.
1261 99TH ST - OREN
SHEET NO.
1
OF 1 SHEETS
COLOR ORIGINAL

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ZONING DATA

ZONING: RD-SINGLE FAMILY DISTRICT
LOT AREA: 10,000 SF.
LOT FRONTAGE: 80'-0"

SETBACKS:	REQUIRED	PROVIDED
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BUILDING HEIGHT	25' MAX. ABOVE BFE.	25'-0"

AREA CALCULATIONS:
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MINIMUM FLOOR AREA: 1500 SF
PERVIOUS
IMPERVIOUS

34.5% = 3,450 SF.
65.5% = 6,550 SF.

BUILDING AREAS UNDER A/C:
GROUND FLOOR A/C AREA
SECOND FLOOR A/C AREA

2,985 SF
3,205 SF

TOTAL A/C AREA

6,194 SF

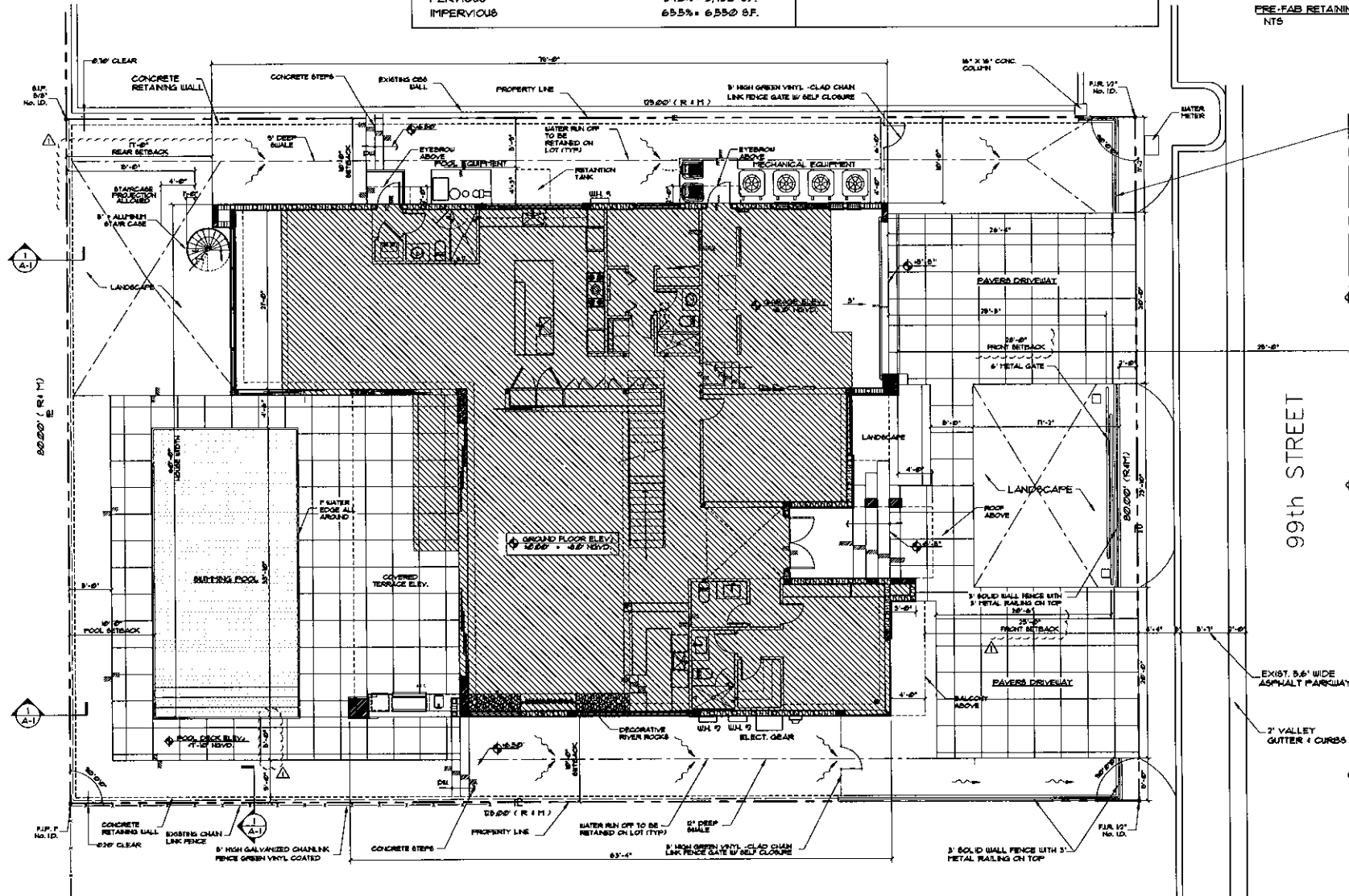
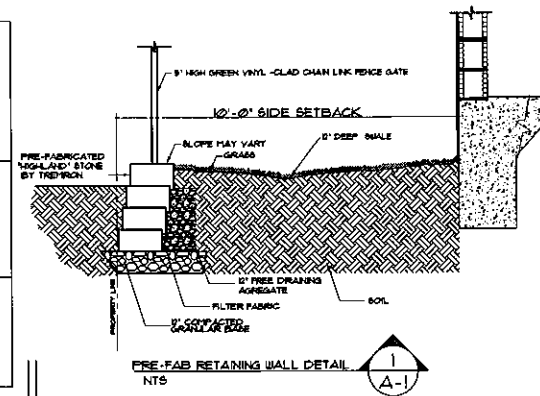
GENERAL AREAS

GARAGE
COVERED ENTRANCE
GROUND FL TERRACES
SECOND FL TERRACE & BALCONY

471 SF
60 SF
425 SF
740 SF

POOL DECK
DRIVEWAY
SWIMMING POOL

923 SF
125 SF
561 SF



NEW PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

LEGAL DESCRIPTION:

LOT 10, BLOCK 21 OF 'BAY HARBOR ISLAND'
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN
PLAT BOOK 46 AT PAGE 5 OF THE PUBLIC
RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

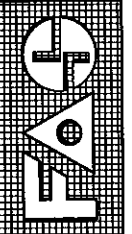
HATCHED AREA INDICATES
SECOND FLOOR ABOVE

EXISTING HOUSE TO
BE DEMOLISHED UNDER
SEPARATE PERMIT.

