

When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don't turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

**TOWN OF BAY HARBOR ISLANDS
PLANNING AND ZONING BOARD**

May 19, 2015

FINAL AGENDA

CALL TO ORDER: Set for 7:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

1. Request for approval for renovations and addition for "Daniel and Melina Mizrahi" located at 1330 97 Street, Lot 3 of Block 34. The owners are proposing the renovation and expansion to their existing family home. The proposed single story home will have 3,749 square feet of a/c living space with a one car garage. The new house will have 3 bedrooms and 4 full bathrooms. Enclosed please find the site plan, elevations and landscape plan. A sample board will be presented at the meeting. (Item #1A)

** Staff Review:* Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks, Community Planner.

2. Request for approval for a new single family home for "David and Priscilla Burstyn" located at 1310 95 Street, Lot 9 of Block 32. The owners are proposing a new single family home. The proposed two story single family home will have 5,350 square feet of a/c living space with a two car garage. The new house will have 5 bedrooms and 6 full bathrooms, one half bath and a media room. Enclosed please find the site plan, elevations and landscape plan. A sample board will be presented at the meeting. (Item #2A)

** Staff Review:* Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks, Community Planner.

3. Approval of minutes of the Board meeting held on February 3, 2015. (Item #3A)

** Staff Review:*

ADJOURNMENT

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AGENDA ITEM REPORT

May 19, 2015

ITEM NUMBER: 1.

ITEM: Request for approval for renovations and addition for "Daniel and Melina Mizrahi" located at 1330 97 Street, Lot 3 of Block 34. The owners are proposing the renovation and expansion to their existing family home. The proposed single story home will have 3,749 square feet of a/c living space with a one car garage. The new house will have 3 bedrooms and 4 full bathrooms. Enclosed please find the site plan, elevations and landscape plan. A sample board will be presented at the meeting. (Item #1A)

DESCRIPTION:

Request for approval for renovations and addition for "Daniel and Melina Mizrahi" located at 1330 97 Street, Lot 3 of Block 34. The owners are proposing the renovation and expansion to their existing family home. The proposed single story home will have 3,749 square feet of a/c living space with a one car garage. The new house will have 3 bedrooms and 4 full bathrooms. Enclosed please find the site plan, elevations and landscape plan. A sample board will be presented at the meeting. (Item #1A)

RECOMMENDED ACTION:

Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks, Community Planner.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Marante
 Ayanidys Marante

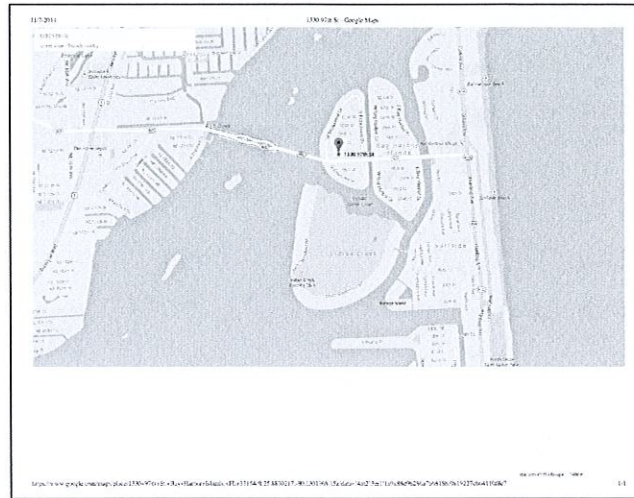
ATTACHMENTS

1.	Site Plan and Elevation	Mizrahi5.19.15.pdf
2.	Staff Report	

MIZRAHI RESIDENCE

SINGLE FAMILY HOUSE ADDITION AND RENOVATION

LOCATION MAP



LEGAL DESCRIPTION

LOT 3 BLOCK 34 OF "BAY HARBOR" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, AT PAGE 5 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA
FOLIO NUMBER: 13-2227-001-6260



VERTEX ARCHITECTURE, INC

10251 SW 72 ST. # 104
MIAMI, FLORIDA. 33173
PH: 754-2040331/ 305-2737555

JBD DESIGN INC

Landscape Architecture
129 DAYTOINA ROAD.
LAKEWORTH FLORIDA. 33467.
PH: 561-4341343



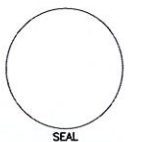
Architecture with a Point

AA28000839
Alejandro Santamaria, R.A. AR91405

Vertex Architecture, Inc.

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IN MY PROFESSIONAL JUDGMENT AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE PLANS AND SPECIFICATIONS CONTAINED HEREIN COMPLY WITH ALL APPLICABLE BUILDING CODES.

Addition/Renovation
to the Existing
Mizrahi Residence

1330 97 St.
Bay Harbor Islands, FL 33154

Owner:
Melina M. & Daniel Mizrahi
1330 97 St.
Bay Harbor Islands, FL 33154
Contact: Leila Grunberg 754.204.0331

Consultant:

MAY 19 2015



Design Consultant:
Leila Grunberg 754.204.0331

REVISIONS

No	DATE	DESCRIPTION
1	03-30-15	BLDG. DEPT. COMMENTS
2	03-30-15	OWNER
3	04-29-15	BLDG. DEPT. COMMENTS

COVER SHEET

SHEET TITLE
DATE 3.10.15
DRAWN BY LG
REVIEWED BY LG
1504
PROJECT NO.

SHEET G-001

SITE INFORMATION

ZONING:

RD SINGLE FAMILY RESIDENTIAL DISTRICT
PROJECT IS LOCATED WITHIN ZONE "AE"-BASE FLOOD ELEVATION 8'-0"
SUFFIX "L".

CONCRETE SLAB AND ALL CONCRETE PADS MUST HAVE
A FFE OF 8.0 FEET ABD

OCCUPANCY GROUP:

IN ACCORDANCE WITH 2010 FLORIDA BUILDING CODE. THIS PROJECT IS
CLASSIFIED GROUP R- RESIDENTIAL OCCUPANCY.

CONSTRUCTION TYPE:

ACCORDING TO FBC 2010, CHAPTER 6 TABLES 601 AND 602, THE EXISTING
STRUCTURE IS CLASSIFIED AS TYPE IIB (NONCOMBUSTIBLE CONSTRUCTION)

UTILITIES

WATER & SEWER: MUNICIPAL SEWER SYSTEM
ELECTRIC: F.P.L. CO.

SET BACKS: REQUIRED PROVIDED

NORTH (FRONT): 25'-0" 25'-2"
SOUTH (REAR): 15'-0" 19'-00"
EAST (SIDE): 10'-0" 10'-5/8"
WEST (SIDE): 10'-0" 10'-1" A

SITE CALCULATION

	S.F	%
TOTAL SITE AREA	10,625.0	
PROPOSED ENCLOSED AREA	3,749.0	
EXTERIOR CONCRETE TERRACE, STEPS & CONCRETE PAVERS	1,957.6	A
FRONT WALLS, FENCE BASE & DRIVEWAY ASPHALT	150.2	
POOL	325.0	A
TOTAL IMPERVIOUS AREA	6,181.8	58.18
LANDSCAPE	4,443.2	41.82
TOTAL PERVIOUS AREA	4,443.2	41.82
PROPOSED ENCLOSED AREA	3,749.0	S.F
EXISTING ENCLOSED AREA	2,712.3	S.F
ENCLOSED ADDITION	1,036.7	S.F
PROPOSED OPEN AIR AREA (IMPERVIOUS)	965.2	S.F
EXISTING OPEN AIR AREA (IMPERVIOUS)	521.1	S.F
OPEN AIR NEW	444.1	S.F
AIR CONDITIONED AREA	3,218.6	S.F

BUILDING INFORMATION

MAXIMUM BUILDING HEIGHT:
TWO AND ONE HALF STORIES OR 25' IN HEIGHT
ABOVE THE BFE: 8'-0"
TOTAL BUILDING HEIGHT PROVIDED: 24'-1" ABOVE BFE. A

DRAWING LIST

ARCHITECTURAL

G-001. COVER SHEET.
0-000. SURVEY.
D-001. DEMOLITION PLAN
D-002. DEMOLITION PLAN
A-001. SITE PLAN
A-101. FLOOR PLAN
A-102. ROOF PLAN
A-301. NORTH AND SOUTH ELEVATIONS
A-302. EAST AND WEST ELEVATIONS
A-303. COLORED ELEVATIONS A

LANDSCAPE

LP-1. LANDSCAPE PLAN
LP-2. LANDSCAPE SPECIFICATIONS AND PLANTING
DETAILS

LPC-1 COLORED LANDSCAPE PLAN
LPC-2 COLORED LANDSCAPE ELEVATIONS

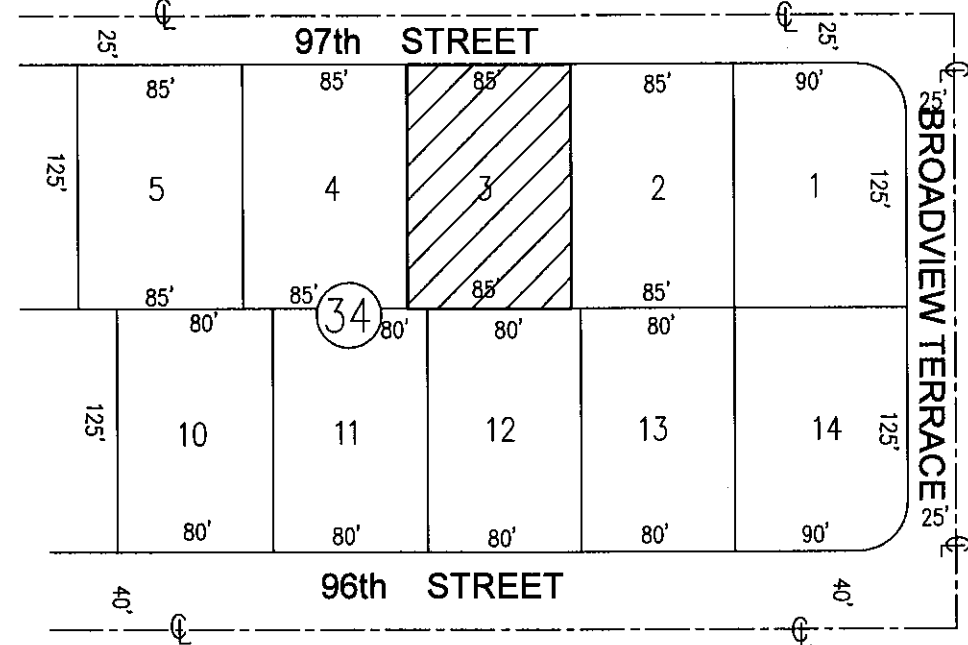
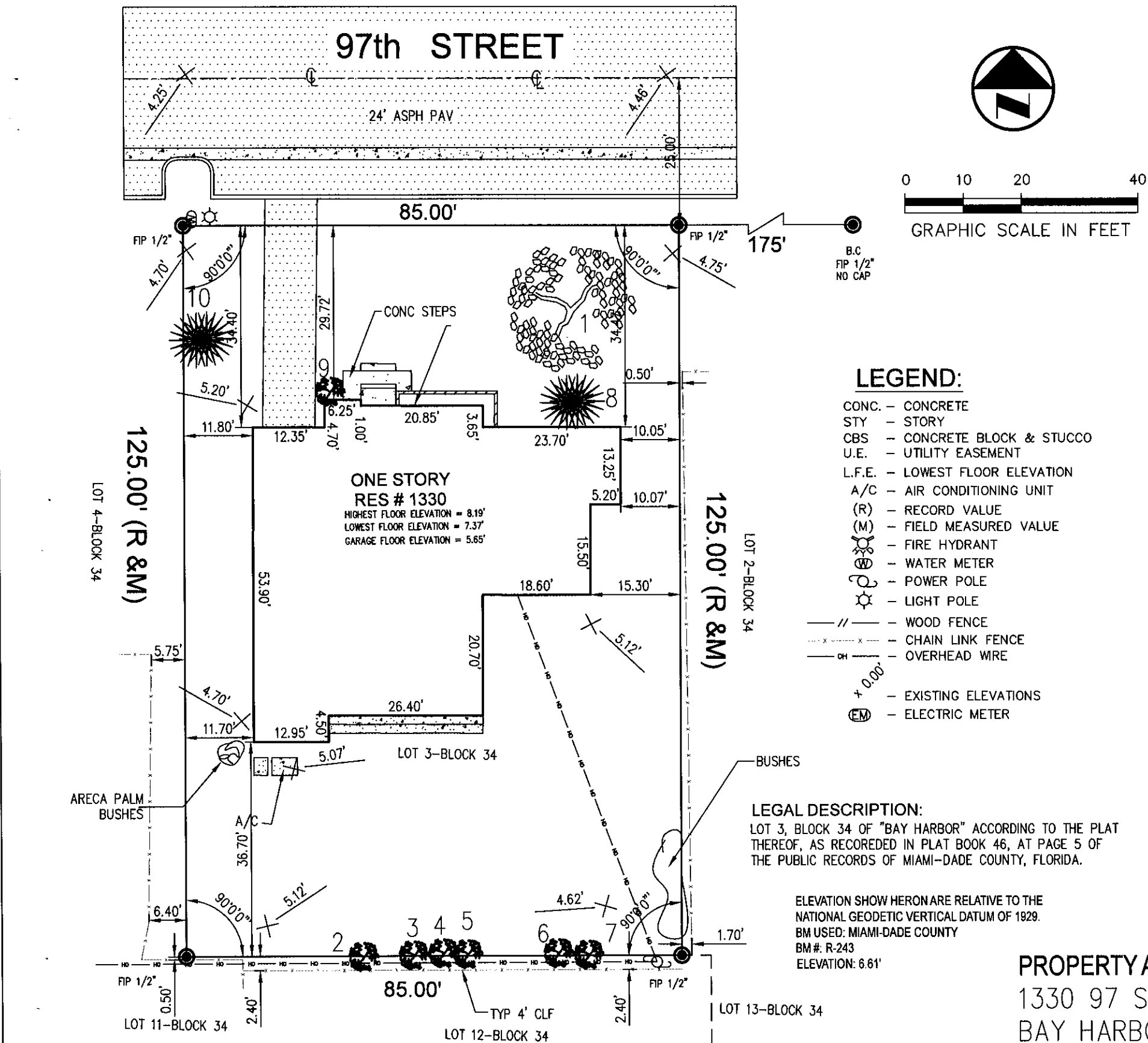
TDP-1 TREE DISPOSITION PLAN A

RENDERINGS

R-001. NORTH- EAST RENDERING
SOUTH WEST ELEVATIONS
EAST ELEVATION
WEST ELEVATION A

PHOTOGRAPHS

PH-001 EXISTING SITE AND EXISTING BUILDING
FINISHES BOARD A



#	NAME	Ø	H	S
1	UNKNOWN NAME	36"	35'	30'
2-7	FICUS	12"	15'	6'
8 (2)	PALM	5"	8'	5'
9	UNKNOWN NAME	7"	8'	5'
10	PALM	5"	18'	5'

SURVEYOR'S CERTIFICATION:
 THIS CERTIFIES THAT THIS SURVEY OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THAT THE SAME MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

ARTURO R. TOIRAC P.L.S. DATE
 PROFESSIONAL SURVEYOR AND MAPPER # 3102

Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper.

THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP. EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORDS. LEGAL DESCRIPTION PROVIDED BY CLIENT. THE LIABILITY OF THIS SURVEY IS LIMITED TO THE COST OF THE SURVEY. UNDERGROUND ENCROACHMENTS, IF ARE NOT SHOWN. THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS AND/OR UNDERGROUND IMPROVEMENTS OF ANY NATURE. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN. IF SHOWN, ELEVATIONS ARE REFERRED TO N.G.V.D. OF 1929. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:10000.

SURVEYORS NOTE:
 THERE MAY BE EASEMENT RECORDED IN THE PUBLIC RECORDS NOT SHOW ON THIS SURVEY

BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY AGENCY REVISED ON 09/11/09 THE HEREIN DESCRIBED PROPERTY IS SITUATED WITHIN:
 ZONE "AE" - BASE FLOOD ELEVATION "8" - SUFFIX "L"
 COMMUNITY NUMBER 120637 - PANEL NUMBER 0144

SKETCH OF SURVEY
 (BOUNDARY SURVEY)
 SCALE: 1" = 20'

CERTIFIED TO:
 DANIEL MIRAH
 MELNA MOSZEL

DATE: 06/11/2014
 REVISIONS:
 1 UP DATE 12/12/2014
 2
 3
 4

JOB NO. 15139
 DRAWN J. A.
 DESIGNED
 CHECKED

VIZCAYA SURVEYING AND MAPPING, INC.
 Land Surveyor & Planner
 13217 S.W. 46th LANE
 MIAMI, FLORIDA 33175
 PHONE: (305) 223-6060
 FAX: (305) 223-4007

DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH THE NEW CONSTRUCTION TO DETERMINE DIMENSIONS AND SCOPE OF WORK AND TO ENSURE THAT NO ITEMS OR SERVICES TO REMAIN ARE DISTURBED OR DAMAGED.
- WHERE REMOVALS ARE MADE CONTRACTOR SHALL PATCH ALL CONSTRUCTION TO PROVIDE SMOOTH AS NEW CONDITION.
- CONTRACTOR SHALL PATCH AND/OR LEVEL ALL EXISTING SURFACES RECEIVING NEW FINISHES.
- PROTECT ALL ITEMS TO REMAIN AND ALL EXISTING CONSTRUCTION NOT SCHEDULED TO BE DEMOLISHED - IMMEDIATELY REPAIR OR REPLACE DAMAGED ITEMS.
- PERROUTE ALL UTILITIES REMAINING IN USE INTERRUPTED BY DEMOLITION.
- OWNER TO REMOVE ALL FURNITURE, EQUIPMENT, AND OTHER FURNISHINGS FROM CONSTRUCTION AREA PRIOR TO PROJECT START.
- CONTRACTOR TO COORDINATE DEMOLITION WITH ENGINEERING DOCUMENTS.
- SEAL ALL OPENINGS UNCOVERED DURING DEMOLITION OF FURRED WALLS, RELOCATION OF DUCT SHAFTS OR PIPE CHASES, OR REMOVAL OF PARTITIONS OR FIXTURES.
- ALL DAMAGED EXISTING WORK MUST BE REPAIRED AND PREPARED TO RECEIVE NEW FINISHES. THE CONTRACTOR SHALL INCLUDE ON THE BASE PRICE ALL REPAIR OR REPLACEMENT WORK REQUIRED FOR NEW CONSTRUCTION.
- RESTORE THE INTEGRITY OF EXISTING FIRE RATED PARTITIONS, FIREPROOFING AND STRUCTURE DAMAGED DURING DEMOLITION.

1 DEMO GENERAL NOTES

SCALE: NOT TO SCALE

DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	EXISTING PARTITION, WALL TO REMAIN, PATCH TO MATCH NEW
	DEMOLISH EXISTING WALL OR PARTITION
	SLAB OR ROOF TO BE DEMOLISHED

2 DEMOLITION LEGEND

SCALE: NOT TO SCALE

DEMOLITION KEYNOTES

- REMOVE CONCRETE STEPS
- SEE LANDSCAPE PLANS FOR LANDSCAPE DISPOSITION
- REMOVE A.C. CONCRETE PADS
- REMOVE PLANTER
- REMOVE ASPHALT
- RELOCATE ELECTRICAL SUPPLY UNDERGROUND SEE ELECTRICAL PLANS

3 DEMOLITION KEYNOTES

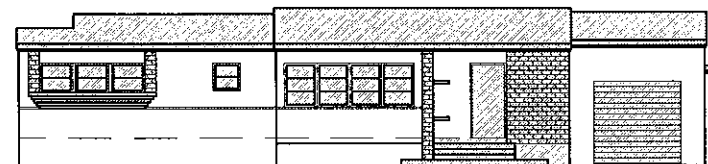
SCALE: N.T.S.

LEGEND:

- CONC. - CONCRETE
 STY - STORY
 CBS - CONCRETE BLOCK & STUCCO
 U.E. - UTILITY EASEMENT
 L.F.E. - LOWEST FLOOR ELEVATION
 A/C - AIR CONDITIONING UNIT
 (R) - RECORD VALUE
 (M) - FIELD MEASURED VALUE
 - FIRE HYDRANT
 - WATER METER
 - POWER POLE
 - LIGHT POLE
 - WOOD FENCE
 - CHAIN LINK FENCE
 - OVERHEAD WIRE
 - EXISTING ELEVATIONS
 - ELECTRIC METER

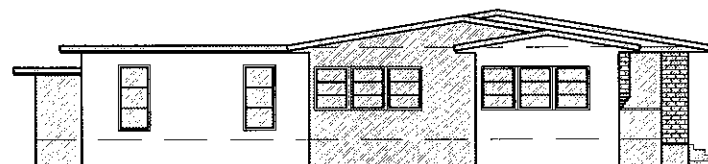
4 SITE PLAN LEGEND

SCALE: N.T.S.