REVISIONS	BY
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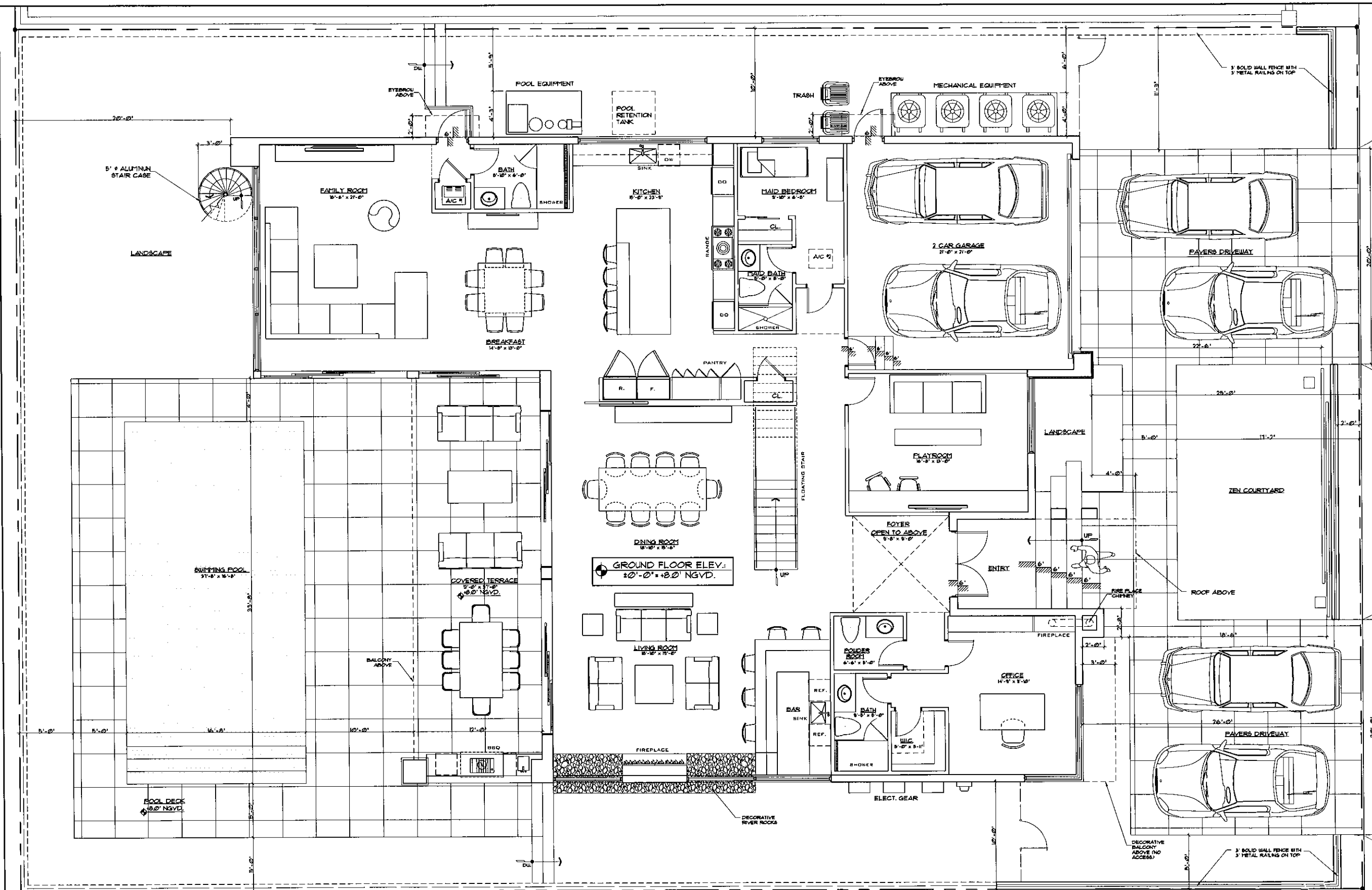
PROPOSED RESIDENCE FOR:
MR. & MRS. OREN
PROPERTY ADDRESS: 1261 99th St Bay Harbor Islands, FL 33154

florida architectural services inc.
daniel sorogon AR 0010418 architect/planner
34 N.W. 168 TH. STREET, NORTH MIAMI BEACH FL 33169 (305) 653-0212



DRAWN CB	CHECKED DS
DATE APRIL 25, 2014	SCALE 1/8"
JOB NO. 061 99TH ST - OREN	SHEET NO. A-1
	OF 1 SHEETS
	COLOR ORIGINAL

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IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THIS ARCHITECT, THE PERSON
SO DOING WILL BE HELD TO THE ARCHITECT FOR ALL CONSEQUENCES.



GROUND FLOOR PLAN

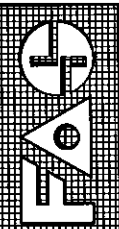
SCALE 1/4" = 1' - 0"

APPROVED BY PLANNING & ZONING BOARD MAY 6, 2014

REVISIONS	BY
1	
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PROPOSED RESIDENCE FOR:
MR. & MRS. OREN
PROPERTY ADDRESS 261 55TH ST EAST HARBOR BLANDS, FL 3354

florida architectural services inc.
daniel sorogon AR 0010418 architect/planner
34 N.W. 158 TH. STREET, NORTH MIAMI BEACH FL 33169 (305) 653-0212



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CB
CHECKED
DS
DATE
APRIL 25, 2014
SCALE

JOB NO.
261 55TH ST - OREN

SHEET NO.
A-2
OF 1 SHEETS
COLOR ORIGINAL

NEW PROPOSED GROUND FLOOR PLAN

SCALE 1/4" = 1' - 0"

4/4/18

DRAWN
CB
CHECKED
DS
DATE
APRIL 23, 2014
SCALE
1/8"
JOB NO.
1261 99TH ST - ORE
SHEET NO.
A-2
OF 7 SHEETS
COLOR ORIGINAL

Architectural floor plan of a multi-story residential building. The plan includes the following rooms and features:

- Master Bedroom:** 11'-0" x 12'-0"
- Master Bathroom:** 10'-0" x 8'-0"
- Guest Bedroom:** 13'-9" x 14'-0"
- Guest Bathroom:** 5'-0" x 5'-0"
- Daniel's Bedroom:** 11'-0" x 14'-0"
- Daniel's Bathroom:** 5'-0" x 5'-0"
- Natalie's Bedroom:** 10'-0" x 14'-0"
- Natalie's Bathroom:** 10'-0" x 5'-0"
- Amy's Bedroom:** 10'-0" x 14'-0"
- Amy's Bathroom:** 10'-0" x 5'-0"
- Laundry:** 6'-0" x 7'-0"
- Cl Closets:** WIC, LIN WIC, HER WIC, HIS WIC, AMY'S WIC
- Other Features:** Terrace (22'-0" x 6'-0"), Balcony, Fire Place Chimney, Decorative Balcony, Fix Glass (No Balcony Access), Overhang Above, Roof Below, Sky Lite Above, Elevator (EYEBROW), Stairs (DN, UP, SKY LITE ABOVE), A/C 14, A/C 13, A/C 12, A/C 11, A/C 10, A/C 9, A/C 8, A/C 7, A/C 6, A/C 5, A/C 4, A/C 3, A/C 2, A/C 1, A/C 0