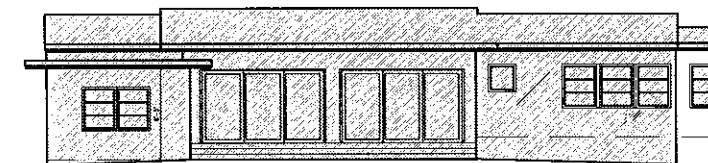
5 NORTH ELEVATION DEMOLITION

SCALE: 1/8" = 1'-0"



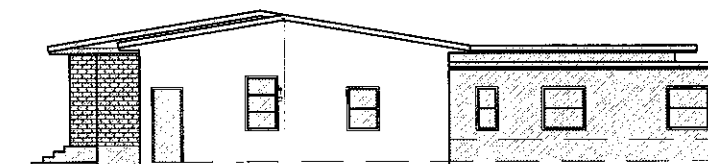
6 EAST ELEVATION DEMOLITION

SCALE: 1/8" = 1'-0"



7 SOUTH ELEVATION DEMOLITION

SCALE: 1/8" = 1'-0"



8 WEST ELEVATION DEMOLITION

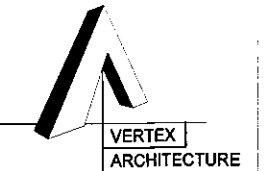
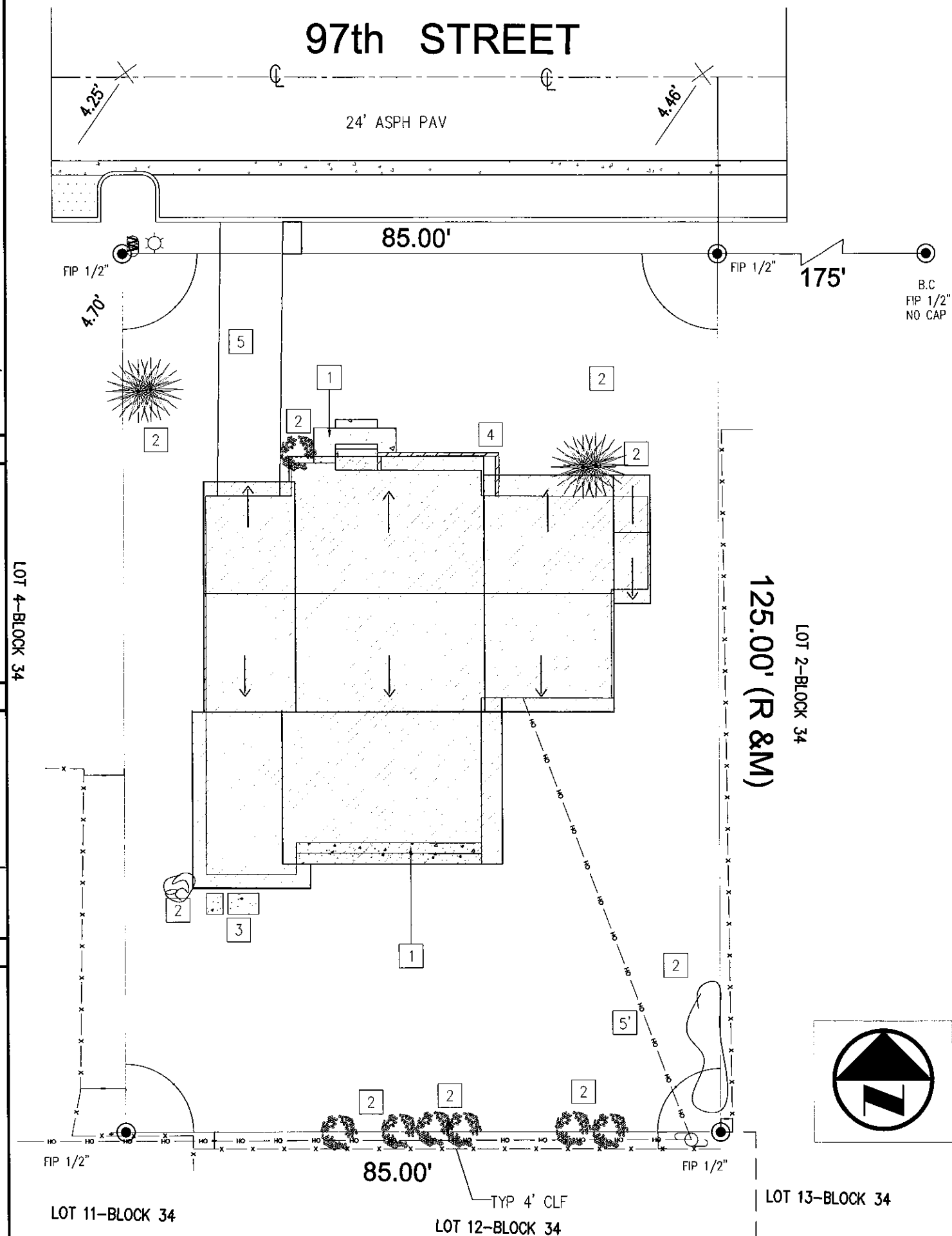
SCALE: 1/8" = 1'-0"

LOT 4-BLOCK 34

LOT 11-BLOCK 34

9 SITE PLAN AND ROOF PLAN DEMOLITION

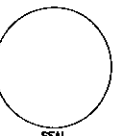
SCALE: 1/8" = 1'-0"



Architecture with a Point
 AA26000839
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 to the Existing
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Owner:
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 Contact: Leila Grunberg 754.204.0331

Consultant:

Design Consultant:
 Leila Grunberg 754.204.0331

REVISIONS		
No	DATE	DESCRIPTION

SITE PLAN
 FLOOR PLAN
 ROOF PLAN
 DEMOLITION

SHEET TITLE	
DATE	3.10.15
DRAWN BY	LG
REVIEWED BY	LG
PROJECT NO.	1504

SHEET D-001

DEMOLITION GENERAL NOTES

01. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH THE NEW CONSTRUCTION TO DETERMINE DIMENSIONS AND SCOPE OF WORK AND TO ENSURE THAT NO ITEMS OR SERVICES TO REMAIN ARE DISTURBED OR DAMAGED.
02. WHERE REMOVALS ARE MADE CONTRACTOR SHALL PATCH ALL CONSTRUCTION TO PROVIDE SMOOTH AS NEW CONDITION.
03. CONTRACTOR SHALL PATCH AND/OR LEVEL ALL EXISTING SURFACES RECEIVING NEW FINISHES.
04. PROTECT ALL ITEMS TO REMAIN AND ALL EXISTING CONSTRUCTION NOT SCHEDULED TO BE DEMOLISHED - IMMEDIATELY REPAIR OR REPLACE DAMAGED ITEMS.
05. REROUTE ALL UTILITIES REMAINING IN USE INTERRUPTED BY DEMOLITION.
06. OWNER TO REMOVE ALL FURNITURE, EQUIPMENT, AND OTHER FURNISHINGS FROM CONSTRUCTION AREA PRIOR TO PROJECT START.
07. CONTRACTOR TO COORDINATE DEMOLITION WITH ENGINEERING DOCUMENTS.
08. SEAL ALL OPENINGS UNCOVERED DURING DEMOLITION OF FURRED WALLS, RELOCATION OF DUCT SHAFTS OR PIPE CHASES, OR REMOVAL OF PARTITIONS OR FIXTURES.
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10. RESTORE THE INTEGRITY OF EXISTING FIRE RATED PARTITIONS, FIREPROOFING AND STRUCTURE DAMAGED DURING DEMOLITION.

1 DEMO GENERAL NOTES
SCALE: NOT TO SCALE

DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	EXISTING PARTITION, WALL TO REMAIN, PATCH TO MATCH NEW
	DEMOLISH EXISTING WALL OR PARTITION
	SLAB OR ROOF TO BE DEMOLISHED

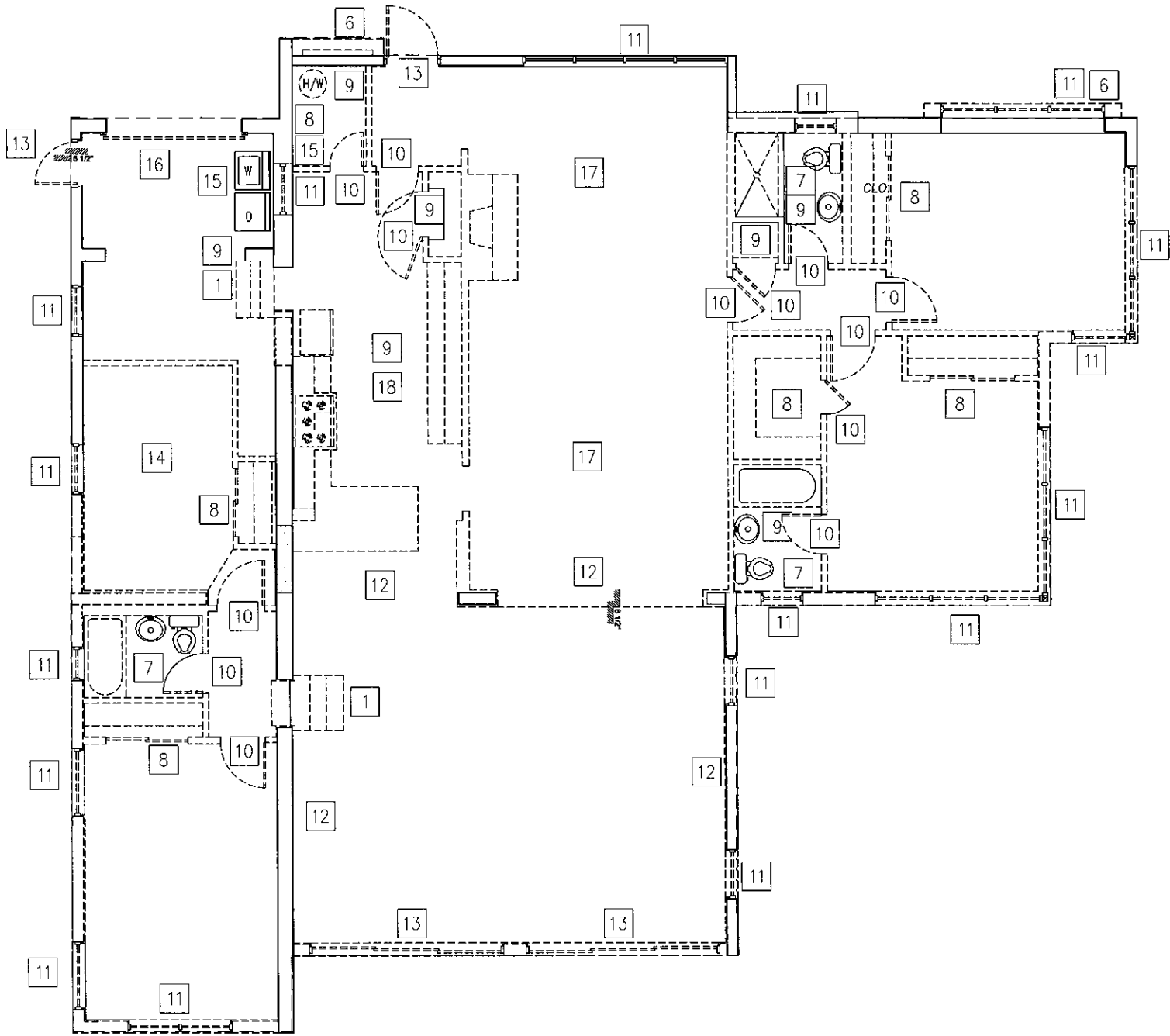
2 DEMOLITION LEGEND
SCALE: NOT TO SCALE

DEMOLITION KEYNOTES

- 6 REMOVE BRICK FINISH
- 7 REMOVE ALL BATHROOM FIXTURES
- 8 REMOVE ALL CLOSET COMPONENTS
- 9 REMOVE ALL CABINETRY AND BUILT-INS
- 10 REMOVE EXISTING INTERIOR DOORS
- 11 REMOVE EXISTING EXTERIOR WINDOWS
- 12 REMOVE WOOD PANELS
- 13 REMOVE EXTERIOR DOOR
- 14 REMOVE ALL ROOM WALL AND CEILING STRUCTURE COMPONENTS
- 15 REMOVE WATER HEATER, WASHER AND DRYER
- 16 REMOVE GARAGE DOOR, STRUCTURE AND EQUIPMENT
- 17 REMOVE CARPET
- 18 REMOVE ALL KITCHEN APPLIANCES

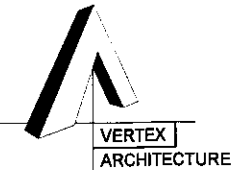
NOTES

REMOVE EXISTING EXTERIOR WINDOW AND/OR DOOR REFER TO SHEET S-1 FOR MASONRY OPENING REPAIR SPECIFICATIONS.
DEMOLISH EXISTING EXTERIOR WALL AND PREPARED FOR NEW WINDOW INSTALLATION. REFER TO STRUCTURAL PLANS FOR REINFORCEMENT DETAILS.



3 DEMOLITION KEYNOTES
SCALE: 1/8" = 1'-0"

4 DEMOLITION FLOOR PLAN
SCALE: 1/8" = 1'-0"



Architecture with a Point

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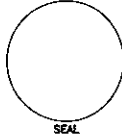
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Consultant:

Design Consultant:

Leila Grunberg 754.204.0331

REVISIONS

No.	DATE	DESCRIPTION

FLOOR PLAN

DEMOLITION

SHEET TITLE

DATE 3.10.15

DRAWN BY LG

REVIEWED BY LG

1504

PROJECT NO.

SHEET

D-002

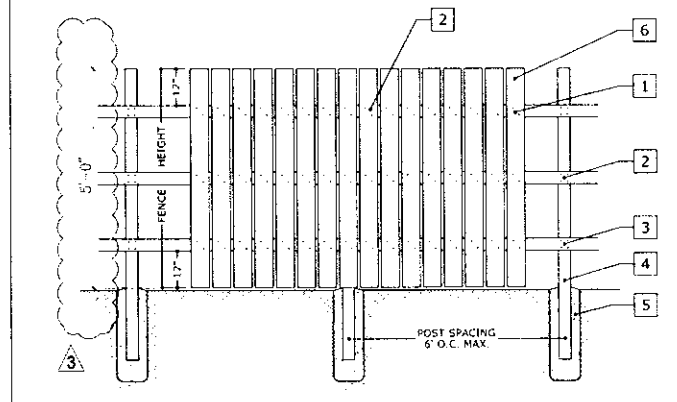
PROPOSED SITE PLAN KEYNOTES

1. DOUBLE SLIDING DRIVEWAY GATE. OPENS WEST TO EAST DIRECTION. WHEN OPENED, BOTH GATES WILL BE LOCATED BEHIND THE FENCE IN FRONT.
2. PEDESTRIAN GATE
3. FRONT YARD FRONT FENCE. SEE SHEET A-301/2
4. EXISTING WATER METER AND 1" COLD WATER LINE
5. EXISTING 3" SANITARY LINE
6. GAS METER (RELOCATED)
7. CONCRETE SLAB FOR A.C. EQUIPMENT: AC EQUIPMENT DIMENSIONS: 48" x 35" x 35"
- 7A. CONCRETE SLAB FOR A.C. EQUIPMENT: AC EQUIPMENT DIMENSIONS: 31" x 22" x 11"
8. POOL EQUIPMENT
9. PLANTER
10. WOOD FENCE 5'-0" HIGH
11. NOT USED
12. SERVICE GATE 5'-0" HIGH
13. TRASH BINS
14. PRE-FABRICATED 24" X 24" X 3" CONCRETE TILES
15. FRONT YARD SIDE FENCE. SEE SHEET A-302/2

NOTES

1. OVERHEAD POWER LINES ACROSS INSIDE THE PROPERTY LINE WILL BE PLACED UNDERGROUND
2. ALL LISTED ITEMS BY OTHERS:
A. POOL AND POOL FENCE
B. TERRACE PERGOLA
C. WOOD FENCE
D. CHAIN LINK FENCE
3. ALL FRONT YARD WALLS: 3'-00" HIGH FENCE OVER FRONT YARD WALLS: 2'-00" HIGH WOOD FENCE: 5'-0" HEIGHT
4. AC SLABS MUST BE AT B.F.E.

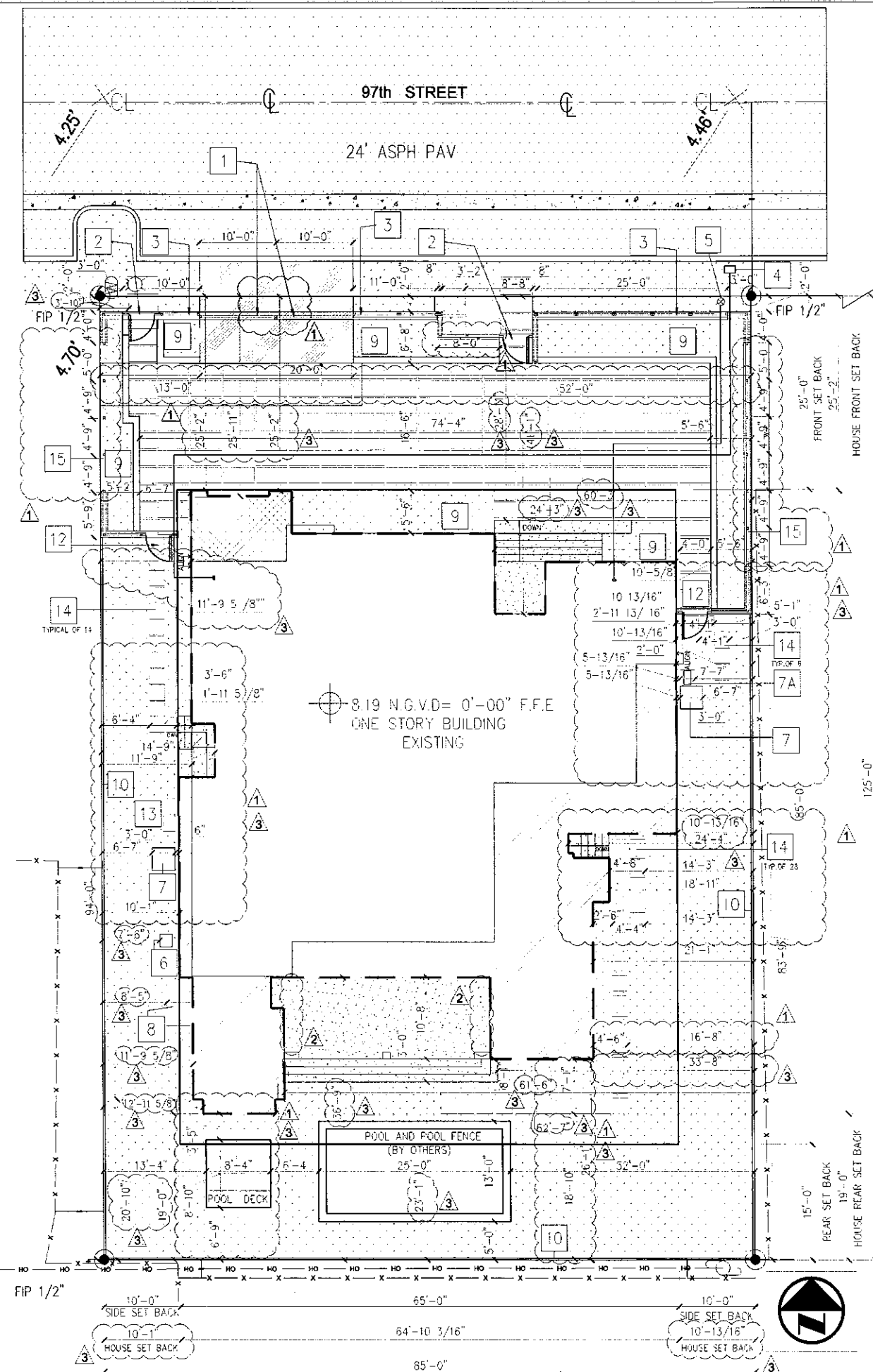
STANDARD WOOD FENCE DETAIL



1. WOOD PICKETS: MINIMUM 5/8" DRESSED THICKNESS. ATTACH EACH PICKET TO RAILS WITH TWO (2) 6D GALVANIZED NAILS OR TWO #10 GALVANIZED SCREWS
2. NAILS AND CONNECTORS: ALL CONNECTORS NAILS AND SCREWS SHALL BE GALVANIZED
3. WOOD RAILS: MAXIMUM DISTANCE FROM TOP TO BOTTOM 12" (24" ELSEWHERE) MINIMUM RAIL SIZE 2" X 4" WITH 3 RAILS REQUIRED. ATTACHED WITH A MINIMUM OF FOUR (4) 10 d GALVANIZED NAILS TO WOOD POST.
4. WOOD POSTS: No 2 GRADE OR BETTER, MINIMUM SIZE 4" X 4", MINIMUM LENGTH= FENCE HEIGHT + 24". POST SPACING TO BE 6' ON CENTER MAXIMUM
5. CONCRETE FOOTING: AT EACH POST, MINIMUM DIAMETER OF 10" WITH A MINIMUM DEPTH OF 24" FROM FINISH GRADE. MINIMUM POST EMBEDMENT IS 24".
6. N/A

LEGEND:

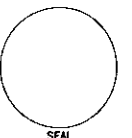
ENCLOSED EXISTING HOUSE	
ENCLOSED ADDITION/NEW ALL FLOORING TO MATCH 8.19 N.G.V.D	
ENCLOSED ADDITION/NEW ALL FLOORING TO MATCH 5.65 N.G.V.D	
24" x 48" CONCRETE SLABS W/ 5" TURF JOINT	
LANDSCAPE	
CONCRETE SLAB, STEPSTONES, STAIRS	
TINTED CONCRETE DRIVEWAY	



Architecture with a Point
AA26000839
Alejandro Santamaria, R.A. RA91405

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Addition/Renovation
to the Existing
Mizrahi Residence
1330 97 St.
Bay Harbor Islands, FL 33154

Owner:
Melina M. & Daniel Mizrahi
1330 97 St.
Bay Harbor Islands, FL 33154
Contact: Leila Grunberg 754.204.0331

Consultant:

Design Consultant:
Leila Grunberg 754.204.0331

No	DATE	DESCRIPTION
1	03-30-16	BLDG. DEPT. COMMENTS
2	03-30-16	OWNER
3	05-03-15	BLDG. DEPT. COMMENTS

PROPOSED
SITE PLAN

DATE	3.10.15
DRAWN BY	LG
REVIEWED BY	LG
PROJECT NO.	1504

A-001

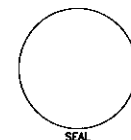
SHEET



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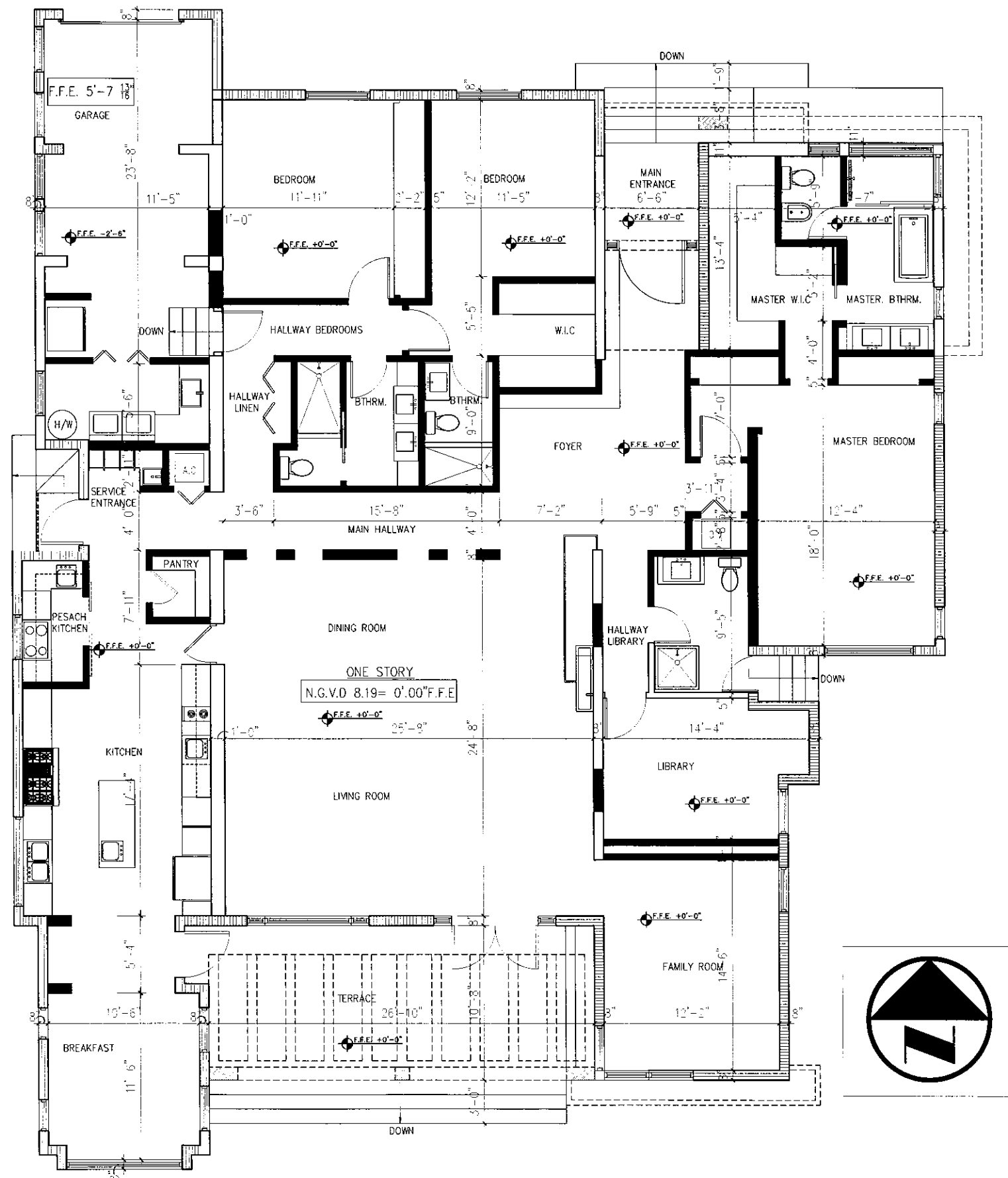
Consultant:

Design Consultant:
Leila Grunberg 754.204.0331

REVISIONS		
No.	DATE	DESCRIPTION

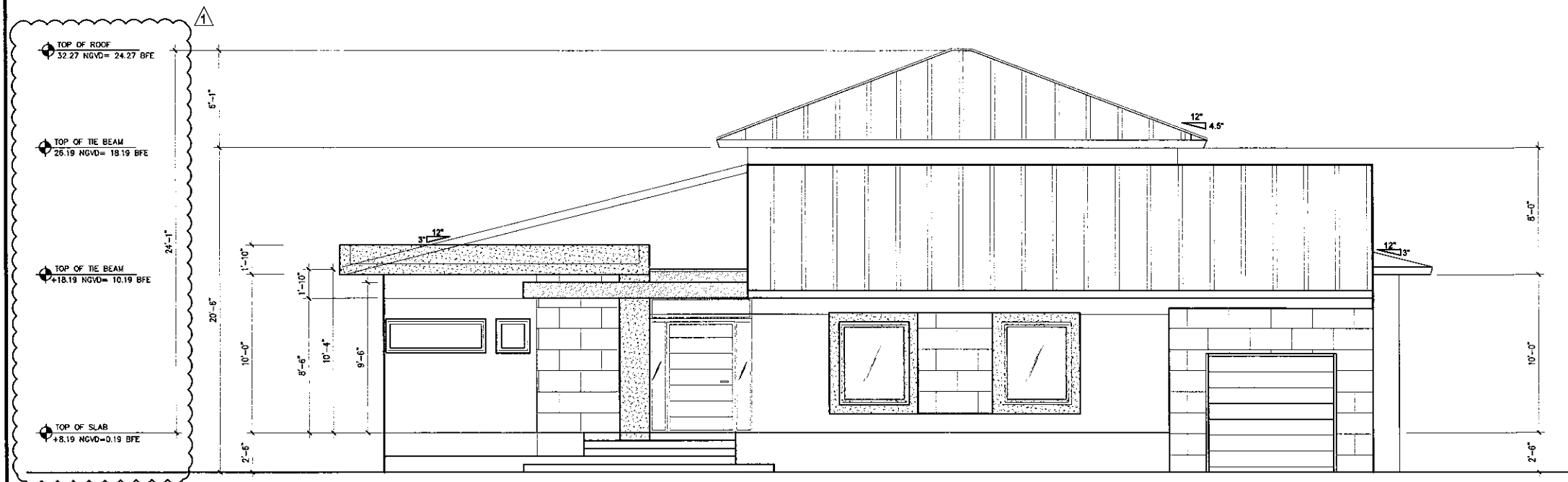
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DATE: 3.10.15
DRAWN BY: LG
REVIEWED BY: LG
PROJECT NO. 1504

SHEET A-101

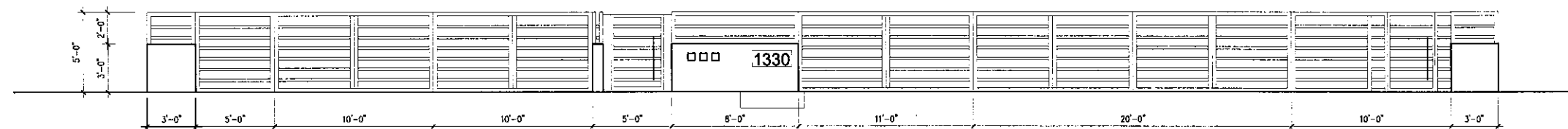


LEGEND	#
STUCCO FINE SAND FINISH. COLOR: BENJAMIN MOORE: HC-77, ALEXANDRIA BEIGE	1
ALUMINUM DECORATIVE ELEMENT AND STREET FENCE COLOR: BENJAMIN MOORE: 1631, MIDNIGHT OIL.	2
GRAY SMOOTH CEMENT FINISH	3
TRAVERTINE HONED MARBLE	4
STANDING SEAM ALUMINUM PANEL COLOR: CHARCOAL	5/5'
WOOD FINISH FOR MAIN ENTRANCE DOOR AND GARAGE DOOR, WALNUT MATTE	6
EXTERIOR DOOR AND WINDOW IMPACT RESISTANT LAMINATED GLASS, TINT: STANDARD BRONZE	7
EXTERIOR DOOR AND WINDOW FRAMES: STANDARD COLOR BRONZE	8

NOTES:
 1.- WOOD PERGOLA: WALNUT FINISH
 2.- ALL DOOR AND WINDOW FRAMES
 & DOOR AND WINDOW GLASS: PGT WINDGUARD
 OR SIMILAR
 3.- ALL FINISHES AS NOTED ABOVE OR SIMILAR
 4.- NUMBERS OF FINISHES ARE TO BE REFERRED
 TO THE FINISHES BOARD, SHEET R-001



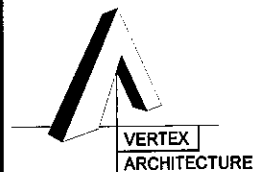
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SCALE: 1/4" = 1'-0"



4 NORTH-SIDE ELEVATION
SCALE: 1/4" = 1'-0"



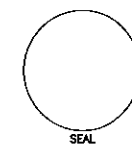
5 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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REVISIONS		
No	DATE	DESCRIPTION
1	03-30-15	BLDG. DEPT. COMMENTS

ELEVATIONS
 NORTH & SOUTH

SHEET TITLE

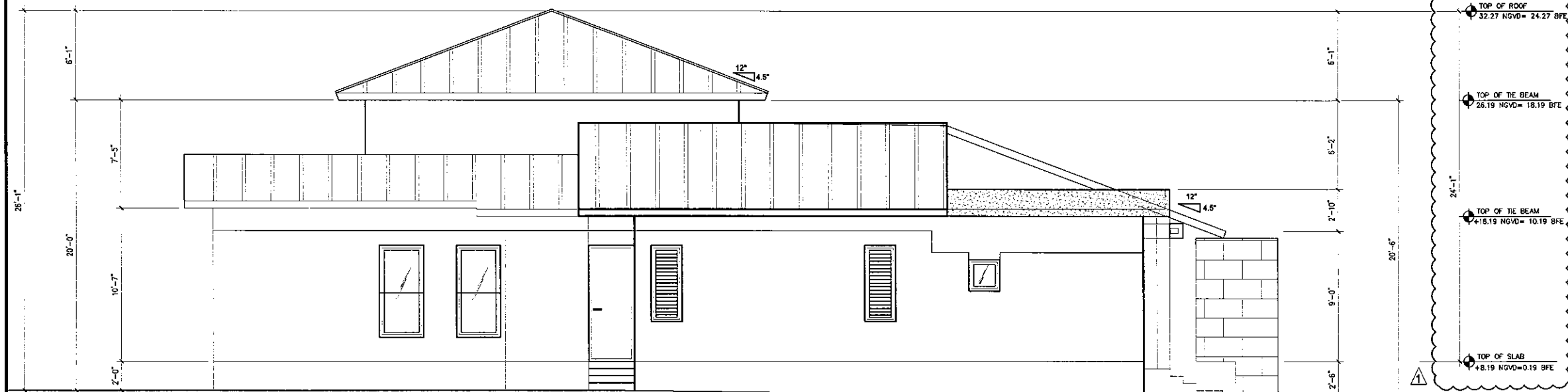
DATE 3.10.15
 DRAWN BY LG
 REVIEWED BY LG

1504
 PROJECT NO.

SHEET A-301

LEGEND	#
STUCCO-FINE SAND FINISH. COLOR: BENJAMIN MOORE: HC-77, ALEXANDRIA BEIGE	1
ALUMINUM DECORATIVE ELEMENT AND STREET FENCE COLOR: BENJAMIN MOORE: 1631, MIDNIGHT OIL	2
GRAY SMOOTH CEMENT FINISH	3
TRAVERTINE HONED MARBLE	4
STANDING SEAM ALUMINUM PANEL, COLOR: CHARCOAL	5/6'
WOOD FINISH FOR MAIN ENTRANCE DOOR AND GARAGE DOOR, WALNUT MATTE	6
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EXTERIOR DOOR AND WINDOW FRAMES, STANDARD COLOR BRONZE	8

NOTES:
 1.- WOOD PERGOLA: WALNUT FINISH
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 OR SIMILAR
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 4.- NUMBERS OF FINISHES ARE TO BE REFERRED
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VERTEX
ARCHITECTURE

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SEAL

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 Leila Grunberg 754.204.0331

REVISIONS		
No	DATE	DESCRIPTION
1	03-30-15	BLDG. DEPT. COMMENTS

**ELEVATIONS
 EAST & WEST**

SHEET TITLE

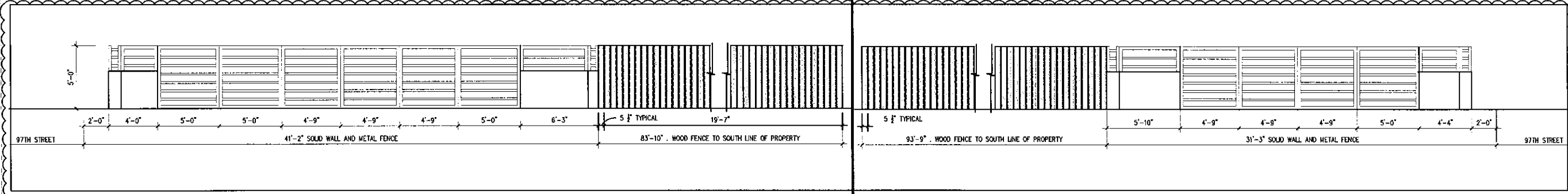
DATE: 3.10.15
 DRAWN BY: LG
 REVIEWED BY: LG

1504
 PROJECT NO.

SHEET **A-302**

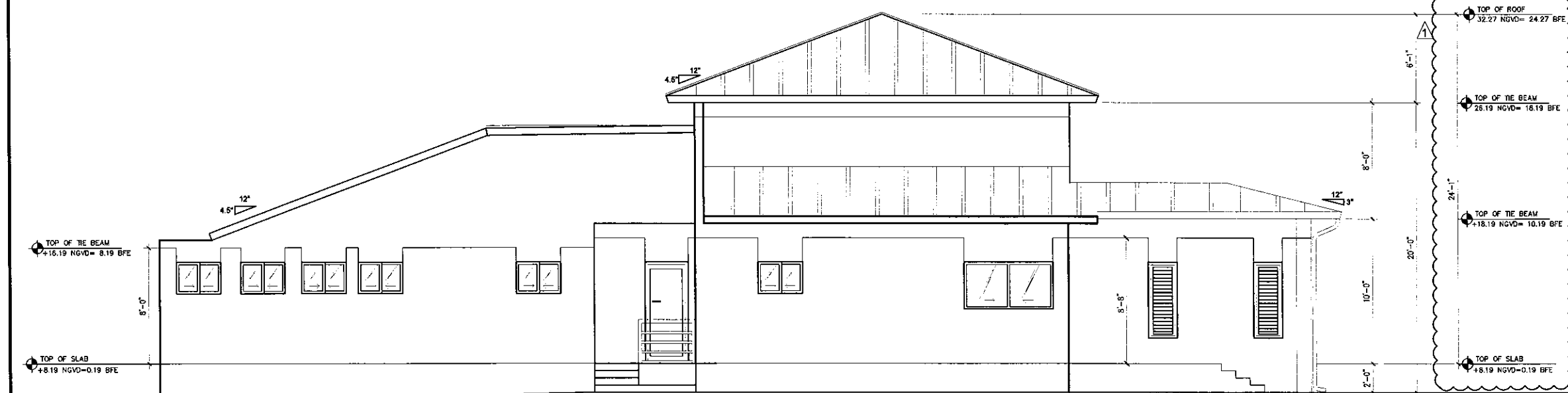
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2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



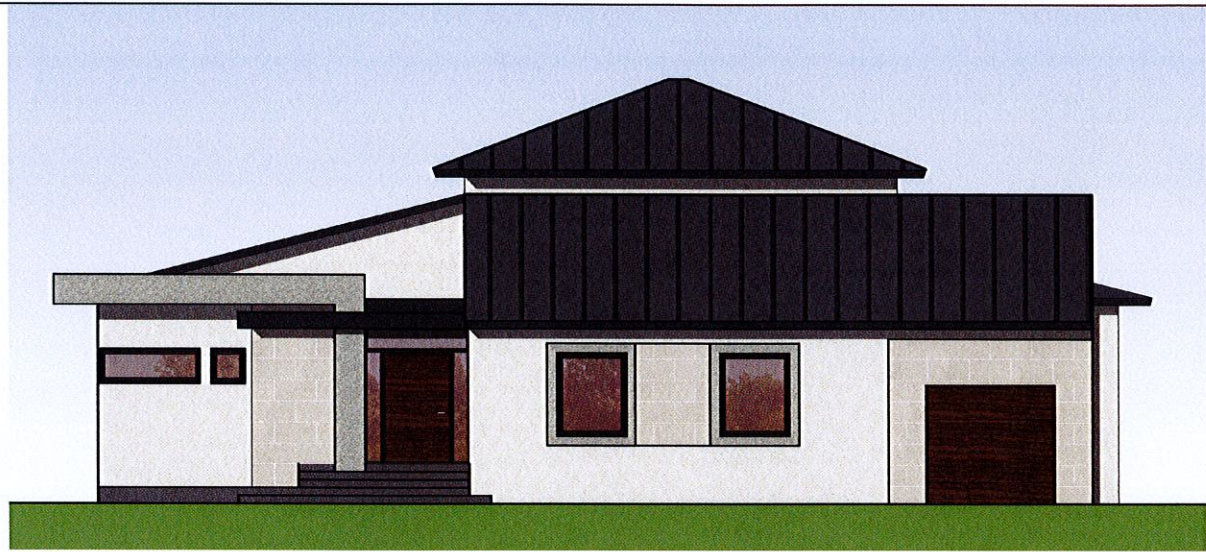
3 EAST FENCE ELEVATION
 SCALE: 1/4" = 1'-0"

4 WEST FENCE ELEVATION
 SCALE: 1/4" = 1'-0"

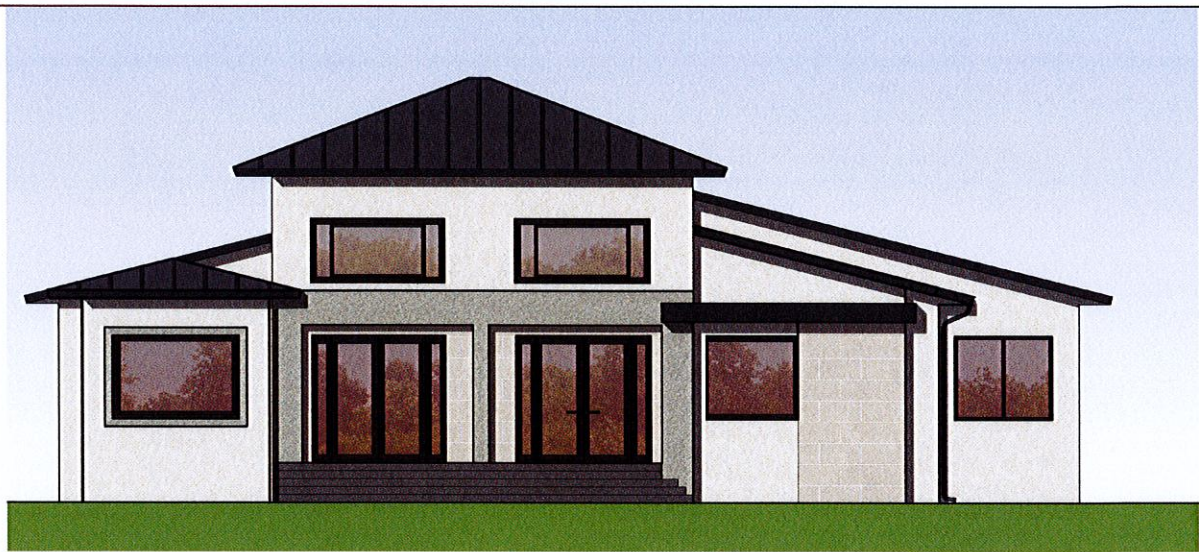


5 NOT USED
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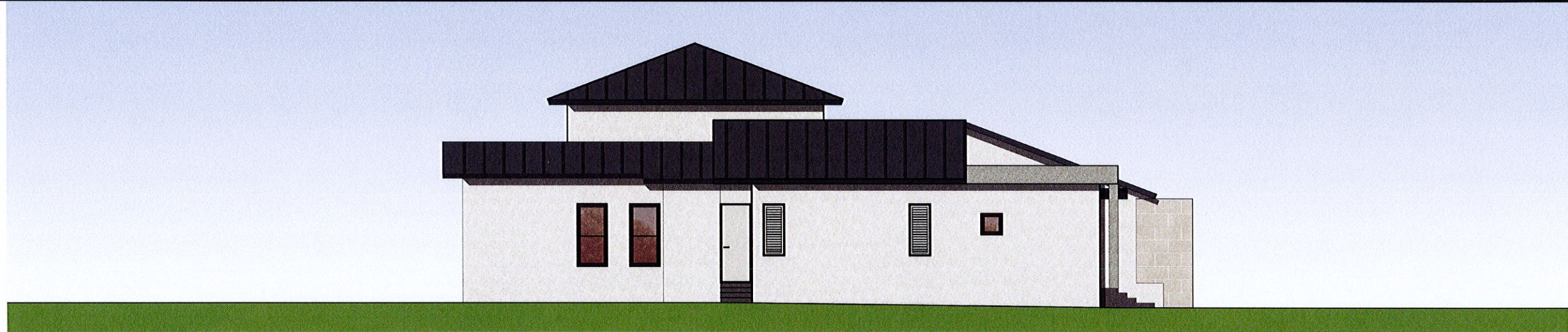
6 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