[Signature]
6/4/15

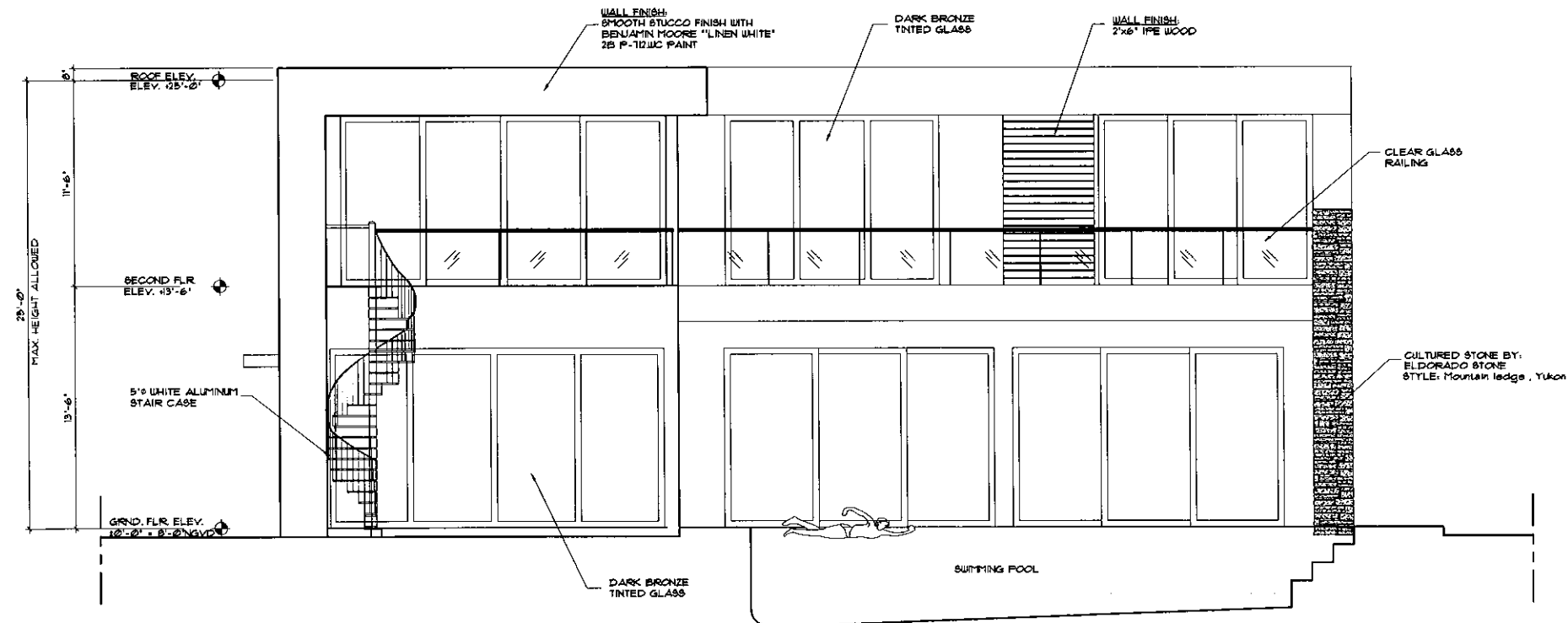
APPROVED BY PLANNING & ZONING BOARD MAY 6, 2014

COLOR ORIGINAL

Architectural elevation drawing of a building facade. The drawing includes the following elements and labels:

- Dimensions:**
 - Roof Elev. ELEV. 45'-0"
 - 11'-6"
 - 25'-0" MAX. HEIGHT ALLOWED
 - 13'-6"
 - SECOND FLR. ELEV. 43'-6"
 - 3'-0"
 - GRND. FLR. ELEV. 10'-0" ± 5'-0" NGVD
 - 3'-0"
- Materials and Finishes:**
 - DARK BRONZE TINTED GLASS
 - FIX GLASS (NO BALCONY ACCESS)
 - DECORATIVE BALCONY
 - WALL FINISH: SMOOTH STUCCO FINISH WITH BENJAMIN MOORE "LINEN WHITE" 2B P-1023C PAINT
 - LIGHT BEIGE TRAVERTINE WITH HORIZONTAL VANS
 - WALL FINISH: 2"x6" LPE WOOD
 - WALNUT COLOR ALUM. LOUVERS COLOR: BENJAMIN MOORE "TUDOR BROWN"
 - CLEAR GLASS RAILING
 - DARK BRONZE TINTED GLASS
 - WALNUT WOOD SLATS COLOR: BENJAMIN MOORE "TUDOR BROWN"
 - WALL FINISH: 2"x6" LPE WOOD
 - 3' SOLID FENCE WALL
 - WALL FINISH: SMOOTH STUCCO FINISH WITH BENJAMIN MOORE "LINEN WHITE" 2B P-1023C PAINT
 - CULTURED STONE BY: ELDERADO STONE STYLE: Mountain ledge, Yukon
 - 6' ROLLING GATE WALNUT COLOR - BENJAMIN MOORE "TUDOR BROWN"
 - 3' ALUMINUM RAILING WALNUT COLOR - BENJAMIN MOORE "TUDOR BROWN"

SCALE 1/4" = 1' - 0"

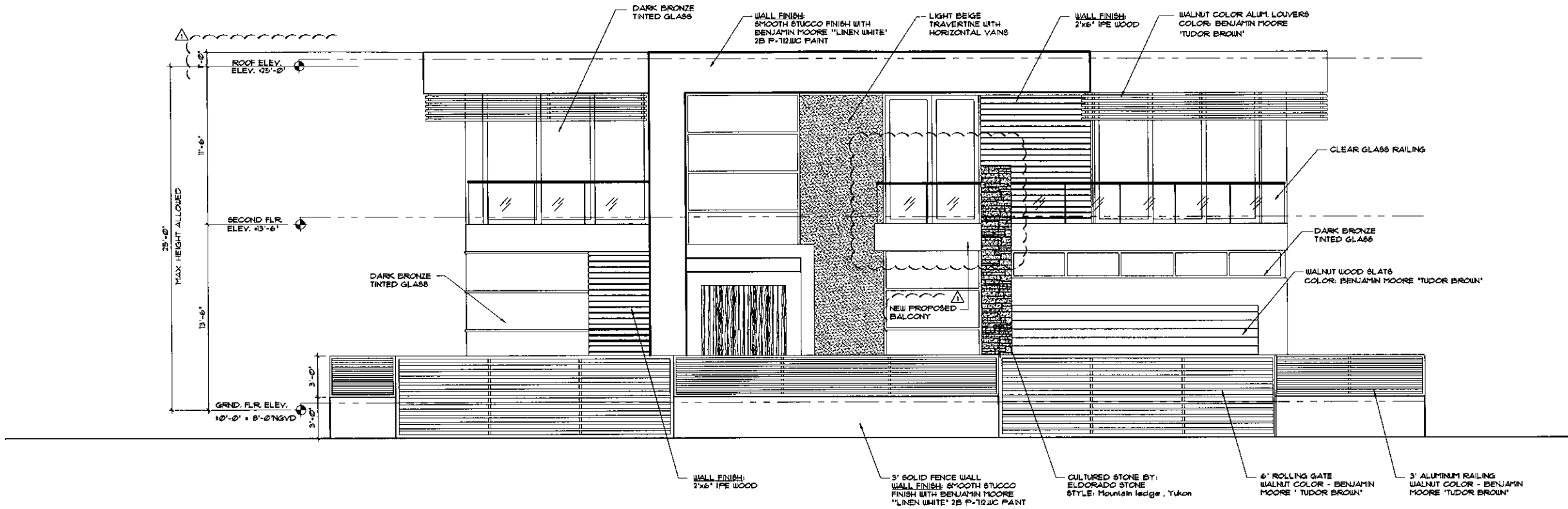


SCALE 1/4" = 1' - 0"