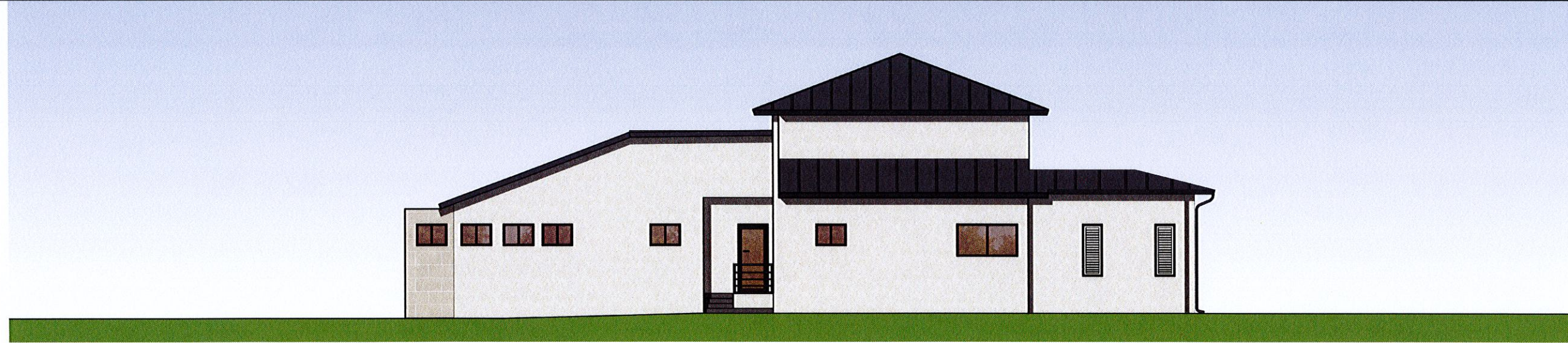
1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



3 WEST ELEVATION
SCALE: 3/16" = 1'-0"



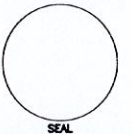
4 EAST ELEVATION
SCALE: 3/16" = 1'-0"



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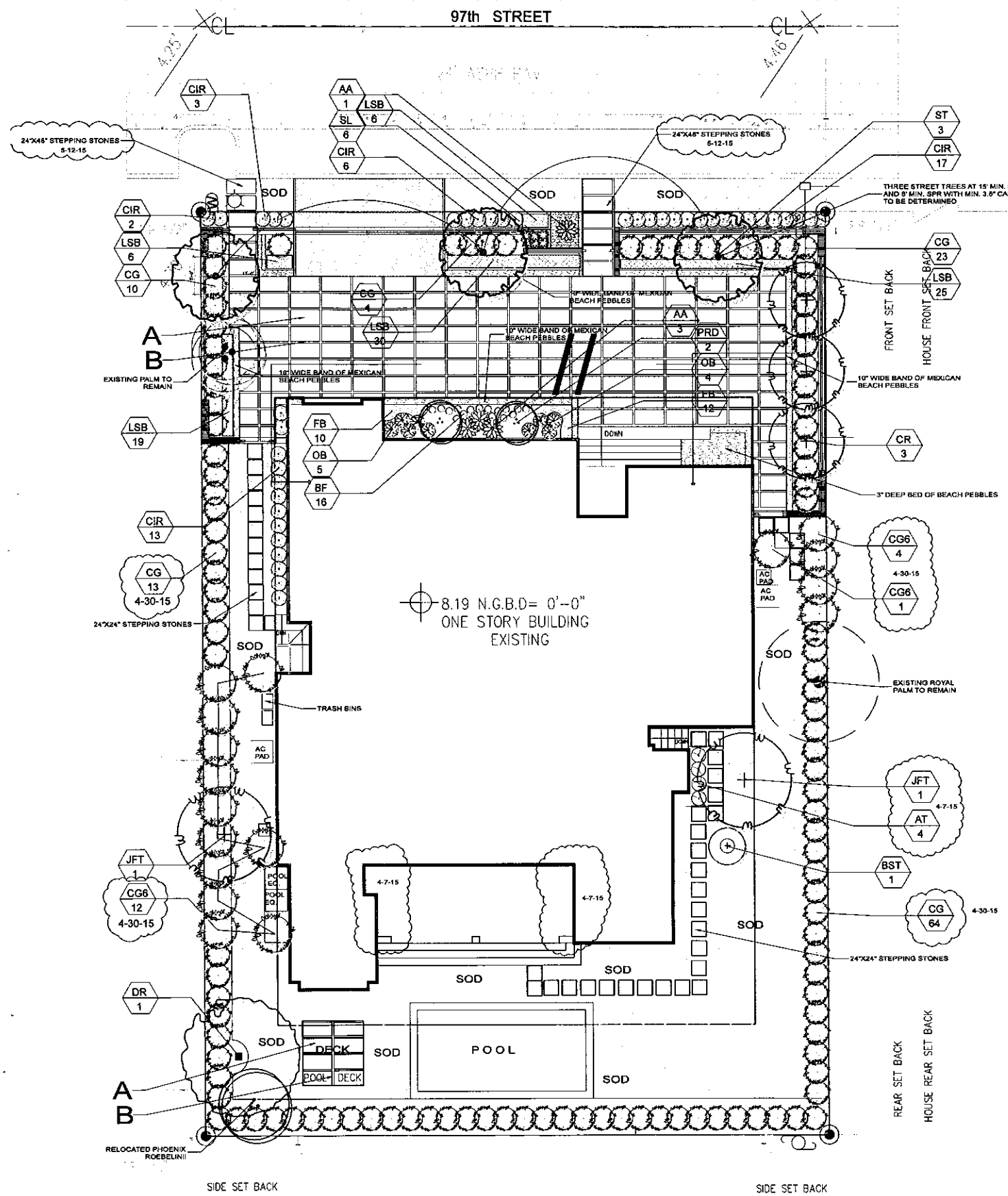
Design Consultant:
Leila Grunberg 754.204.0331

REVISIONS		
No	DATE	DESCRIPTION

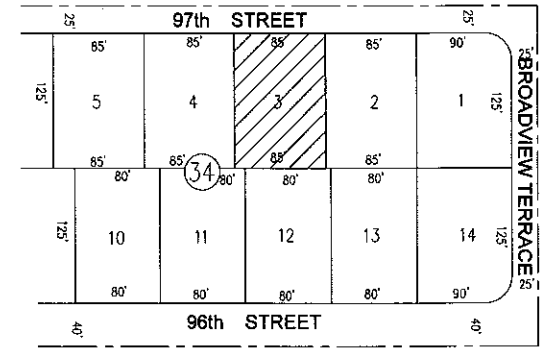
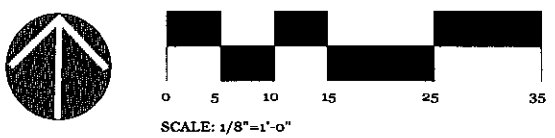
COLORED
ELEVATIONS

SHEET TITLE
DATE 3.10.15
DRAWN BY LG
REVIEWED BY LG
PROJECT NO. 1504

SHEET A-303



LEGAL DESCRIPTION:
LOT 3, BLOCK 34 OF "BAY HARBOR" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, AT PAGE 5 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	REMARKS
AA	4	Agave attenuata	Thornless Agave	7 gallon, full dense plant/ 24" x 24" Drought Tol. & Low Maint.
AT	4	Schefflera arboricola 'Trinité'	Variegated Arborescens	3 gallon, full dense plant/ 24" x 24" o.c. / Drought Tol. & Low Maint.
BF	16	Neoregelia 'Perfection'	'Perfection' Bromeliad	1 gallon, full dense plant
BST	1	Bougainvillea	Bougainvillea	6' o.a.h. / full dense tree form/ PURPLE / Drought Tolerant
CG	114	Clusia guifera	Small Leafed Clusia	7 gallon, full dense plant/ 36" x 36" o.c. / Drought Tol. & Low Maint.
CG6	17	Clusia guifera	Small Leafed Clusia	5'-6" o.a.h. / 25 gallon/ full to base/ tight spacing/ Drought Tol.
CIR	41	Clusia rosea	Coccoloba	3 gallon, full dense plant/ 24" x 24" o.c. / NATIVE
CR	3	Clusia rosea	Pitch Apple	12' o.a.h. x 6" spr. / 2.5" min. caliper/ Florida #1/ NATIVE
DR	1	Dalmanella regia	Royal Palmetto	12' o.a.h. x 6" spr. / 2.5" min. caliper/ Florida #1
FB	22	Neoregelia 'Fireball'	Fireball Bromeliad	1 gallon, full dense plant/ 12" o.c.
JFT	2	Ficus filicoides	Japanese Fern Tree	12' o.a.h. x 8" spr. / 2.5" min. caliper/ Florida #1
LSB	86	Liriodendron 'Super Blue'	Super Blue Liriodendron	1 gallon, full dense plant/ 12" o.c. / Drought Tol. & Low Maint.
OB	9	Aechmea blanchetiana	Orange Bromeliad	3 gallon, full dense plant/ 18" x 18"
PRD	2	Phoenix roebelinii	Pygmy Date Palm	4' o.a.h. / triple, full dense heads
ST	3	STREET TREE AS REQUIRED BY BAY HARBOR ISLANDS		SPECIES TO BE DETERMINED/ min 15' o.a.h., 4" cal.

Items in rectangles represent most recent changes.

Town of Bay Harbor Islands
Landscape Code (Sec. 24-16) Requirements

Single Family Residential Home Site

A. Shade Trees Required

	Required	Provided
1. Single Family Non-Waterfront Lot	5	5
2. Number of Shade Trees in Front	2	2
3. Native Species Required-50%	3	3
4. Drought Tol. & Low Maint. SPP-50%	3	3

B. Shrubs Required

	Required	Provided
1. Single Family Non-Waterfront Lot	50	136
2. Native Species Required-30%	15	41
3. Drought Tol. & Low Maint. SPP-50%	25	136
4. Maximum Lawn Area Allowed-50% of Net Lot Area	6312.5 S.F. ALLOWED	2557 S.F. PROVIDED

AREA CALCULATIONS

TOTAL SITE: 10,625 SF (NOT INCLUDING R.O.W.)
HOUSE FOOTPRINT: 3,749 S.F.
TOTAL IMPERVIOUS AREA: 6,181.8 SF (58.18% OF LOT)
TOTAL PERVIOUS AREA (GREENSPACE): 4,443.2 SF (41.82% OF LOT)

MATERIALS SCHEDULE

SYMBOL	DESCRIPTION	SQUARE FOOTAGE	REMARKS
A	24"x48"x3" CAST STONE PAVERS WITH STEEL REINFORCEMENT	1282 S.F.	TO BE INSTALLED ON MORTAR BED OVER COMPACTED BASE
B	SYNTHETIC TURF SOUTHWEST GREENS 877-260-7888	246 S.F.	BOLT BOLT 60 Fiber Type: 100% Polyethylene Turf Pile Height: 1.75 inches; 50.8 mm Color: Spring Green/Green-Brown Thatch Secondary Backing: 22 oz/yd; 746 g/m; Urethane Tufted Face Weight: 60.0 oz/yd; 2713 g/m; ASTM D418 Total Weight: 109 oz/yd; 3695 g/m; ASTM D418 TO BE INSTALLED IN 3" WIDE STRIPS

Landscape Architecture
Jeff A. Houghtaling
Registered Landscape Architect
LA6666783
129 Dayton Road
Lake Worth, FL 33467
ph:(561) 434-1343
e:jeff@jbdesigninc.com
www.jbdesigninc.com
www.Honz.com

MIZRAHI RESIDENCE
1330 97TH STREET
BAY HARBOR ISLANDS, FLORIDA

Revisions	By
4-7-15 comments from S.M. Jh	Jh
4-30-15 comments from S.M. Jh	Jh
5-12-15 front step stones	Jh

Drawn
JH

Reviewed

Date
3-10-15

Scale
1/8"=1'

Project No.
15-002

Seal

Sheet No.
LP-1

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:

The scope of work for the Landscape Contractor includes furnishing all plants, materials and equipment and labor needed for installation of plant materials as indicated on plans and/or in these specifications.

2. PLANT MATERIALS:

A. All plant materials shall be nursery grown unless otherwise noted. Abbreviations on plant list:

C.T. (Indicates clear trunk)
Spr. (Indicates spread)
Cl. (Indicates clear trunk measurement from top of ball to first branching)
O.A. (Indicates overall height from top of ball to mid point of current season's growth)

B. **Quality and Size:** Plants shall have a habit of growth that is normal for the species and shall be healthy, vigorous and equal or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Plants shall be measured before pruning with branches in normal position. Any necessary pruning shall be done at the time of planting. Requirements for measurements, branching, grading, quality, baling and burlapping of plants in the plant list generally follow the code of standards currently recommended by the American Association of Nurserymen, Inc., in the American Standard of Nursery Stock. Plant materials shall be graded Florida No. 1 or better as outlined under Grades & Standards for nursery plants. State Plant Board of Florida, latest edition. Plants that meet the requirements specified, but do not have the normal balance of height and spread typical for the respective plant, shall not be accepted. All plants shall be free of weeds or any other objectionable vegetation.

C. **Quantities:** All quantities indicated on the plant list are intended as a guide for the bidders and does not relieve the bidder of his responsibility to do a comprehensive plant take off. Should a discrepancy occur between the bidder's take off and the plant list quantity, the Landscape Architect is to be notified for the clarification prior to the submission of bids.

D. **Substitution:** Plant substitution requests by the Contractor will be considered by the Landscape Architect only upon submission of proof that any plant is not obtainable in the type and size specified. The Landscape Architect shall determine the nearest equivalent replacement in an obtainable size and variety. The unit price of the substitute item shall not exceed the bid item replaced, without approval of the owner.

3. COMMERCIAL FERTILIZERS:

A. Commercial fertilizer shall conform to ANSI A300 Part2 fertilizer specifications.

4. PLANTING SOIL:

Planting soil shall be sandy loam and shall contain a minimum amount of decomposed organic matter. Planting soil shall be free of clay, stones, plants, roots and other foreign materials which may be a hindrance to planting operations or be detrimental to good plant growth. Soil shall be delivered in a loose friable condition and be applied in accordance with the Planting Specifications.

5. MULCH:

Mulches shall not contain sticks larger than 1/4 inch in diameter, stones, or other foreign material that will prevent the eventual decay of the mulch necessary for its complete effectiveness. Mulch shall be applied evenly in a 3" mat.

6. WATER:

Water for planting will be available at the site and will be provided by the Owner. All conditions regarding site water shall be verified by Contractor prior to submission of bids.

7. PROTECTION OF PLANTS:

A. **Root Protection:**

1. **Balled and Burlapped Plants:** Plants designated "B & B" (balled and burlapped) shall be dug with firm natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of plant. Balls shall be firmly wrapped with burlap. All collected plants shall be B&B.

2. **Container Grown Plants:** Plants grown in containers will be accepted as "B & B" providing that all other specified requirements are met. Container grown plants shall meet plant sizes as specified on the plant list and on the Drawings, and shall not be governed by container sizes.

B. **Protection During Transportation:** All plant material shall be protected from possible bark injury or breakage of branches. All plants transported by open trucks shall be adequately covered to prevent windburn, drying or damage.

C. **Protection After Delivery:** Plants which cannot be planted immediately on delivery to the site shall be covered with moist soil, mulch, or other protection from the drying of wind and sun. All plants shall be watered as necessary until planted. Storage period shall not exceed seventy-two (72) hours.

D. **Protection of Palms (if Applicable):** Only a minimum of fronds shall be removed from the crown of the palm trees to facilitate moving and handling. With the exception of Cabbage Palms, which shall be "hurricane cut".

E. **Protection During Planting:** Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, wood battens, or other approved methods.

8. IMPLEMENTATION

A. **Layout:** Locations of plants and outlines of shrub beds are indicated on the PLAN. All tree, palm, and accent locations shall be staked in the field by the Contractor, so as to satisfactorily match the locations indicated on the plan. Any unforeseen underground utilities shall be verified by General Contractor and communicated to the L.A. ASAP so that necessary adjustments can be made.

B. **Soil Preparation:** Soil shall be prepared in accordance with specifications outlined in statement 4.

C. **Excavation for Planting:** Excavation of plant pits shall be circular in outline and shall extend to the required subgrades as specified hereunder. The minimum depth of plant pits specified below shall be measured from the finish grade. Mass planting beds shall be stripped of all vegetation prior to planting.

D. **Balled and Burlapped Plants:** After final setting, loosen burlap wrappings exposing the top of the root ball, leaving the ball unbroken. Remove excessive amounts of burlap to eliminate voids which may be caused upon decomposition.

E. **Container Grown Plants:** Container grown plants shall, when delivered, have sufficient growth to hold earth intact when removed from container and shall not be root bound. Plant pits for container materials shall be formed flat on the bottom to avoid air pockets at the bottom of the root balls and containers shall be removed carefully to prevent damage to plant or root system.

F. **Pit Sizes:** Minimum diameter (width) and depth of planting pits for balled and burlapped, and container grown plants shall be as follows:

1. Diameter — Trees: 18" greater than diameter of ball or spread of roots.

2. Diameter — Shrubs: 6" greater than diameter of ball or spread of roots.

3. Depth — Trees and Shrubs: 4" greater than depth of ball or roots to provide 4" of topsoil backfill under the rootball. (Large, heavy trees and shrubs may sit directly on unexcavated pit bottom if it is determined that undue settlement may occur.)

4. Depth — Vine Groundcovers: Pits shall conform to accepted nursery practice for the particular species and equal the plant pot depth plus one (1) inch.

G. **Setting Trees and Shrubs:** Unless otherwise specified, all trees and shrubs shall be planted in pits, centered, and set on four inches (4") of compacted planting soil to such depths that the finished grade level of the plant after settlement shall be the same as that at which the plant was grown. They shall be planted upright and faced to give the best appearance or relationship to adjacent structures. No burlap shall be pulled out from under the balls. Platforms, wire, and surplus binding from top and sides of the balls, shall be removed. All broken or frayed roots shall be cut off cleanly. Soil shall be placed and compacted thoroughly, avoiding injury and shall be settled by watering. No filling around trunks will be permitted. After the ground settles, additional soil shall be filled in to the level of the finished grade allowing for three inches (3") of mulch. Form a shallow saucer around each plant by placing a ridge of soil along the edge of the plant pit.

H. **Setting Palms:** All palms shall be planted in sand, thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future waterings. Saucer areas shall be top dressed two inches (2") deep with topsoil raked and left in a neat, clean manner.

I. **Fertilization:** All fertilization shall conform to ANSI A300 Part 2 specifications.

J. **Correct Placement of Granules:** Refer to ANSI A300 Part 2 specifications on fertilization.

K. **Pruning:** Remove dead and broken branches from all plant materials. Prune to retain typical growth habit of individual species with as much height and spread as is practicable. Make all pruning cuts with a sharp instrument flush with trunk or adjacent branch, in such a manner as to ensure elimination of stubs. "Headback" cuts, right angle to line of growth, will not be permitted and trees will not be topped or topped. Palms shall not be topped. All pruning shall be done with approved waterproof antiseptic tree paint and remove trimmings from site.

L. **Guying and Staking:** Guy all trees 1 — 1 1/2" in caliper and greater in three (3) directions with double strands of No. 12 galvanized wire attached to approved anchors driven below grade. When securing wires to trees, cover all wires which may come in contact with any part of tree with new rubber hose. Place guys not less than 1/3 of the height of tree above finished diameter or more, if possible. All hoses shall be interlocked around tree trunk. Place anchors so that guys are equally spaced and at 45 degree angles to horizontal. Keep guys tight until project completion. In staking palms and broadleaf trees no nails or other fasteners will directly penetrate the trunks. Wood 2 x 4 battens 12 inches long, separated by a minimum of four (4) layers of burlap can be attached to the trunk of the trees with metal banding. Stakes can only be nailed to the wooden battens.