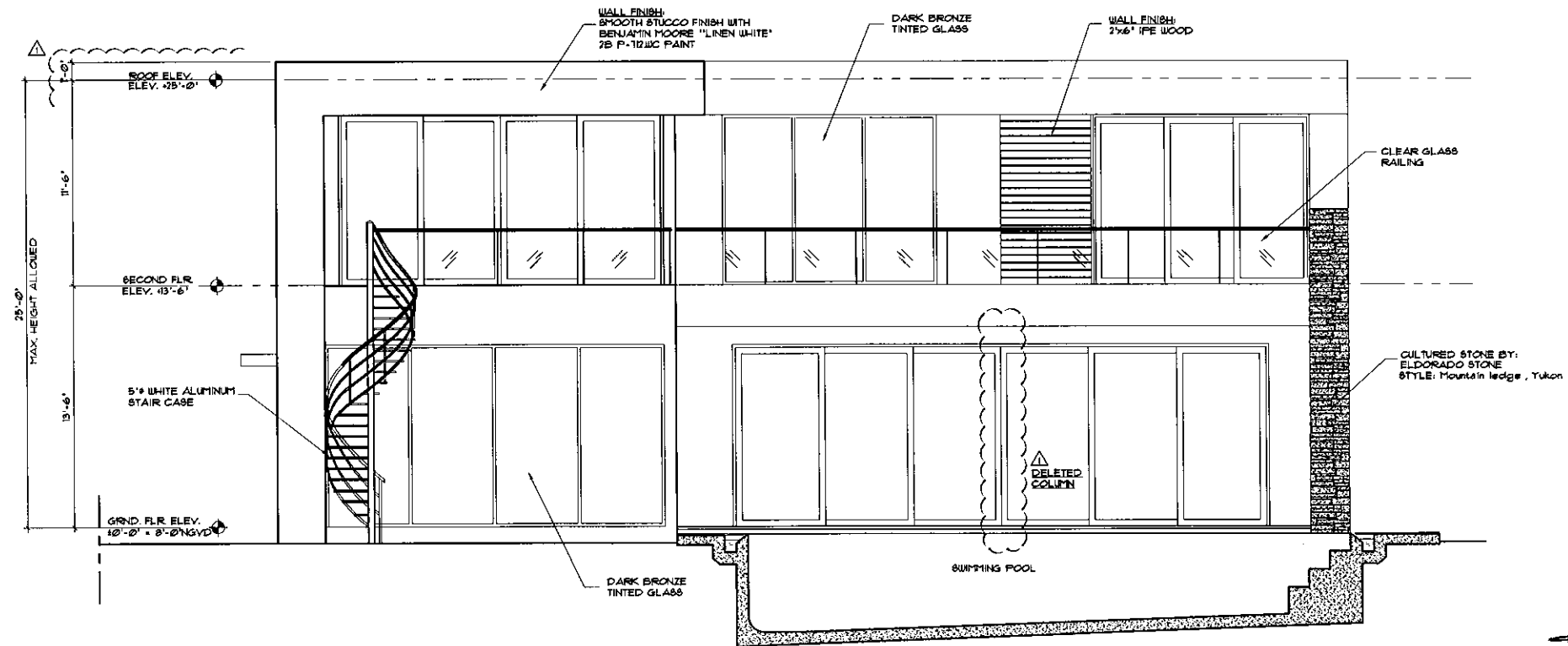
APPROVED BY PLANNING & ZONING BOARD MAY 6 2014

COLOR ORIGINAL

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NEW PROPOSED FRONT / GATE ELEVATION
SCALE 1/4" = 1' - 0"

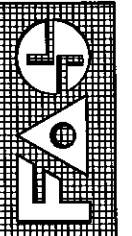


NEW PROPOSED REAR ELEVATION
SCALE 1/4" = 1' - 0"

REVISIONS	BY
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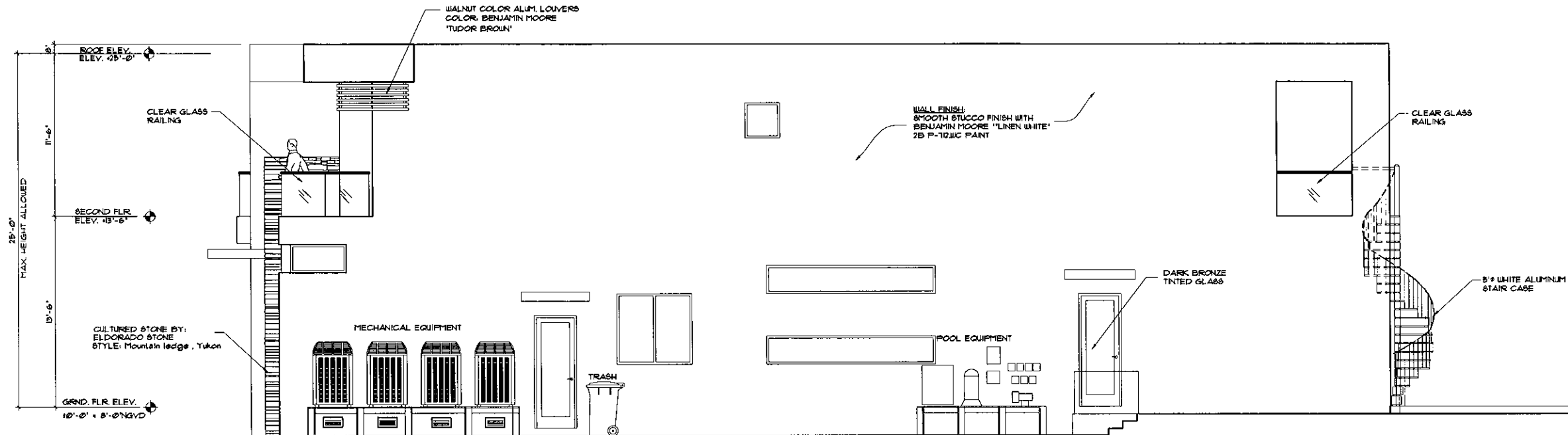
PROPOSED RESIDENCE FOR:
MR. & MRS. OREN
PROPERTY ADDRESS: 161 95TH ST. SAN JUAN ISLAND, FL 3384

florida architectural services inc.
daniel soragon AR 0010418 architect/planner
34 N.W. 168 TH. STREET, NORTH MIAMI BEACH FL 33169 (305) 653-0212

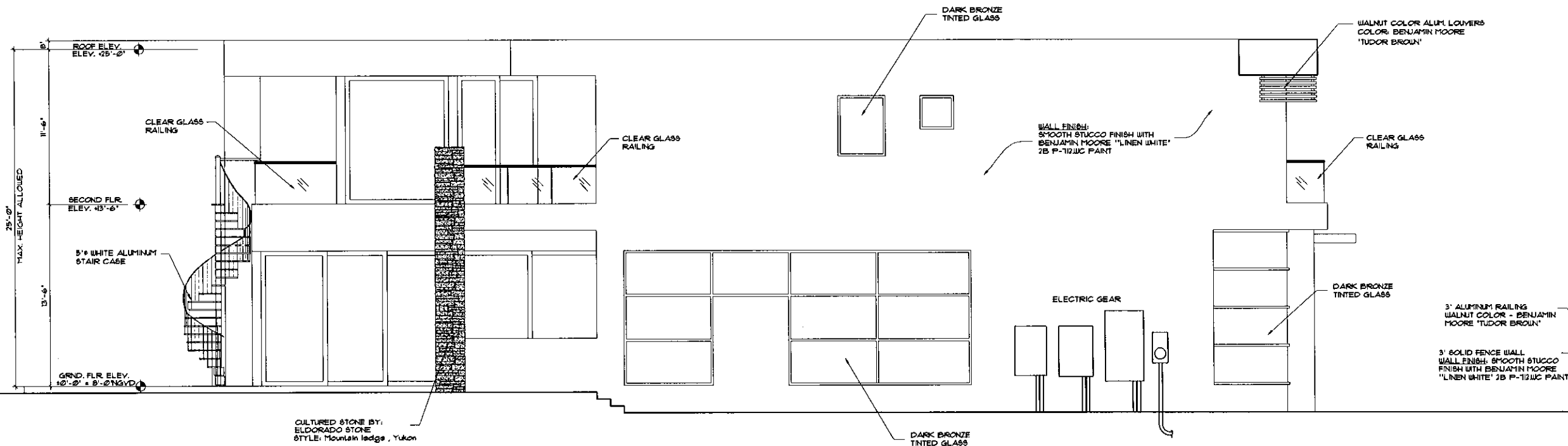


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CHECKED DR
DATE APRIL 25, 2014
SCALE
JOB NO. D&I 95TH ST - OREN
SHEET NO. A-5
OF 7 SHEETS
COLOR ORIGINAL

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RIGHT ELEVATION
SCALE 1/4" = 1' - 0"



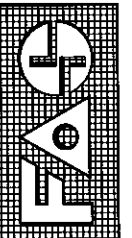
LEFT ELEVATION
SCALE 1/4" = 1' - 0"

APPROVED BY PLANNING & ZONING BOARD MAY 6, 2014

REVISIONS	BY
1.	
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5.	

PROPOSED RESIDENCE FOR:
MR. & MRS. OREN
PROPERTY ADDRESS: 261 99TH ST EAST HARBOR ISLAND, FL 33064

florida architectural services inc.
daniel sorogon AR 0010418 architect/planner
34 N.W. 168 TH. STREET, NORTH MIAMI BEACH FL 33169 (305) 653-0212

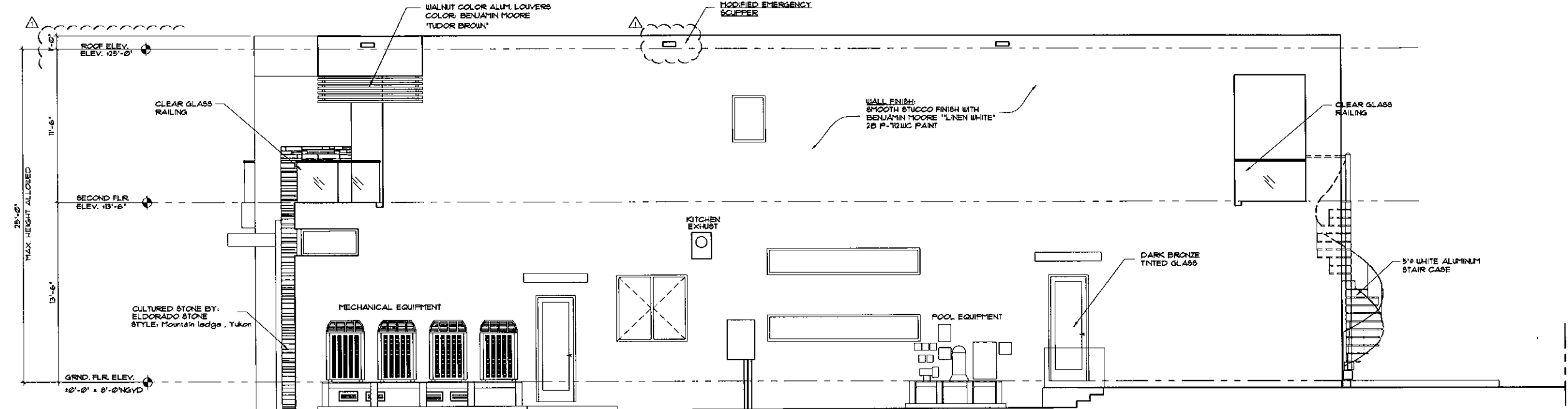


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DS
DATE
APRIL 25, 2014
SCALE

JOB NO.
261 99TH ST - OREN

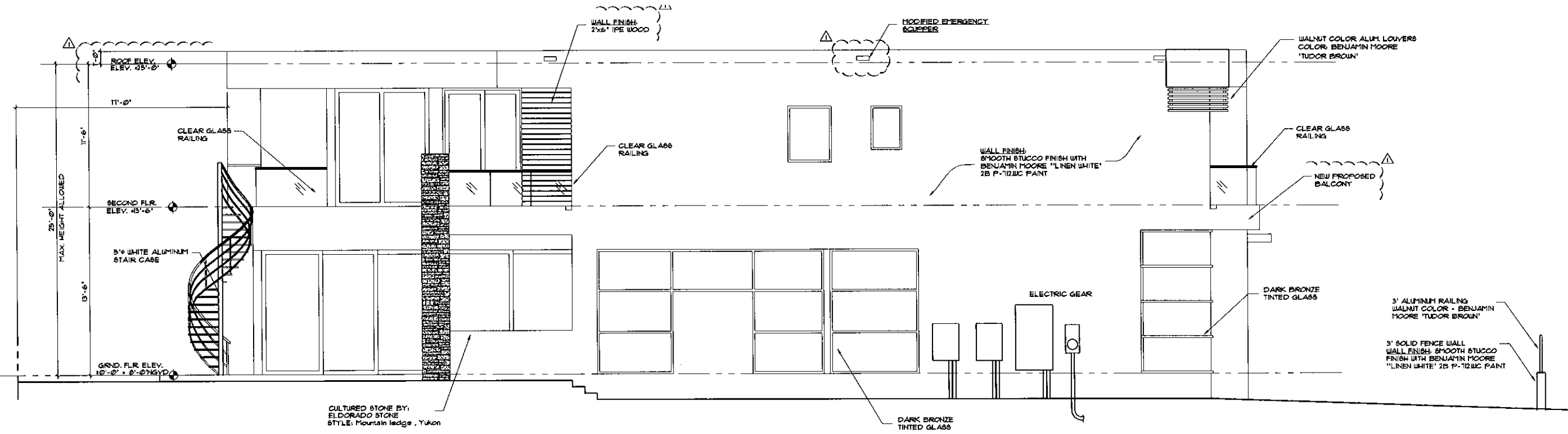
SHEET NO.
A-6
OF 7 SHEETS
COLOR ORIGINAL

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NEW PROPOSED RIGHT ELEVATION

SCALE 1/4" = 1' - 0"



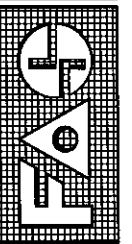
NEW PROPOSED LEFT ELEVATION

SCALE 1/4" = 1' - 0"

REVISIONS	BY
1	CB
2	DB
3	DB
4	DB
5	DB

PROPOSED RESIDENCE FOR:
MR. & MRS. OREN
PROPERTY ADDRESS: 1261 95TH ST BAY WARDEN ISLANDS, FL 33064

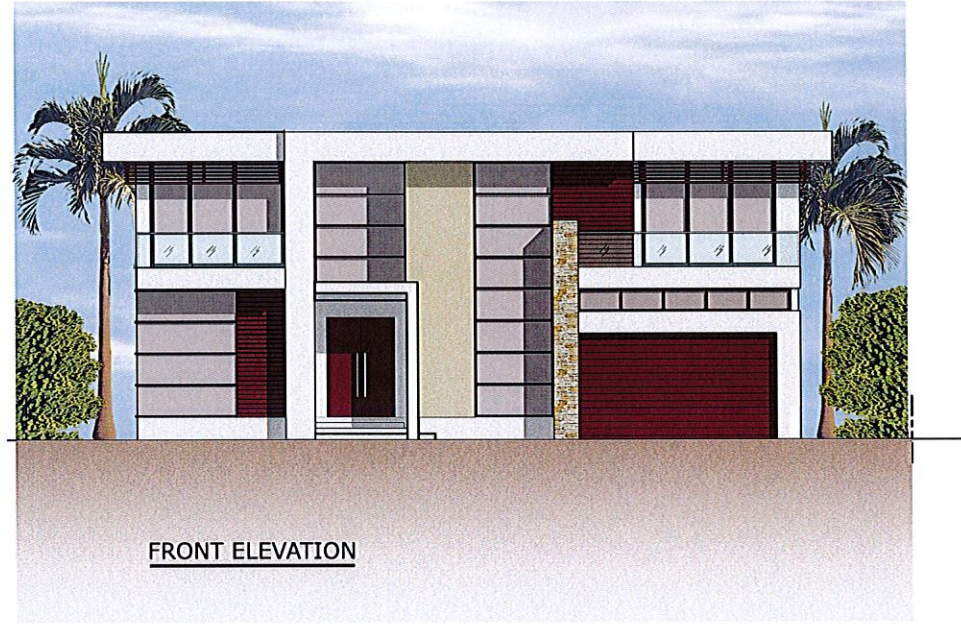
florida architectural services inc.
daniel sorogon architect/planner
AR 0010418
34 N.W. 168 TH. STREET, NORTH MIAMI BEACH FL 33169
(305) 653-0212