M. **Excess Excavated Soil:** Excess excavated soil shall be disposed of by the Contractor at no additional expense to the Owner.

9. SOD (When Applicable):

A. **Soil:** The contractor shall submit a unit price per cubic yard for the supply and distribution of planting soil as herein before specified, to be applied at a depth of one inch (1") to all areas receiving sod.

B. **Grades:** Finish (fine) grade all landscape areas, eliminating all bumps, depressions, sticks, stones and other debris to the satisfaction of the Landscape Architect prior to the application of sod. If supplemental topsoil is to be spread, no sod shall be laid until the depth of this soil has been approved.

C. The sod shall be as called for on the Landscape Drawings. Sod shall be of firm, tough texture, having a compact growth of grass with good root development, and shall contain no Bermuda Grass, weeds, or any other objectionable vegetation. The soil embedded in the sod shall be good earth, free from stones and debris and all sod shall be free from fungus, vermin and other diseases.

D. Before being cut and lifted, the sod shall have been mowed at least three times with a lawn mower, with the final mowing not more than seven (7) days before the sod is cut. The sod shall be carefully cut into uniform dimensions.

E. Solid sod shall be laid with closely abutting joints with a tamped or rolled surface. It shall be the responsibility of the contractor to bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas.

10. CLEAN UP:

Any soil, peat or similar material which has been brought onto any paved areas shall be removed promptly, keeping these areas clean as the work progresses. Upon completion of the planting, all excess soil, stones and debris which has not been previously cleaned up shall be removed from the site.

11. MAINTENANCE:

A. Maintenance shall begin immediately after each plant is planted and shall continue until all planting has passed final inspection and acceptance. Maintenance shall include watering, weeding, cultivating, removal of dead materials, resetting plants to proper grades or upright positions and restoration of the planting saucer and any other necessary operations. Proper protection to lawn areas shall be provided and any damage resulting from planting operations shall be repaired promptly.

B. planting.

C. In the event of the threat of serious damage resulting from insects or disease prior to final acceptance, the plants shall be treated by preventative or remedial measures approved for good horticultural practice at no additional cost to the Owner.

12. INSPECTION AND ACCEPTANCE:

A. **Inspection:** Inspection of work to determine completion of contract, exclusive of the possible replacement of plants, will be made by the Owner and /or Landscape Architect, at the Contractor.

B. **Acceptance:** After inspection, the contractor will be notified by the Owner and/or Landscape Architect of the acceptance of all plant material and workmanship, exclusive of the possible replacement of plants subject to guarantee.

13. GUARANTEE AND REPLACEMENT:

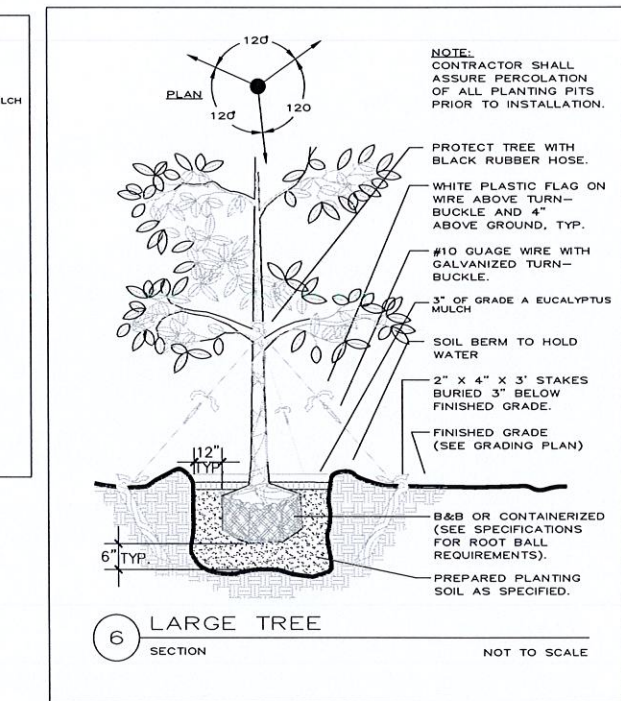
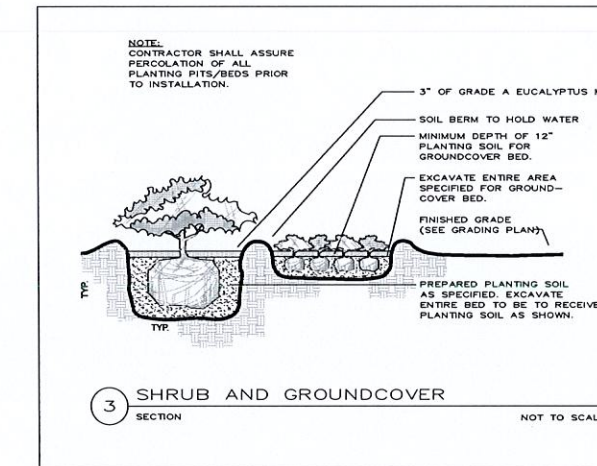
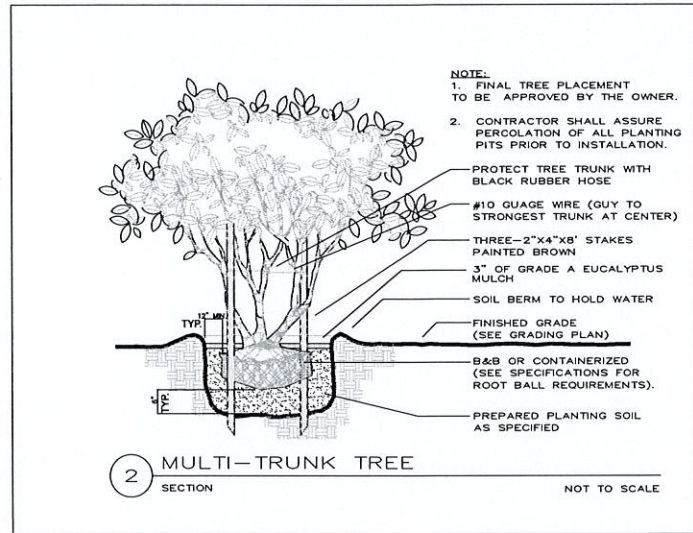
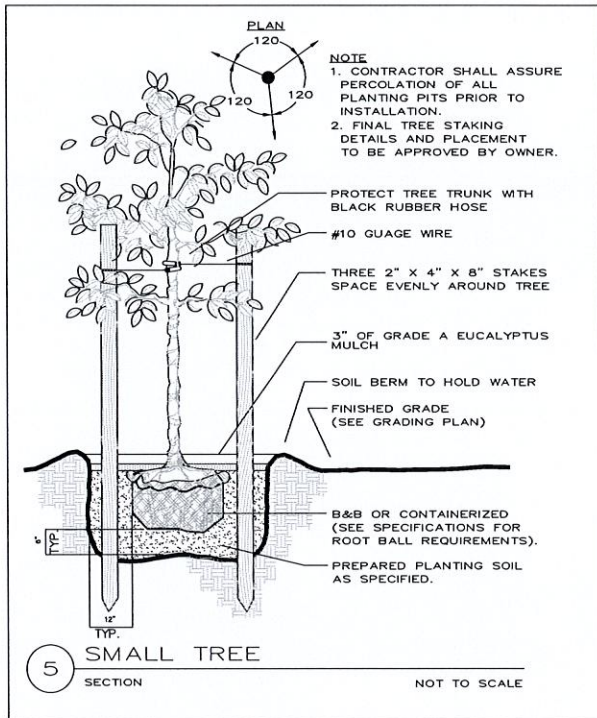
A. **Guarantee:** The Contractor, as part of his Contract, shall furnish a written guarantee warranting all materials, workmanship and plant materials, except sod, for a period of six (6) months from the time of completion and acceptance. All plant materials shall be alive and in satisfactory condition and growth for each specific kind of plant at the end of the guarantee period. Where vandalism is agreed by the Landscape Architect as the cause for replacement, the Contractor shall not be responsible for replacement during the six month guarantee after final acceptance.

*Trees and Palms shall be guaranteed for twelve (12) months.

B. Sod shall be guaranteed for a two (2) month period, dating from final acceptance and any lawn care which becomes necessary during the completion period will be the responsibility of the Contractor to ensure a vigorous strand of grass.

GENERAL NOTES

- Contractor shall field verify all site conditions prior to initiating planting installation. All existing planting shall remain intact and undisturbed unless otherwise noted on the plans.
- Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
- Contractor shall familiarize himself/herself with existing site conditions prior to initiating planting installation. All existing site furnishings, paving, landscape and other elements to remain shall be protected from any damage unless otherwise noted.
- Report any discrepancies between the construction drawings and field conditions to JBD Design, Inc. immediately.
- Landscape contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the Contractor's own work.
- The location of the landscape holding area will be identified by the owner's representative. The contractor shall adhere to the access routes to and from the holding area without disrupting or impeding access to the site by others.
- All plant material shall be in full and strict accordance to Florida No. 1 grade, according to the "Grades and Standards for Nursery Plants" (latest edition) published by the Florida Department of Agriculture and Consumer Services, the project manual and/or specifications. Plant materials shall instead in some instances some specifications if necessary to meet the minimum requirements of others.
- All container and caliper sizes noted on plant list are minimum. Increase size if necessary to conform to plant size and specifications.
- Any tree with a trunk formed "V" shape crotch and co-dominant leaders will be rejected.
- Typically shrub and groundcover plantings are shown as mass planting beds. Plants shall be placed on a triangular spacing configuration (staggered spacing). Plant center to center dimensions (O.C.) are listed under "Comments" on the plant list.
- Landscape Contractor shall field stake the location of all plant material prior to initiating installation for the review and approval of the Owner's Representative and/or Landscape Architect.
- Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/or existing above ground elements. All changes required shall be completed at the Contractor's expense and shall be coordinated with the Owner's Representative and/or the Landscape Architect.
- Contractor shall mulch all new plant material throughout and completely to depth specified.
- Any substitutions in size and/or plant material must be approved by the Landscape Architect. All plants will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin.
- Contractor shall refer to the landscape planting details, plant list, general notes and the specifications for further and complete landscape planting instructions.
- Landscape Contractor shall coordinate all planting work with irrigation work. Landscape Contractor shall be responsible for hand watering as required by Owner's Representative to supplement irrigation watering and rainfall. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
- Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner's Representative.
- Landscape Contractor shall regrade all areas disturbed by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal size and quality) any and all surfacing materials disturbed or damaged by plant removal, relocation, and/or installation work.
- Landscape shall be permitted in easements only with the written permission of the easement holder. The written permission shall specify those responsible for replacing disturbed planting areas and shall be submitted to the County. Written permission to plant in easements shall be filed with the land records applicable to the site.



Revisions By
4-7-15 comments from S.M. JH
4-30-15 comments from S.M. JH
5-12-15 front step stones JH

Drawn Reviewed
JH

Date Scale
3-10-15

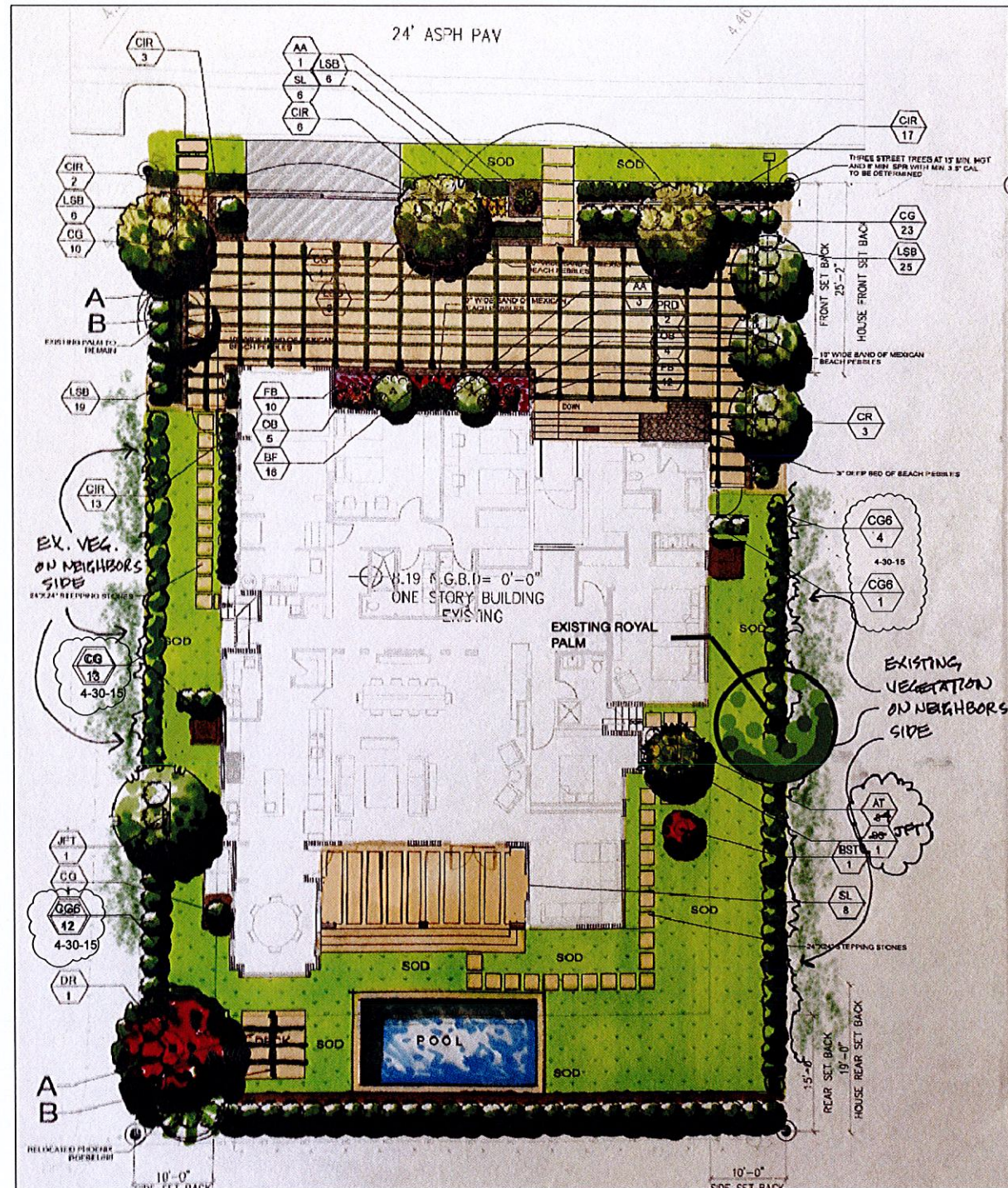
Project No.
15-002

Seal

Sheet No.

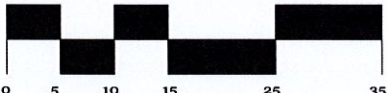
LANDSCAPE SPECIFICATIONS AND PLANTING DETAILS

LP-2

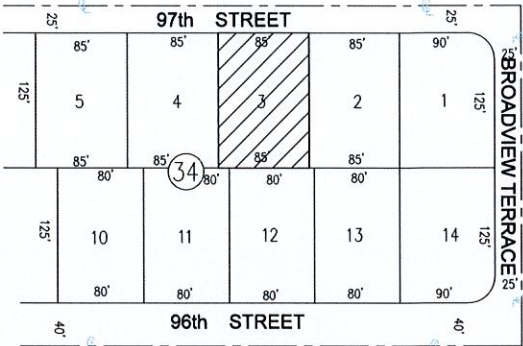


COLORED LANDSCAPE PLAN (UPDATED 5-12-15)

LEGAL DESCRIPTION:
LOT 3, BLOCK 34 OF "BAY HARBOR" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, AT PAGE 5 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



SCALE: 1/8"=1'-0"



LOCATION MAP

N.T.S.

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	REMARKS
AA	4	Agave attenuata	Thornless Agave	7 gallon, full dense plant/ 24" x 24" / Drought Tol. & Low Maint.
AT	4	Scheffera arboricola 'Trinette'	Variegated Arboricola	3 gallon, full dense plant/ 24"x24" 24" o.c. / Drought Tol. & Low Maint.
BF	16	Neoregelia "Perfection"	"Perfection" Bromeliad	1 gallon, full dense plant
BST	1	Bougainvillea	Bougainvillea	6' o.a.h. / full dense tree form/ PURPLE / Drought Tolerant
CG	114	Clusia guttifer	Small Leafed Clusia	7 gallon, full dense plant/ 36" x 36", 36" o.c. / Drought Tol. & Low Maint.
CG6	17	Clusia guttifer	Small Leafed Clusia	5'-6" o.a.h. / 25 gallon/ full to base/ tight spacing/ Drought Tol.
CIR	41	Chrysobalanus icaco	Cocoplum	3 gallon, full dense plant/ 24"x24" 24" o.c. / NATIVE
CR	3	Clusia rosea	Pitch Apple	12' o.a.h. x 8" spr/ 2.5" min. caliper/ Florida #1/ NATIVE
DR	1	Delonix regia	Royal Poinciana	12' o.a.h. x 8" spr/ 2.5" min. caliper/ Florida #1
FB	22	Neoregelia "Fireball"	Fireball Bromeliad	1 gallon, full dense plant/ 12" o.c.
JFT	2	Filicium decipiens	Japanese Fern Tree	12' o.a.h. x 8" spr/ 2.5" min. caliper/ Florida #1
LSB	86	Liriope "Super Blue"	Super Blue Liriope	1 gallon, full dense plant/ 12" o.c. / Drought Tol. & Low Maint.
OB	9	Aechmea blanchetiana	Orange Bromeliad	3 gallon, full dense plant/ 18" x 18"
PRD	2	Phoneix roebelinii	Pygmy Date Palm	4' o.a.h. / triple, full dense heads
ST	3	STREET TREE AS REQUIRED BY BAY HARBOR ISLANDS		SPECIES TO BE DETERMINED/ min 15' o.a.h., 4" cal.

Items in rectangles represent most recent changes.

Town of Bay Harbor Islands
Landscape Code (Sec. 24-16) Requirements

Single Family Residential Home Site

A. Shade Trees Required

	Required	Provided
1. Single Family Non-Waterfront Lot	5	5
2. Number of Shade Trees in Front	2	2
3. Native Species Required-50%	3	3
4. Drought Tol. & Low Maint. SPP--50%	3	3

B. Shrubs Required

	Required	Provided
1. Single Family Non-Waterfront Lot	50	136
2. Native Species Required--30%	15	41
3. Drought Tol. & Low Maint. SPP--50%	25	136
4. Maximum Lawn Area Allowed--50% of Net Lot Area	5312.5 S.F. ALLOWED	2557 S.F. PROVIDED

AREA CALCULATIONS

TOTAL SITE: 10,625 SF (NOT INCLUDING R.O.W.)

HOUSE FOOTPRINT: 3,749 S.F.