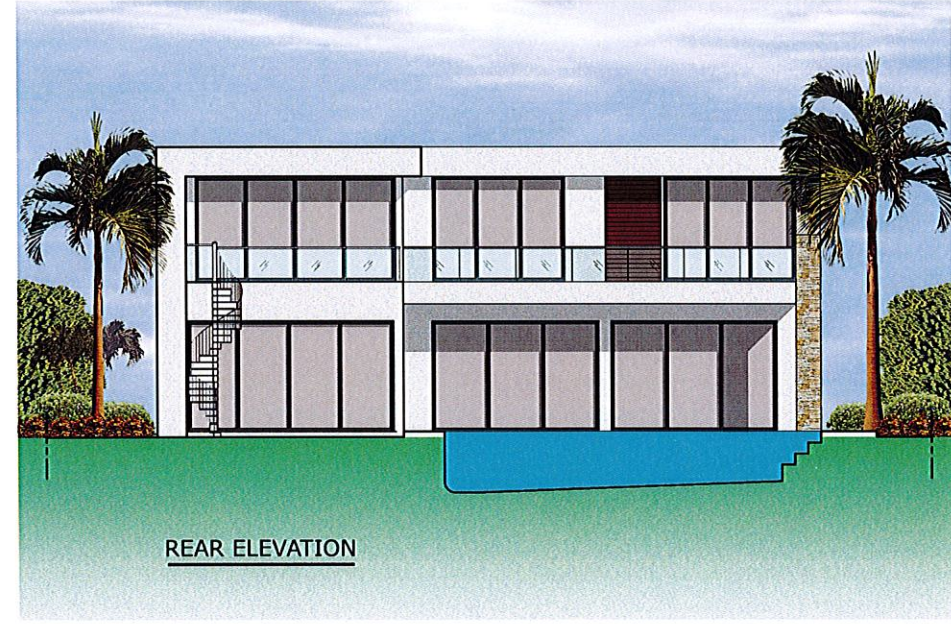
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DATE	APRIL 28, 2014
SCALE	SCALE
JOB NO.	1261 95TH ST - OREN
SHEET NO.	A-6
OF 7 SHEETS	
COLOR ORIGINAL	

Signature
5/6/15

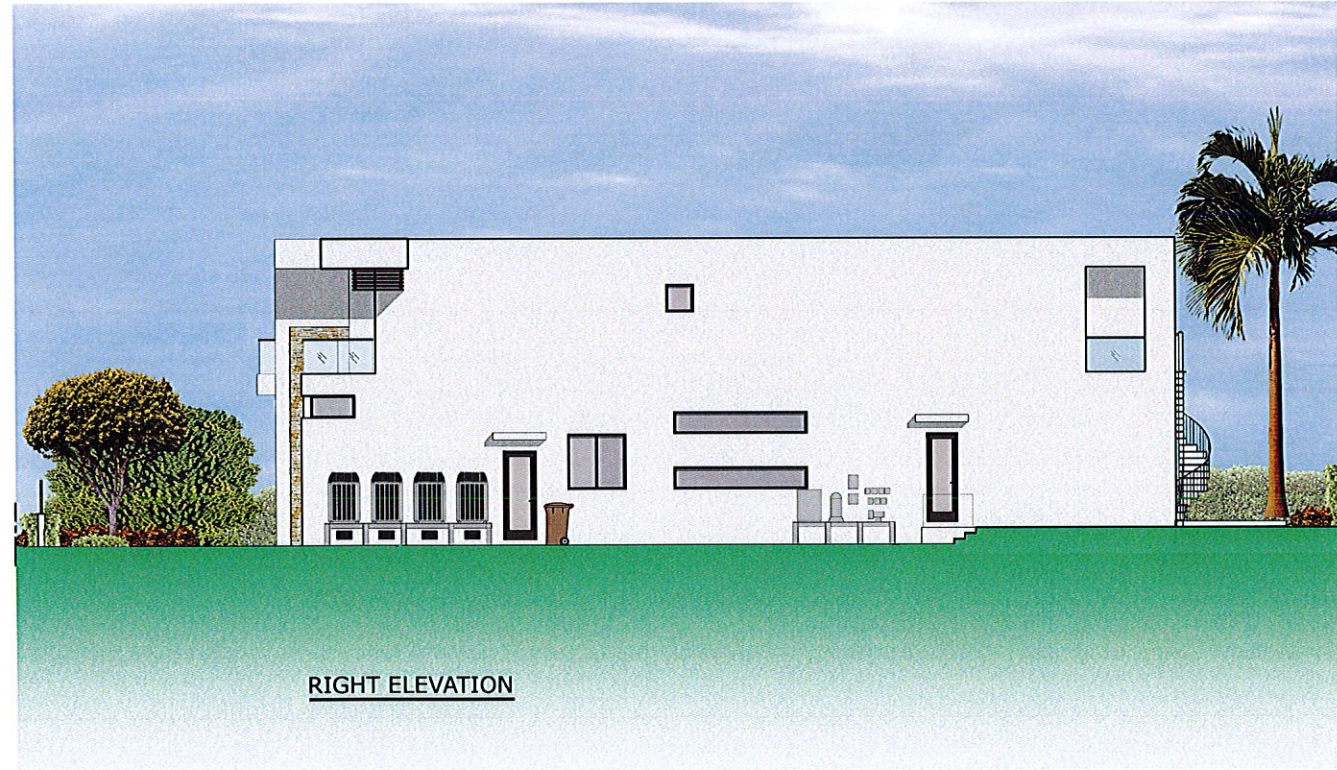
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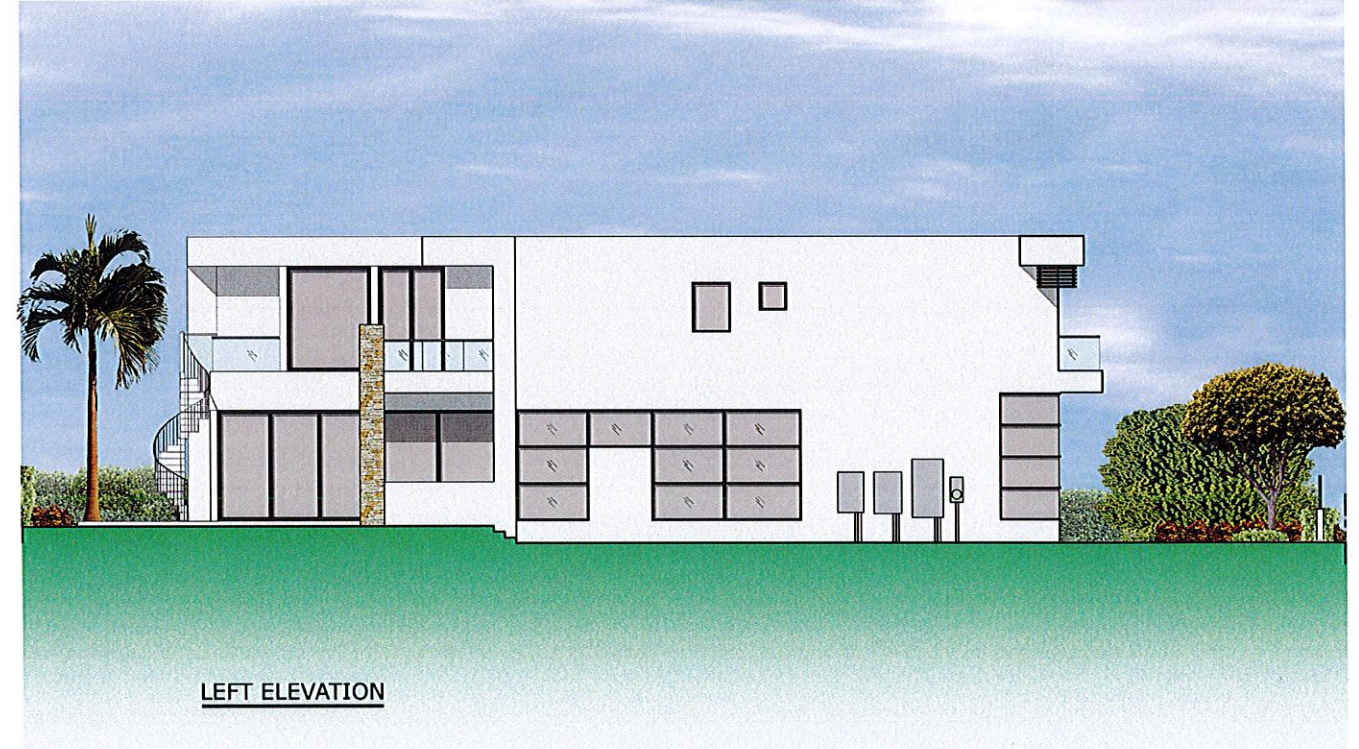
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