TOTAL IMPERVIOUS AREA: 6,181.8 SF (58.18% OF LOT)

TOTAL PERVIOUS AREA (GREENSPACE): 4,443.2 SF (41.82% OF LOT)

MATERIALS SCHEDULE

SYMBOL	DESCRIPTION	SQUARE FOOTAGE	REMARKS
A	24"x48"x3" CAST STONE PAVERS WITH STEEL REINFORCEMENT	1282 S.F.	TO BE INSTALLED ON MORTAR BED OVER COMPACTED BASE
B	SYNTHETIC TURF SOUTHWEST GREENS 877-260-7888	248 S.F.	BOLT BOLT 60 Fiber Type: 100% Polyethylene Turf Pile Height: 1.75 inches; 50.8 mm Color: Spring Green/Green-Brown Thatch Secondary Backing: 22 oz/yd; 746 g/m; Urethane Tufted Face Weight: 60.0 oz/yd; 2713 g/m; ASTM D418 Total Weight: 109 oz/yd; 3695 g/m; ASTM D418 TO BE INSTALLED IN 3" WIDE STRIPS

Landscape Architecture
J B D Design Inc.
Jeff A. Houghtaling
Registered Landscape Architect
LA6666783
129 Dayton Road
Lake Worth, FL 33467
ph: (561) 434-1343
e: jeff@jdbdesigninc.com
www.jdbdesigninc.com
www.Houzz.com

MIZRAHI RESIDENCE
1330 97TH STREET
BAY HARBOR ISLANDS, FLORIDA

Revisions	By
4-7-15 comments from S.M. jh	jh
4-30-15 comments from S.M. jh	jh
5-5-15 UPDATE	jh
5-12-15 front step stones	jh

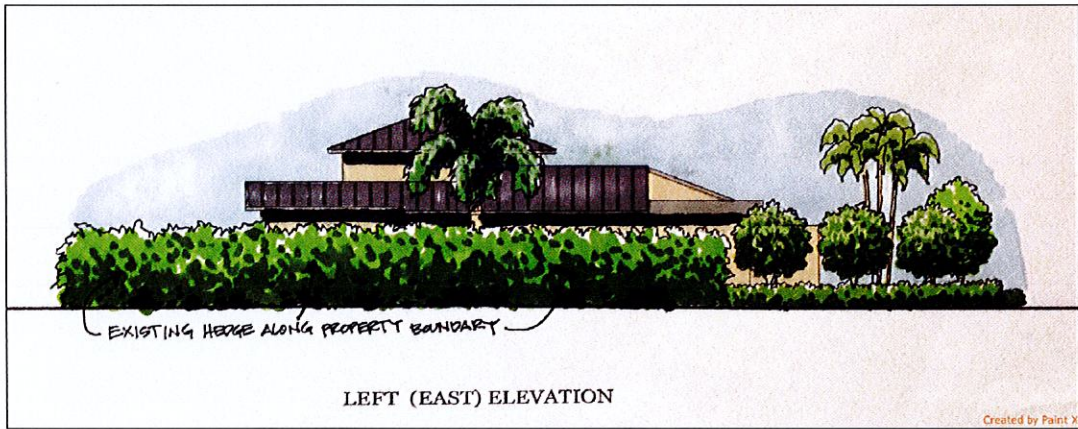
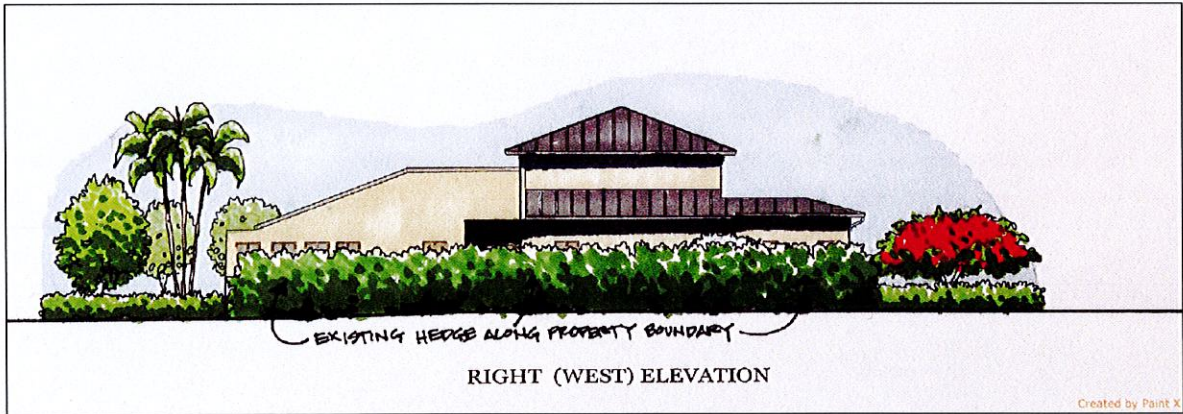
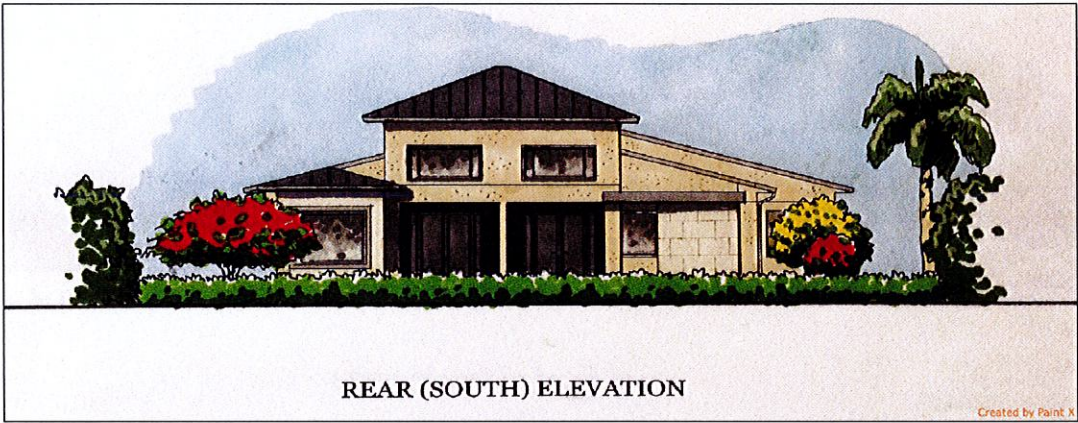
Drawn	Reviewed
JH	

Date	Scale
3-10-15	1/8"=1'

Project No.
15-002

Seal

Sheet No.
LPC-1



MIZRAHI RESIDENCE
1330 97TH STREET
BAY HARBOR ISLANDS, FLORIDA

Revisions By
4-7-15 comments from S.M. jh

Drawn Reviewed
JH

Date Scale
3-10-15 not to scale

Project No.
15-002

Seal

Sheet No.
LPC-2



SOUTH - WEST ELEVATION



NORTH - EAST ELEVATION



WEST ELEVATION



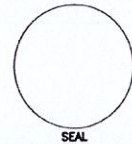
EAST ELEVATION



Architecture with a Point
AA26000839
Alejandro Santamaria, R.A. AR91405

Vertex Architecture, Inc.
10251 SW 72 St., #104
Miami, FL 33173
Ph: 305 273 7555
Fax: 305 565 9696
www.VertexArchitecture.com
AS@VertexArchitecture.com

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IN MY PROFESSIONAL JUDGMENT AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE PLANS AND SPECIFICATIONS CONTAINED HEREIN COMPLY WITH ALL APPLICABLE BUILDING CODES.

Addition/Renovation
to the Existing
Mizrahi Residence
1330 97 St.
Bay Harbor Islands, FL 33154

Owner:
Melina M. & Daniel Mizrahi
1330 97 St.
Bay Harbor Islands, FL 33154
Contact: Leila Grunberg 754.204.0331

Consultant:

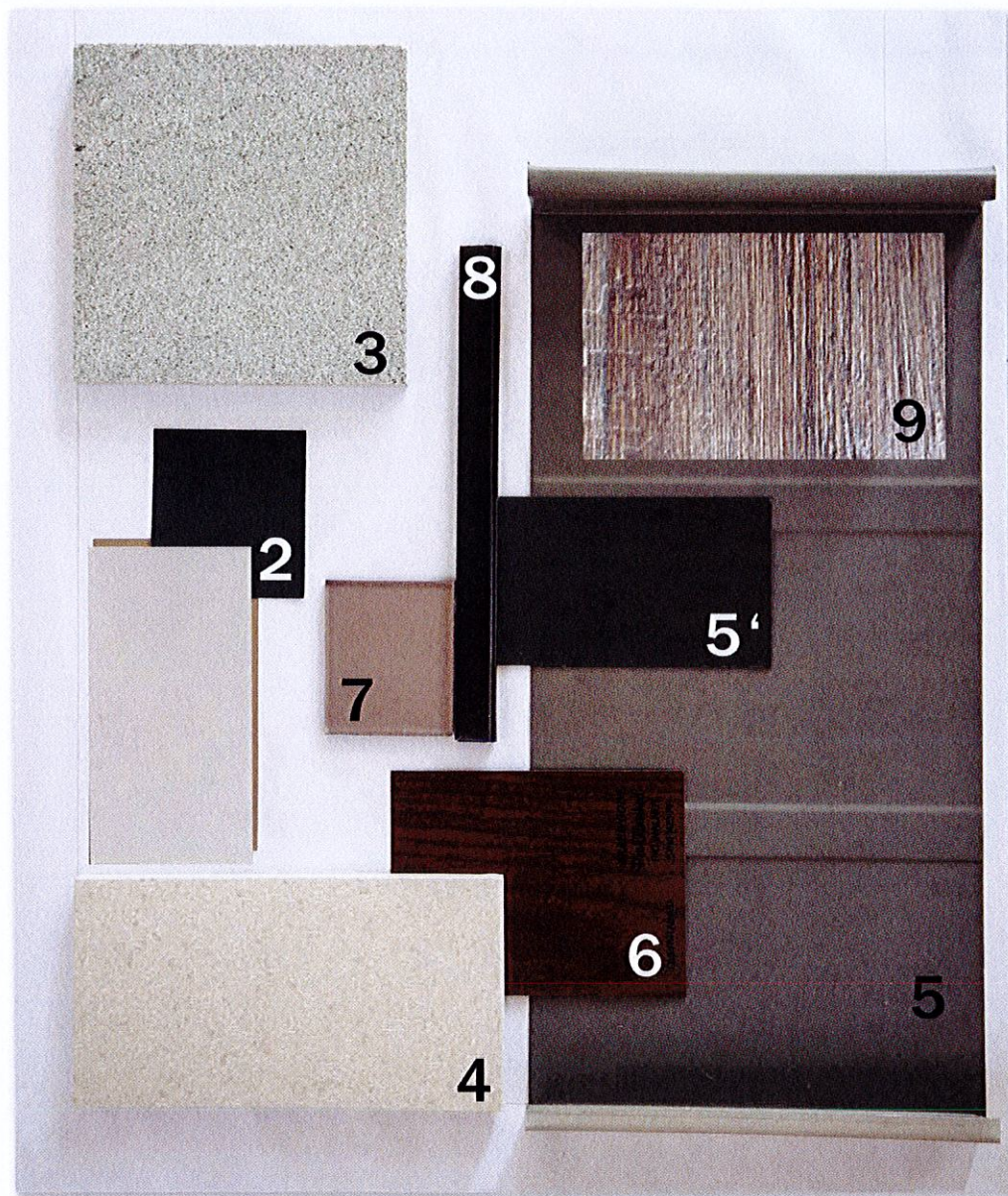
Design Consultant:
Leila Grunberg 754.204.0331

REVISIONS		
No	DATE	DESCRIPTION

R-001

SHEET TITLE		
DATE	3.10.15	1504 PROJECT NO.
DRAWN BY	LG	
REVIEWED BY	LG	

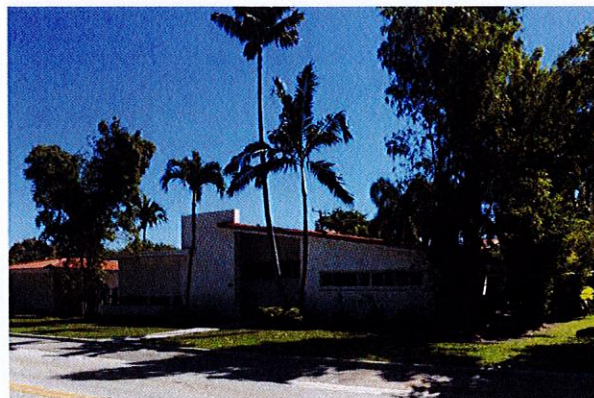
SHEET



EXTERIOR FINISHES BOARD

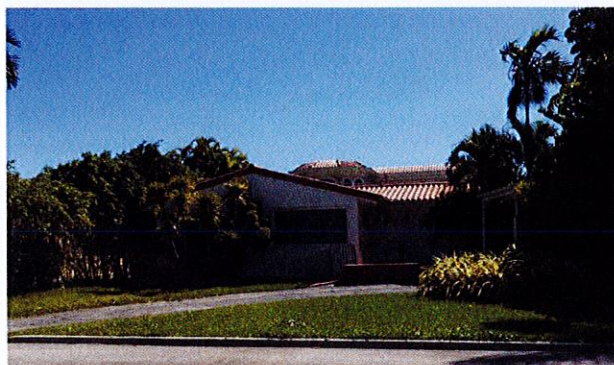
- 1- STUCCO: FINE SAND FINISH.
COLOR BENJAMIN MOORE: OC 27- BALBOA MIST
- 2- ALUMINUM DECORATIVE ELEMENT AND EXTERIOR FENCE:
COLOR : BENJAMIN MOORE: 1631- MIDNIGHT OIL
- 3- GREY SMOOTH CEMENT FINISH
- 4- TRAVERTINE HONED MARBLE

- 5- STANDING SEAM ALUMINUM PANEL: COLOR: CHARCOAL (5')
- 6- WOOD FINISH DOOR AND GARAGE DOOR: WALNUT
- 7- EXTERIOR DOOR AND WINDOW IMPACT RESISTANT GLASS.
GLASS TINT : BRONZE
- 8- EXTERIOR DOOR AND WINDOW FRAMES.
STANDARD COLOR BRONZE
- 9- EXTERIOR FLOORING TILE: T10 - LARNAT 60



Mizrahi Single Family House Addition and Renovation
1330 97th St. Bay Harbor Island Florida. 33154.

ADJACENT HOUSE SIDE EAST



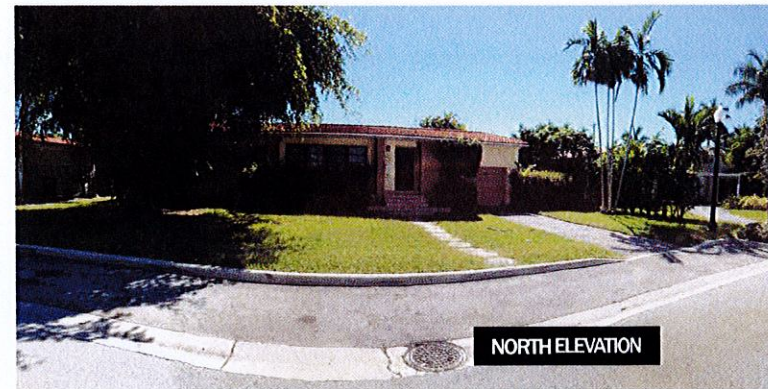
Mizrahi Single Family House Addition and Renovation.
1330 97th St. Bay Harbor Island . Florida 33154.

ADJACENT HOUSE SIDE WEST

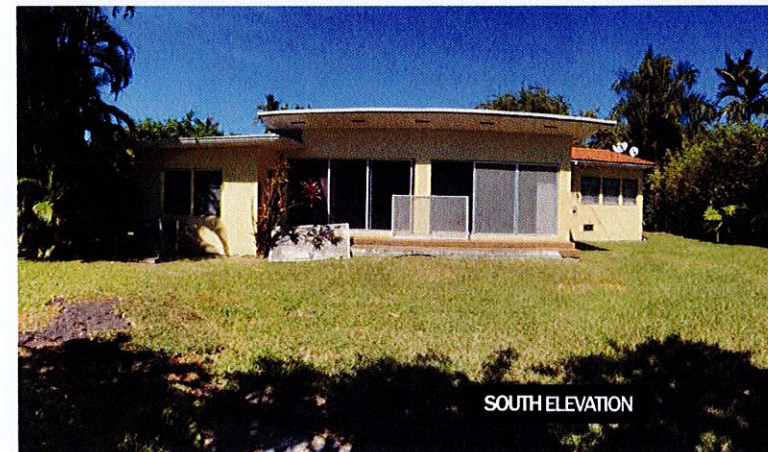


ADJACENT HOUSES SIDE SOUTH

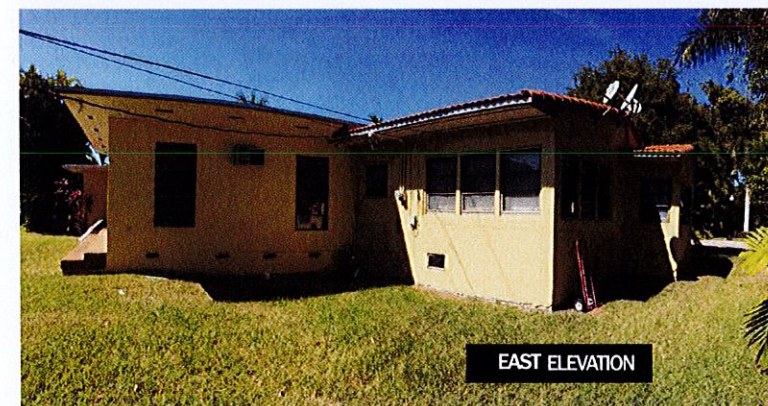
ADJACENT BUILDINGS



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

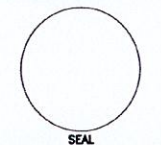
EXISTING BUILDING



Architecture with a Point
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Addition/Renovation to the Existing Mizrahi Residence

1330 97 St.
Bay Harbor Islands, FL 33154

Owner:
Melina M. & Daniel Mizrahi
1330 97 St.
Bay Harbor Islands, FL 33154
Contact: Leila Grunberg 754.204.0331

Consultant:

Design Consultant:
Leila Grunberg 754.204.0331

REVISIONS

No	DATE	DESCRIPTION

PH-001

SHEET TITLE
DATE 3.10.15
DRAWN BY LG
REVIEWED BY LG
1504
PROJECT NO.

SHEET

AGENDA ITEM REPORT

May 19, 2015

ITEM NUMBER: 2.

ITEM: Request for approval for a new single family home for "David and Priscilla Burstyn" located at 1310 95 Street, Lot 9 of Block 32. The owners are proposing a new single family home. The proposed two story single family home will have 5,350 square feet of a/c living space with a two car garage. The new house will have 5 bedrooms and 6 full bathrooms, one half bath and a media room. Enclosed please find the site plan, elevations and landscape plan. A sample board will be presented at the meeting. (Item #2A)

DESCRIPTION:

Request for approval for a new single family home for "David and Priscilla Burstyn" located at 1310 95 Street, Lot 9 of Block 32. The owners are proposing a new single family home. The proposed two story single family home will have 5,350 square feet of a/c living space with a two car garage. The new house will have 5 bedrooms and 6 full bathrooms, one half bath and a media room. Enclosed please find the site plan, elevations and landscape plan. A sample board will be presented at the meeting. (Item #2A)

RECOMMENDED ACTION:

Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks, Community Planner.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Marante
 Ayanidys Marante

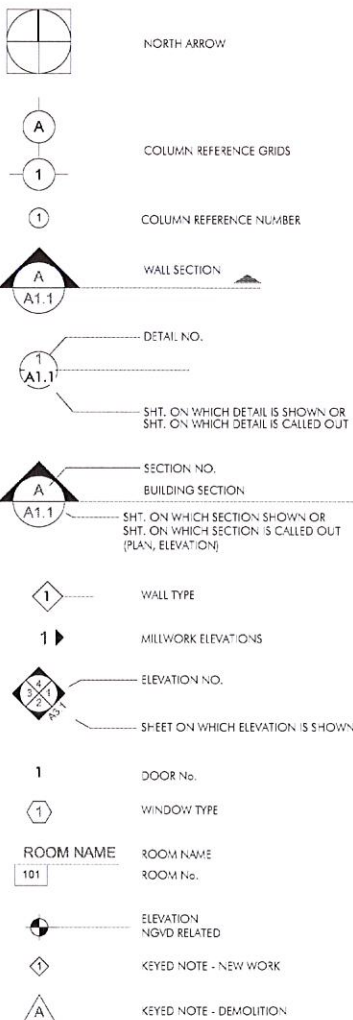
ATTACHMENTS

1.	Site Plan and Elevation	Burstyn5.19.15.pdf
2.	Staff Report	BHI PZB Staff Report Burstyn SFR May 12 2015.pdf

ABBREVIATIONS:

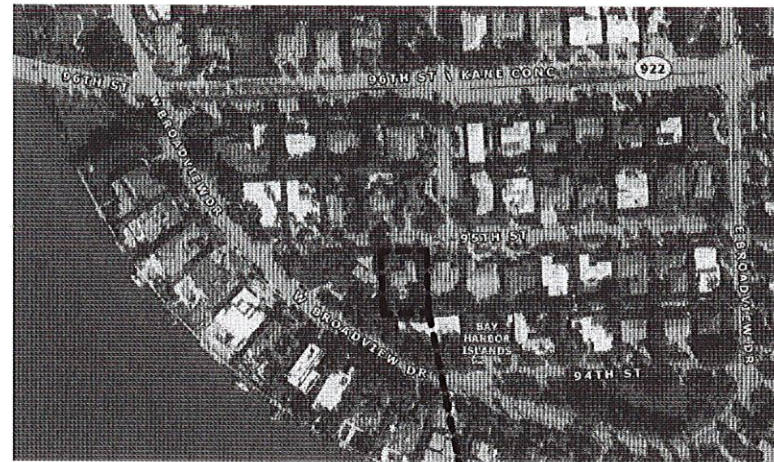
A	ANCHOR	HORIZ	HORIZONTAL
A/C	AIR CONDITIONING	H.B.	HOSE BIB
ACUST	ACOUSTICAL	I.D.	INTERIOR DIMENSION
ACP	ACOUSTICAL CEILING PANEL	INSUL	INSULATION
AFF	ABOVE FINISH FLOOR	INTERM	INTERMEDIATE
AL OR ALUM	ALUMINUM	JAN.	JANITOR
ANOD.	ANODIZE	MANUF.	MANUFACTURER
BD	BOARD	MAT	MATERIAL
BLKG	BLOCKING	MAX	MAXIMUM
BLK	BLOCK	MIN.	MINIMUM
CEM	CEMENT	MTL	METAL
CER	CERAMIC	N.I.C.	NOT IN CONTRACT
C.J.	CONTROL JOINT	NEOPR	NEOPRENE
CLG	CEILING	O.D.	OUTSIDE DIMENSION
COL	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	O.S.	OVERFLOW SCUPPERS
CONT.	CONTINUOUS	PTN	PARTITION
COVERG	COVERING	PJ	PANEL JOINT
DBL	DOUBLE	PL	PLATE
DM	DIMENSION	L.P.	LIGHT POLE
DET	DETAILS	PLYWD	PLYWOOD
E.A.	EACH	PNL	PANEL
ELECT/E.EC	ELECTRICAL	PLAM	PLASTIC LAMINATE
EL	ELEVATION	P.T.	PRESSURE TREATED
ELEV.	ELEVATOR	REINF.	REINFORCING
EXH.	EXHAUST	REQD	REQUIRED
EXIST.	EXISTING	ROOM	ROOM
EXP.	EXPANSION	R.D.	ROOF DRAIN
EXT.	EXTERIOR	SHT	SHEET
F.D.	FLOOR DRAIN	SCH	SCHEDULE
F.E.	FIRE EXTINGUISHER	S.S.	STAINLESS STEEL
FIRE EXT. CAB.	FIRE EXTINGUISHER CABINET	STL	STEEL
F.O.I.C.	FURNISHED BY OWNER	STD.	STANDARD
	INSTALLED BY CONTRACTOR	SECT	SECTION
F.UOR	FLUORESCENT	SIM	SIMILAR
F.N.	FINISH	SPECS	SPECIFICATIONS
GA	GALVES	STRUCT	STRUCTURE
GWB	GYPSON WALL BOARD	SCVD	SOLID CORE WOOD
GYP. BD.	GYPSON BOARD	TEMP	TEMPERED
GALV.	GALVANIZED	VCT	VINYL COMPOSITION TILE
GS	GALVANIZED STEEL	VERT	VERTICAL
GL	GLASS	VEST.	VESTIBULE
HM	HOLLOW METAL		
HT	HEIGHT		