MR. & MRS. OREN RESIDENCE

1261 99TH ST. BAY HARBOR ISLANDS, FL.

ELEVATIONS

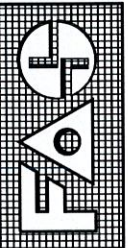
APPROVED BY PLANNING & ZONING BOARD MAY 6, 2014

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6/4/15

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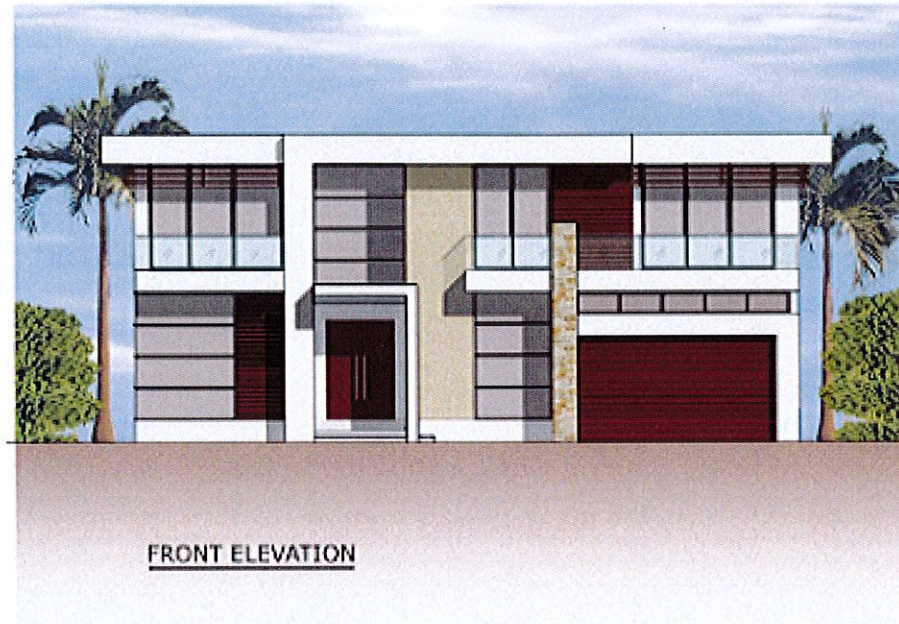
PROPOSED RESIDENCE FOR:
MR. & MRS. OREN
PROPERTY ADDRESS: 1261 99TH ST BAY HARBOR ISLANDS, FL 33884

florida architectural services inc.
daniel sorogon AR 0010418 architect/planner
34 N.W. 168 TH. STREET, NORTH MIAMI BEACH FL 33169 (305) 653-0212

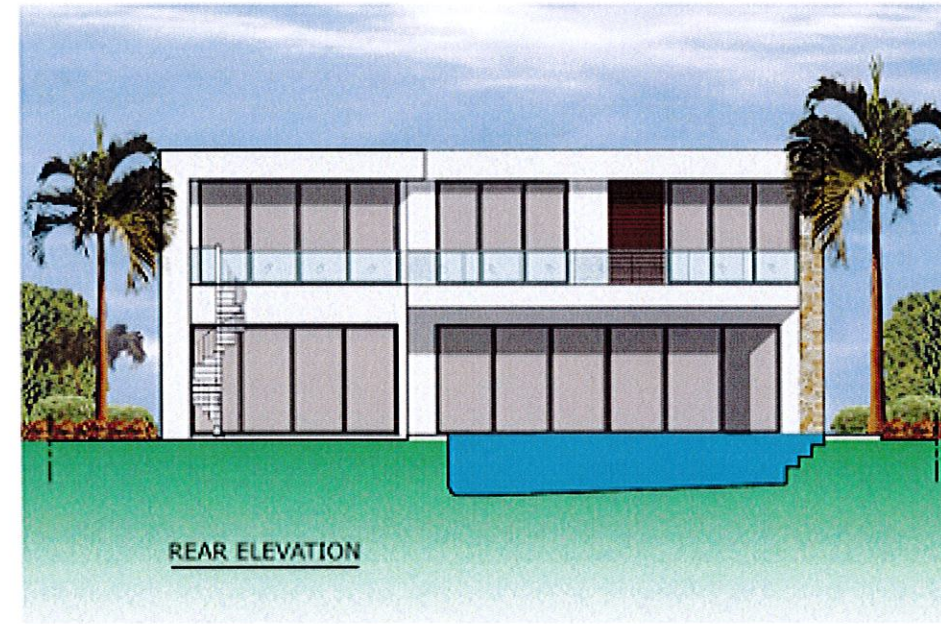


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CHECKED D6
DATE APRIL 9, 2014
SCALE 1/8"
JOB NO. 1261 99TH ST - OREN
SHEET NO. A-7
OF 7 SHEETS
COLOR ORIGINAL

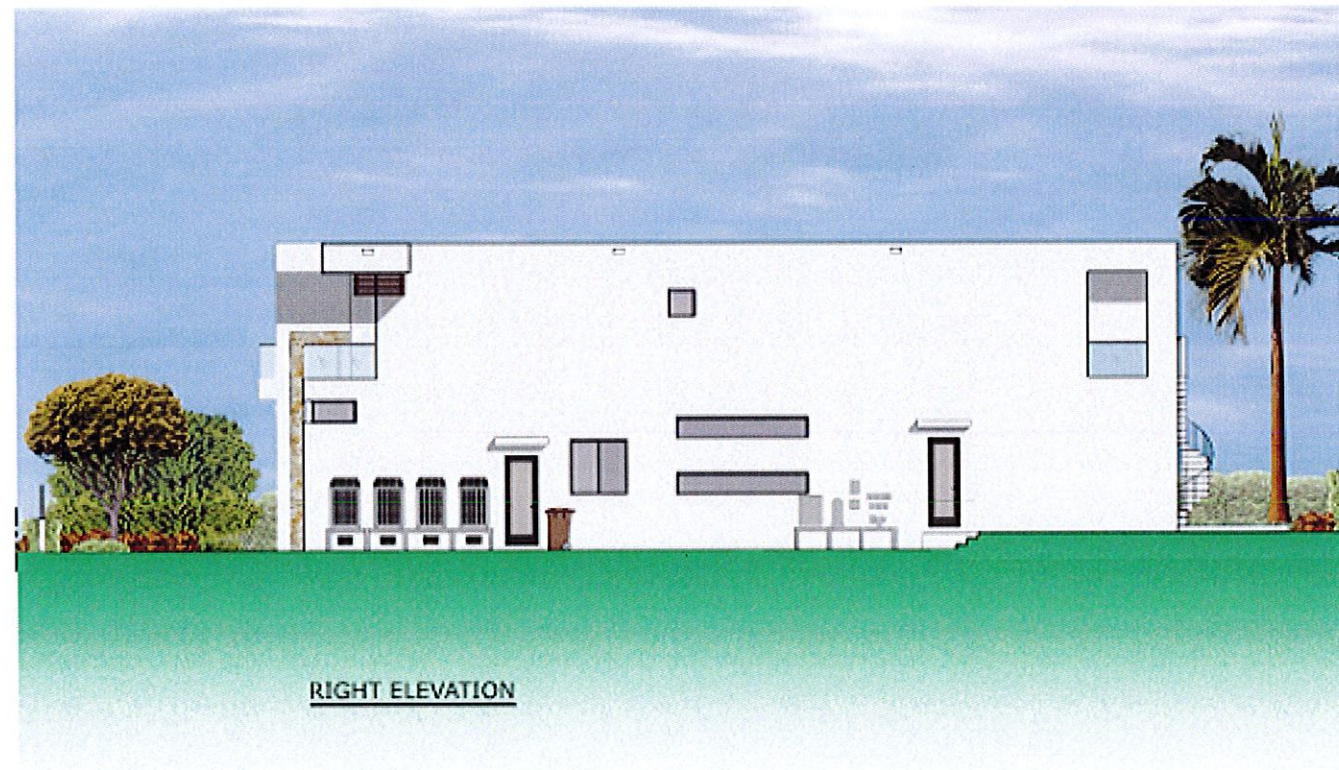
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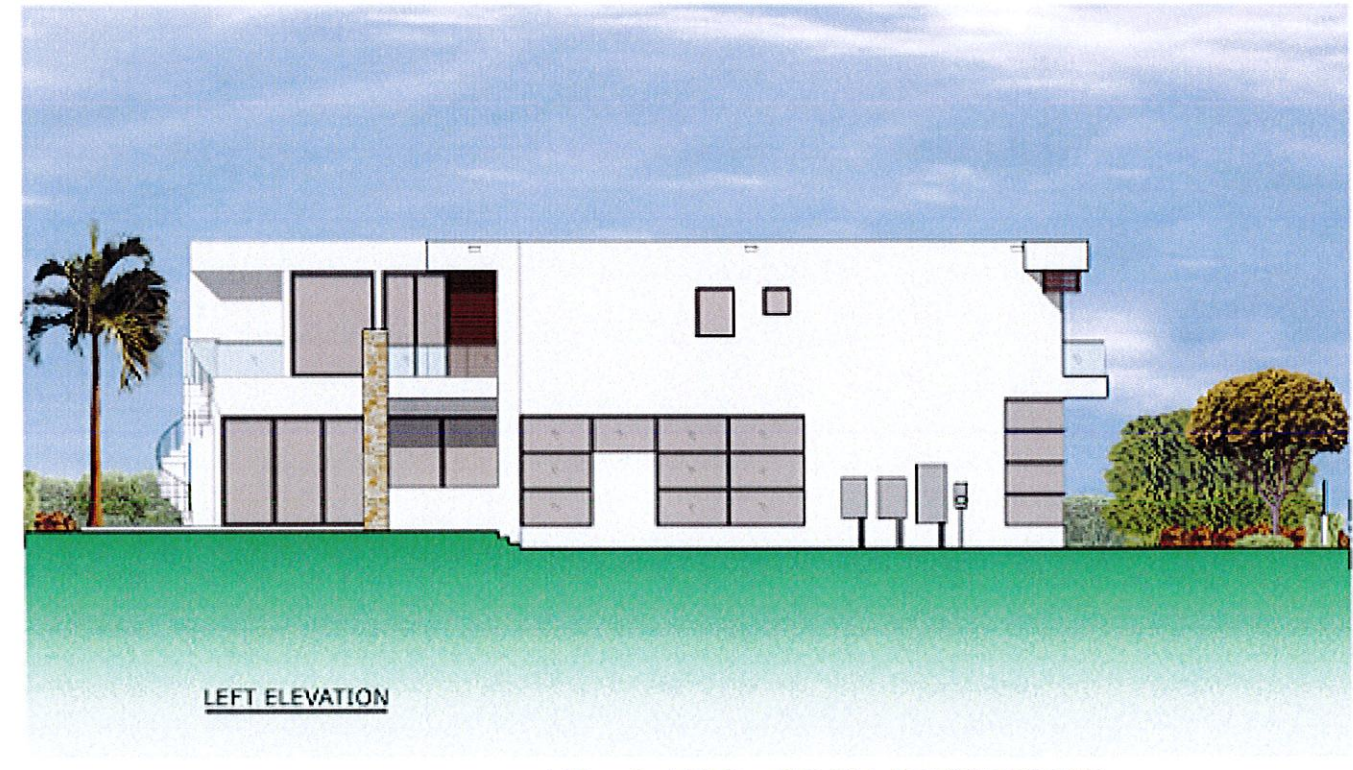
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

MR. & MRS. OREN RESIDENCE

1261 99TH ST. BAY HARBOR ISLANDS, FL.

NEW PROPOSED - ELEVATIONS

P. G. / 4/15

NO.	REVISION
1	
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PROPOSED RESIDENCE FOR:
MR. & MRS. OREN
PROPERTY ADDRESS: 1261 99TH ST. BAY HARBOR ISLANDS, FL. 33154

florida architectural services inc.
daniel sorogan architect / planner
AR 0010418
34 N.W. 198 TH. STREET, NORTH MIAMI BEACH, FL. 33169 (305) 653-0212



DRAWN: CB
CHECKED: CB
DATE: JAN 15, 2015
SCALE: 1/8" = 1'-0"
JOB NO.: 201 99TH ST - OREN

SHEET NO.: A-7
OF 7 SHEETS
COLOR: ORIGINAL

FRONT VIEW - APPROVED BY PLANNING & ZONING BOARD MAY 6, 2014



NEW PROPOSED FRONT VIEW