SYMBOLS:



GENERAL NOTES:

- THE CONTRACTOR SHALL VISIT THE PREMISES AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL DETAILS OF THE WORK AND WORKING CONDITIONS. VERIFY ALL DIMENSIONS IN THE FIELD, AND ADVISE THE ARCHITECT / ENGINEER OF ANY DISCREPANCIES BEFORE PERFORMING THE WORK.
- THE CONTRACTOR SHALL PERFORM ALL WORK REQUIRED UNDER THIS CONTRACT FOR A COMPLETE INSTALLATION AND IN SUCH MANNER THAT SURFACES NOT AFFECTED BY REMOVAL OF EXISTING OR FROM NEW WORK SHALL REMAIN UNDISTURBED AND NORMAL ACTIVITIES AT THE INSTALLATION MAY CONTINUE WITH THE LEAST POSSIBLE INTERFERENCE. ALL DEBRIS SHALL BE REMOVED FROM THE SITE OF THE WORK AT THE END OF EACH WORKING DAY. MATERIALS AND EQUIPMENT SHALL BE STORED ONLY AT LOCATIONS APPROVED BY THE ARCHITECT / ENGINEER AND OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURES AND PERSONNEL DURING THE WORK UNDER THIS CONTRACT. ALL ALTERING, CUTTING, DRILLING OF PAVEMENT, FLOOR AND OTHER MODIFICATIONS SHALL BE NEATLY AND CAREFULLY DONE BY SKILLED MECHANICS. X-RAYS OF SLAB MUST BE TAKEN PRIOR TO MAKING ANY PENETRATIONS TO ENSURE EXISTING REINFORCEMENT WILL NOT BE DISTURBED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING WORK, MATERIALS AND EQUIPMENT AS A RESULT OF HIS OPERATIONS. ALL DAMAGED WORK SHALL BE REPAIRED OR REPLACED WITH MATERIALS OF LIKE TYPE, QUALITY AND FINISH BY SKILLED MECHANICS OF THE TRADES INVOLVED AT NO ADDITIONAL COST TO THE OWNER AND TO THE FULL SATISFACTION OF THE ARCHITECT / ENGINEER.
- DISPOSAL OF ALL MATERIAL NOT SPECIFIED OR SHOWN TO BE SALVAGED AND / OR REUSED RESULTING FROM REMOVAL OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL COSTS IN CONNECTION WITH DISPOSING OF THE MATERIALS WILL BE AT THE CONTRACTORS EXPENSE. ALL LIABILITY OF ANY NATURE RESULTING FROM THE DISPOSAL OF THE MATERIALS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO ALL EXISTING FACILITIES AND THOSE UNDER CONSTRUCTION IN THE IMMEDIATE VICINITY, AT ALL TIMES DURING CONSTRUCTION OF PROPOSED PROJECT.
- CONTRACTOR SHALL INSTALL SECURITY FENCING AND BARRICADES AS REQUIRED BY THE LOCAL AUTHORITIES AND/OR DIRECTED BY THE ARCHITECT / ENGINEER.
- VERIFICATION OF EXISTING CONDITIONS: EACH CONTRACTOR SHALL DETERMINE AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE AND SHALL BE RESPONSIBLE FOR SAME BEFORE COMMENCING THE WORK. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND/OR ENGINEER AND SHALL BE RESOLVED BEFORE RESUMING THE WORK. DIMENSIONS SHALL BE READ AND NEVER SCALED OR ESTIMATED FROM THE ARCHITECTURAL DRAWINGS.
- CODE COMPLIANCE: EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2010 EDITION, FLORIDA BUILDING CODE EXISTING BUILDINGS, 2010 EDITION, FLORIDA FIRE PREVENTION CODE, 2010 EDITION AND WITH ALL OTHER CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER HIS PORTION OF THE WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH HIS PORTION OF THE WORK.
- EXAMINATION OF THE CONTRACT DOCUMENTS AND SITE: EACH CONTRACTOR FOR THIS PROJECT SHALL STUDY AND FAMILIARIZE HIMSELF WITH THE SITE AND WITH ALL THE DRAWINGS FOR ALL TRADES AND PARTS OF THE WORK. SHOULD ANY CONTRACTOR HAVE THE OPINION THAT THERE EXISTS IN THE ARCHITECTURAL DRAWINGS ANY ERRORS OR DISCREPANCIES, OR THAT CONDITIONS OF THE WORK OF ANY OTHER CONTRACTOR IS SUCH THAT IT WILL PREVENT HIM FROM COMPLETING HIS WORK IN A COMPETENT MANNER, HE SHALL NOTIFY THE ARCHITECT OF SUCH BEFORE PROCEEDING WITH HIS WORK.
- THE CONTRACTOR SHALL HAVE AT THE BUILDING SITE, FROM START TO FINISH OF CONSTRUCTION, A RESPONSIBLE FOREMAN. IN ADDITION, THE CONTRACTOR SHALL GIVE HIS PERSONAL SUPERVISION TO THE WORK. THE FOREMAN SHALL BE ON DUTY DURING ALL WORKING HOURS. ANY INSTRUCTIONS OR NOTICES GIVEN TO HIM SHALL HAVE THE SAME IMPORTANCE AS IF GIVEN TO THE CONTRACTOR IN PERSON.
- THE CONTRACTOR SHALL BE PROVIDING AND MAINTAINING TEMPORARY PROVISIONS SUCH AS TOILETS, WATER SUPPLY, LIGHT AND POWER AS WELL AS ANY OTHER DEEMED NECESSARY FOR THE COMPLETION OF THE PROJECT. COORDINATE WITH OWNER THE USE OF EXISTING FACILITIES DURING THE PROJECT.
- ANY ITEM OF WORK NECESSARY TO THE PROPER COMPLETION OF CONSTRUCTION WHICH IS NOT SPECIFICALLY COVERED IN THESE DOCUMENTS SHALL BE PERFORMED IN A MANNER DEEMED GOOD PRACTICE OF THE TRADE INVOLVED.
- PERMITS, FEES AND TAXES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES LICENSES AND DEPOSITS AND BE LIABLE FOR ALL STATE AND FEDERAL SALES TAXES, AND ALL OBLIGATIONS UNDER THE FEDERAL SECURITY ACT. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN CERTIFICATES OF COMPLIANCE, APPROVAL OR ACCEPTANCE FROM ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND DELIVER THESE CERTIFICATES TO THE OWNER ALONG WITH OFFICIAL RECEIPTS FOR THE SAME.
- PERFORMANCE OF WORK: NO SUBCONTRACTOR SHALL BEGIN HIS WORK UNLESS THE PREVIOUS TRADES, UPON WHOM HE IS DEPENDENT, HAS PERFORMED THEIR WORK SATISFACTORILY ACCORDING TO THE PLANS AND SPECIFICATIONS. ONCE THE CONTRACTOR HAS STARTED HIS WORK, HE ASSUMES FULL RESPONSIBILITY FOR THAT WORK, BOTH FOR MATERIALS AND LABOR PERFORMED. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR REMOVING DEBRIS RESULTING FROM THEIR WORK FROM THE PREMISES.
- CLEANUP: IN ADDITION TO THE REMOVAL OF ALL CONSTRUCTION DEBRIS FROM THE PREMISES, IT IS THE FINAL RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL SLUDGES, SPOTS OF PLASTER, PUTTY, CAULKING COMPOUND, ADHESIVE, PAINT AND PENCIL MARKINGS, TAGS AND DESTINATION LABELS NOT CALLED FOR AS BEING PERMANENT. THE CONTRACTOR SHALL ALSO CLEAN EACH AREA SEPARATELY, INCLUDING THE WASHING OF ALL WINDOWS AND VACUUMING OR WAXING OF ALL FLOORS, PRIOR TO HANDING THE COMPLETED PROJECT OVER TO THE OWNER.
- MATERIALS: ALL MATERIALS SHALL BE NEW, AS CALLED FOR IN THE DRAWINGS, AND THE BEST OF THEIR RESPECTIVE KINDS. NO SUBSTITUTIONS SHALL BE MADE BY THE CONTRACTOR WITHOUT PRIOR WRITTEN APPROVAL BY THE OWNER. UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS, FOR PORTIONS OF THE WORK NOT SHOWN IN DETAIL, BUT WHICH ARE SHOWN GENERALLY, OR ARE REASONABLY INFERRABLE AS BEING REQUIRED FOR A COMPLETE AND COMPLETE INSTALLATION, THE MATERIAL METHODS AND WORKMANSHIP SHALL CONFORM AS A MINIMUM TO THE TYPICAL OR REPRESENTATIVE.
- CUTTING AND PATCHING: EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CUTTING, FITTING, PATCHING AND MATCHING OF HIS NEW WORK TO EXISTING WORK WHERE APPLICABLE AND INDICATED IN THE DRAWINGS. NO CONTRACTOR SHALL ENDANGER ANY WORK OF ANY OTHER CONTRACTOR BY EXCAVATING CUTTING OR OTHERWISE ALTERING ANY WORK OF ANY OTHER CONTRACTORS.
- PRIOR TO BEGINNING WORK, GC IS TO OBTAIN, BECOME FAMILIAR AND FOLLOW ANY AND ALL CONSTRUCTION GUIDELINES, RULES AND REGULATIONS FROM THE OWNER AND/OR CONDOMINIUM OFFICE, SO LONG AS SUCH GUIDELINES ARE NOT IN CONFLICT WITH FBC 2010 OR LOCAL JURISDICTION. IF GC DETECTS DISCREPANCIES BETWEEN CONDO GUIDELINES AND LOCAL CONSTRUCTION REGULATIONS, GC MUST INFORM ARCHITECT, CONDO OFFICE AND OWNER IN WRITING IN ORDER TO REACH A RESOLUTION PRIOR TO PROCEEDING WORK.
- DEMOLITION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF DEBRIS REQUIRED TO COMPLETE THE CONSTRUCTION AS SPECIFIED ON THE DRAWINGS. EXISTING UNUSED ELECTRIC AND PLUMBING SHALL BE REMOVED OR ADEQUATELY CAPPED AS ALLOWED BY CODE.
- DEMOLITION NOTES ARE A GENERAL OUTLINE OF ITEMS TO BE REMOVED. HOWEVER, ANY ITEMS IN THE WAY OF NEW CONSTRUCTION MUST BE REMOVED AND DISCARDED IN ORDER TO INSTALL NEW PRODUCTS.



PROJECT MAP



PROJECT LOCATION

ZONING DATA

	PERMITTED/REQUIRED	PROPOSED
ZONING DESIGNATION:	RD (SINGLE FAMILY RESIDENTIAL DISTRICT)	RD
LOT SIZE:	10,000 SF	10,000 SF
LOT WIDTH:		80'
FLOOR AREA:	1,500 SF MIN (EXCL. GARAGE)	1st FLOOR 2,663 SF 2nd FLOOR 2,690 SF TOTAL 5,350 SF (EXCL. GARAGE)
LOT COVERAGE:		32% 3,208 SF (INCLUDING GARAGE)
HEIGHT:	+25' OR 2-1/2 STORIES ABOVE BASE FLOOD ELEVATION (FOR FLAT ROOF)	25'-0" (2 STORIES, TOP OF FLAT ROOF) 26'-11" (TO TOP OF PARAPET)
SETBACKS:		
FRONT:	25'	25'-0"
INTERIOR SIDE:	10'	10'-0"
REAR:	15'	11'-0" (4 BALCONY ENCROACHMENT)
POOL:		
SIDE:	10'	10'-0"
REAR:	5'	11'-0"
EQUIPMENT:	5' MAX FROM BLDG WALL INTO SETBACK (MUST BE SCREENED)	
PARKING:	2 SPACES	4 SPACES
OPEN SPACE:		
PERVIOUS AREA:	N/A	4,075 SF
IMPERVIOUS AREA:	N/A	5,925 SF

LEGAL DESCRIPTION:

LOT 9, BLOCK 32, BAY HARBOR ISLAND, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 46, PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
FOLIO # 13-2227-001-6040

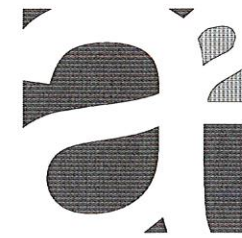
ZONING: RD (SINGLE FAMILY RESIDENTIAL DISTRICT)

BUILDING DATA:

OCCUPANCY TYPE: RESIDENTIAL
DESCRIPTION: RESIDENTIAL TWO-STORY CONCRETE BLOCK STRUCTURE
TOTAL FLOOR AREA: 5,350 SF

SCOPE OF WORK:

- DEMOLITION OF EXISTING 1-STORY SINGLE FAMILY RESIDENCE.
- CONSTRUCTION OF PROPOSED 2-STORY SINGLE FAMILY RESIDENCE.



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BURSTYN RESIDENCE

1310 95TH STREET
BAY HARBOR ISLANDS, FLORIDA

DRAWING LIST

ARCHITECTURAL

A0.0	DATA
PH.1.0	STATE PHOTOGRAPHS
A0.1	SURVEY (1 OF 2)
A0.2	SURVEY (2 OF 2)
AS.1.0	SITE PLAN
A1.0	1ST FLOOR PLAN
A1.1	2ND FLOOR PLAN
A1.4	ROOF PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS
R1.0	COLOR RENDERINGS
MB.1.0	MATERIALS BOARD

LANDSCAPING

TD.1.0	TREE DISPOSITION PLAN
L.1.0	PROPOSED PLANNING PLAN
L.1.1	PLANTING DETAILS AND NOTES
L.2.0	COLOR ELEVATIONS
L.2.1	COLOR ELEVATIONS



MAY 19 2015

REVISIONS:

No.	Description	Date
1	ZONING COMMENTS	4/30/15

SUBMITTAL: PLANNING & ZONING BOARD

DATE: 3/5/15

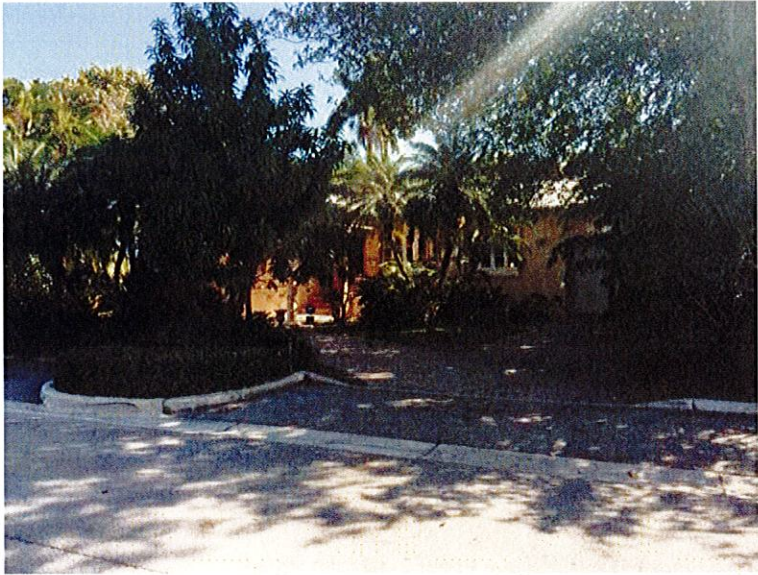
PROJECT #P140905-B



SITE VIEW - LOOKING EAST TO WEST ON 95TH STREET



SITE VIEW - LOOKING NORTH TO SOUTH ON 95TH STREET



SITE VIEW - LOOKING WEST TO EAST ON 95TH STREET



VIEW - CONSTRUCTION TWO LOTS DOWN FROM 1310 95TH STREET



SITE CONTEXT VIEW - 1311 95TH STREET



SITE CONTEXT VIEW - 1300 95TH STREET



SITE CONTEXT VIEW - 9500



Consultant:

Project:
BURSTYN RESIDENCE
1310 95TH STREET
BAY HARBOR ISLANDS, FLORIDA

Architect:

JORGE EDUARDO GONZALEZ AIA
AR 94751 - © 2015 - LEED AP

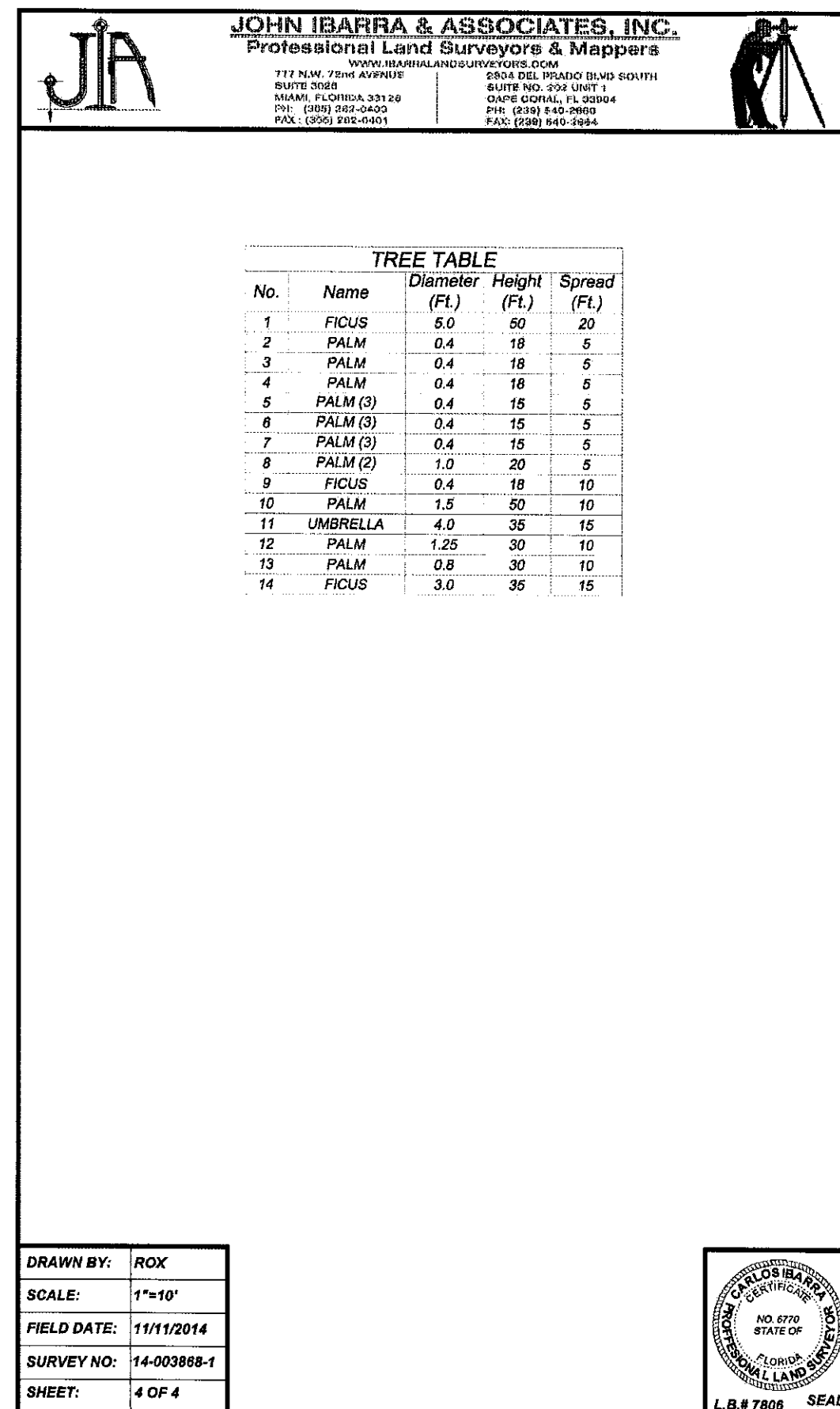
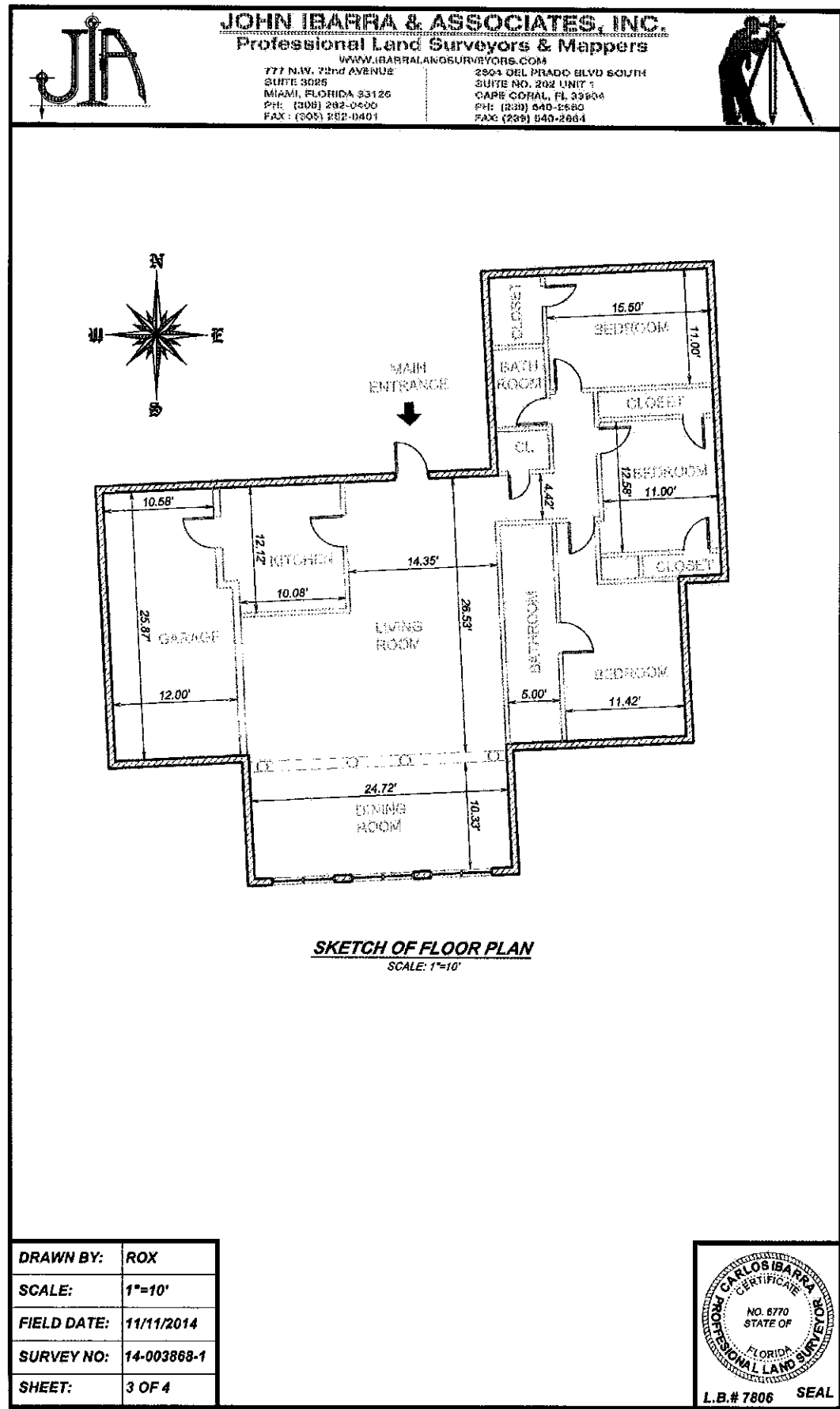
Revisions		
No.	Description	Date

P140905-B
Project No:
3/5/15
Date:
FR / CS / JG / MM
Drawn

SITE PHOTOGRAPHS

PH1.0

THESE PLANS ARE AND SHALL REMAIN THE PROPERTY OF ARCHIQUADRA, P.A. AND SHALL NOT BE SOLD OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT. THESE PLANS ARE NOT VALID WITHOUT APPROPRIATE ARCHITECTS RAISED SEAL AND SIGNATURE AND ARE FOR BUILDING DEPARTMENT REVIEW ONLY. PLANS ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED. THESE PLANS MAY BE SUBJECT TO MODIFICATION AS REQUIRED BY EXISTING FIELD CONDITIONS WHICH MAY NOT BE REFLECTED IN THESE PLANS. THE ARCHITECT SHALL BE NOTIFIED OF ANY FIELD DISCREPANCIES OR OTHER CONCERNS FOR CLARIFICATION PRIOR TO BEGINNING CONSTRUCTION OR BIDDING.



NOTE:
1) SURVEY FOR REFERENCE
2) EXISTING RESIDENCE SHALL BE DEMOLISHED UNDER MASTER PERMIT

BURSTYN RESIDENCE
1310 95TH STREET
BAY HARBOR ISLANDS, FLORIDA

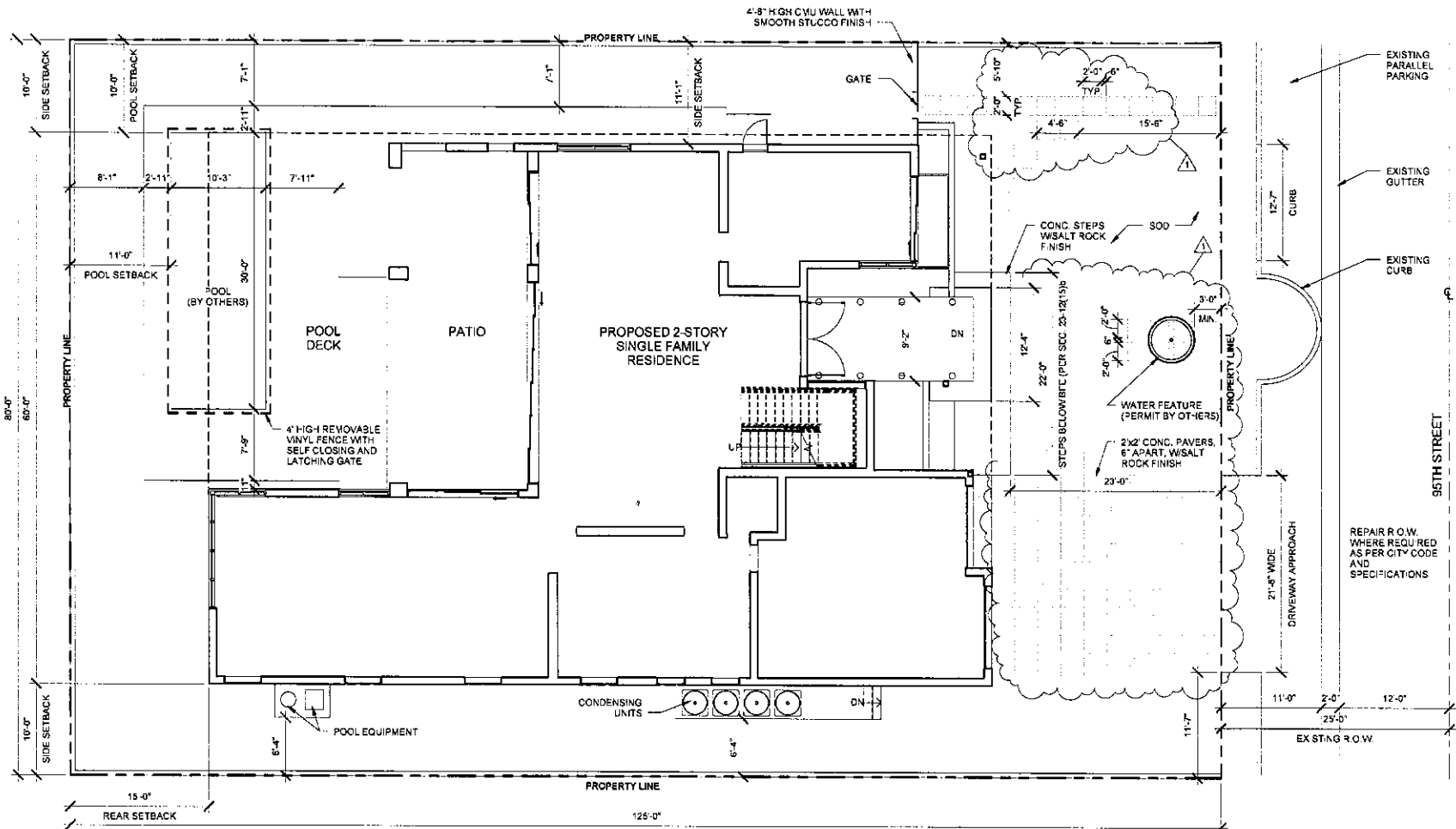
Revisions		
No.	Description	Date
1	ZONING COMMENTS	4/30/15

P140905-B
Project No.
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Drawn

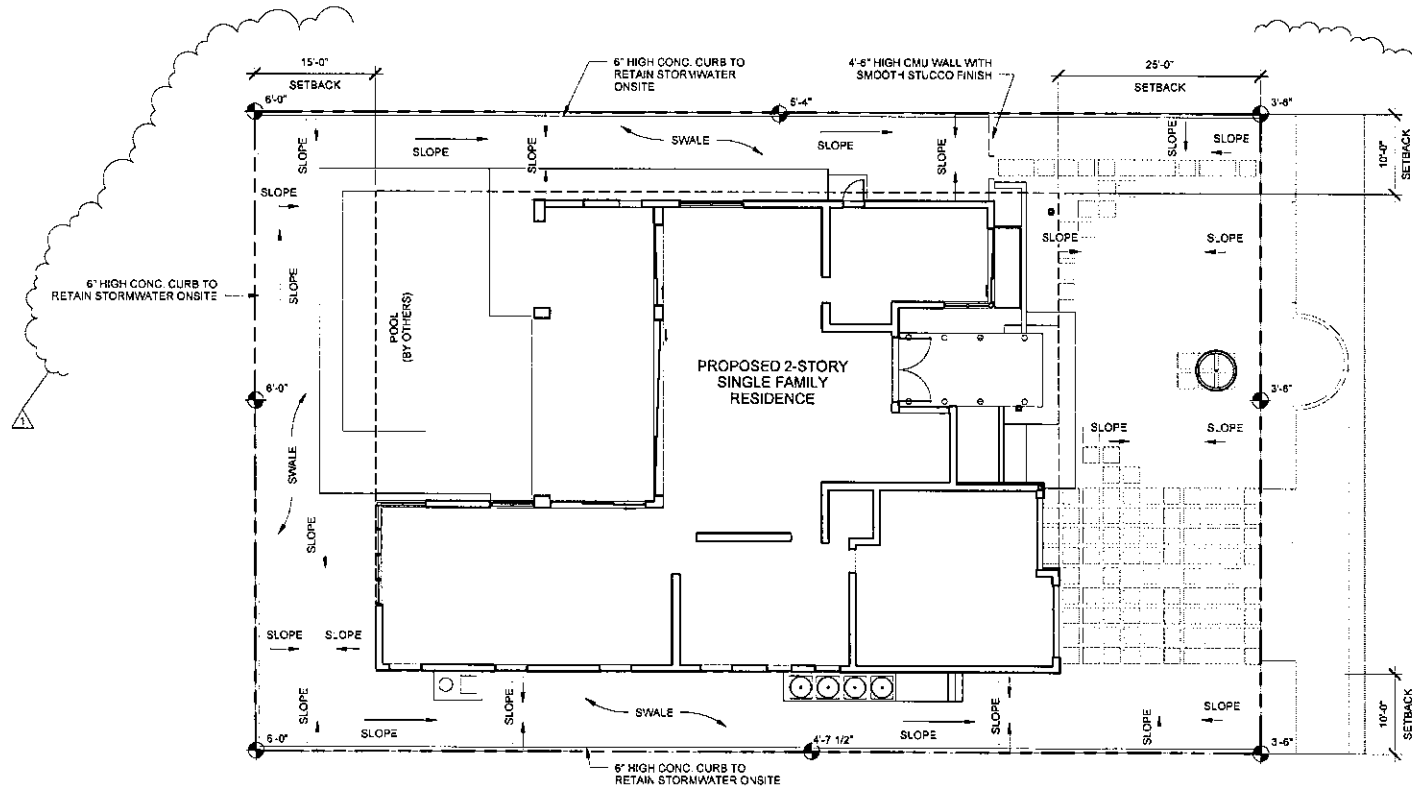
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ZONING DATA		
	PERMITTED/REQUIRED	PROPOSED
ZONING DESIGNATION:	RD (SINGLE FAMILY RESIDENTIAL DISTRICT)	RD
LOT SIZE:	10,000 SF	10,000 SF
LOT WIDTH:		80'
FLOOR AREA:	1,500 SF MIN (EXCL. GARAGE)	141 F.OOR: 2,663 SF 264 F.OOR: 2,630 SF TOTAL: 5,293 SF (EXCL. GARAGE)
LOT COVERAGE:		32% 3,208 SF (INCLUDING GARAGE)
HEIGHT:	+25' OR 2-1/2 STORIES ABOVE BASE FLOOD ELEVATION (FOR FLAT ROOF)	25'-0" (2 STORIES TOP OF FLAT ROOF) 28'-11" (TO TOP OF PARAPET)
SETBACKS:		
FRONT:	25'	25'-0"
INTERIOR SIDE:	10'	10'-0"
REAR:	15'	11'-0" (4' BALCONY ENCROACHMENT)
POOL:		
SIDE:	10' (INTERIOR SIDE SETBACK)	10'-0"
REAR:	5'	11'-0"
EQUIPMENT:	5' MAX FROM BLDG WALL INTO SETBACK (MUST BE SCREENED)	
PARKING:	2 SPACES	4 SPACES
OPEN SPACE:		
PERVIOUS AREA:	N/A	4,075 SF
IMPERVIOUS AREA:	N/A	5,925 SF

FLOOD DATA	
FLOOD ZONE: AE	
BASE FLOOD ELEVATION:	8'0"
PROPOSED NGVD FOR FINISHED FLOOR:	8'0"
PROPOSED NGVD FOR MECHANICAL EQUIPMENT:	8'0"



1 SITE PLAN
1/8" = 1'-0"



2 GRADING PLAN
3/32" = 1'-0"

DRAINAGE NOTES:
1. ALL STORMWATER SHALL BE RETAINED ON SITE.
2. ALL YARDS SHALL BE SLOPED SO AS TO DRAIN AWAY FROM THE BUILDING AND AWAY FROM PROPERTY LINES.



Consultant

BURSTYN RESIDENCE
1310 95TH STREET
BAY HARBOR ISLANDS, FLORIDA

Project
Architect

VP/ASST. BLDG. DES. / CIVIL ENGR. / SEAL
ARCHITECT / ENGINEER / PROFESSIONAL

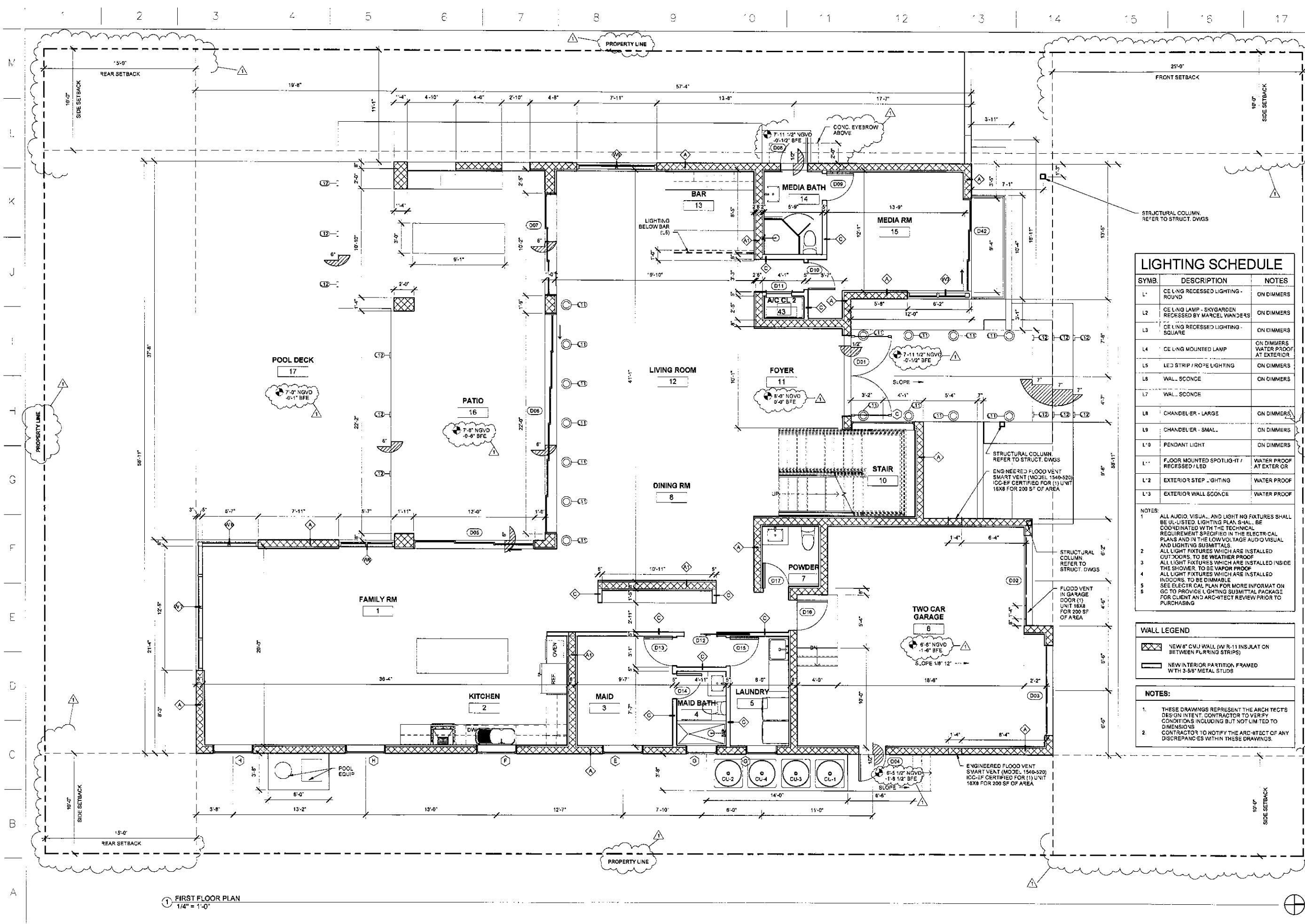
No.	Description	Date
1	ZONING COMMENTS	4/30/15

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Project No.
3/5/15
Date:
FR/CS/JG
Drawn

SITE PLAN

AS1.0

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1 FIRST FLOOR PLAN
1/4" = 1'-0"

LIGHTING SCHEDULE

SYMB.	DESCRIPTION	NOTES
L1	CEILING RECESSED LIGHTING - ROUND	ON DIMMERS
L2	CEILING LAMP - SKYGARDEN RECESSED BY MARCEL VAN DER	ON DIMMERS
L3	CEILING RECESSED LIGHTING - SQUARE	ON DIMMERS
L4	CEILING MOUNTED LAMP	ON DIMMERS WATER PROOF AT EXTERIOR
L5	LED STRIP / ROPE LIGHTING	ON DIMMERS
L6	WALL SCONCE	ON DIMMERS
L7	WALL SCONCE	
L8	CHANDELIER - LARGE	ON DIMMERS
L9	CHANDELIER - SMALL	ON DIMMERS
L10	PENDANT LIGHT	ON DIMMERS
L11	FLOOR MOUNTED SPOTLIGHT / RECESSED / LED	WATER PROOF AT EXTERIOR
L12	EXTERIOR STEP LIGHTING	WATER PROOF
L13	EXTERIOR WALL SCONCE	WATER PROOF

NOTES:
1. ALL AUDIO, VISUAL, AND LIGHTING FIXTURES SHALL BE UL-LISTED. LIGHTING PLAN SHALL BE COORDINATED WITH THE ELECTRICAL REQUIREMENT SPECIFIED IN THE ELECTRICAL PLANS AND IN THE LOW VOLTAGE AUDIO VISUAL AND LIGHTING SUBMITTALS.
2. ALL LIGHT FIXTURES WHICH ARE INSTALLED OUTDOORS, TO BE WEATHER PROOF.
3. ALL LIGHT FIXTURES WHICH ARE INSTALLED INSIDE THE SHOWER, TO BE VAPOR PROOF.
4. ALL LIGHT FIXTURES WHICH ARE INSTALLED INDOORS, TO BE DIMMABLE.
5. SEE ELECTRICAL PLAN FOR MORE INFORMATION ON GC TO PROVIDE LIGHTING SUBMITTAL PACKAGE FOR CLIENT AND ARCHITECT REVIEW PRIOR TO PURCHASING.

WALL LEGEND

- NEW 8" CMU WALL (W/ R-11 INSULATION BETWEEN FLOOR STRIPS)
- NEW INTERIOR PARTITION FRAMED WITH 3x8" METAL STUDS

NOTES:

- THESE DRAWINGS REPRESENT THE ARCHITECT'S DESIGN INTENT. CONTRACTOR TO VERIFY CONDITIONS INCLUDING BUT NOT LIMITED TO DIMENSIONS.
- CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITHIN THESE DRAWINGS.

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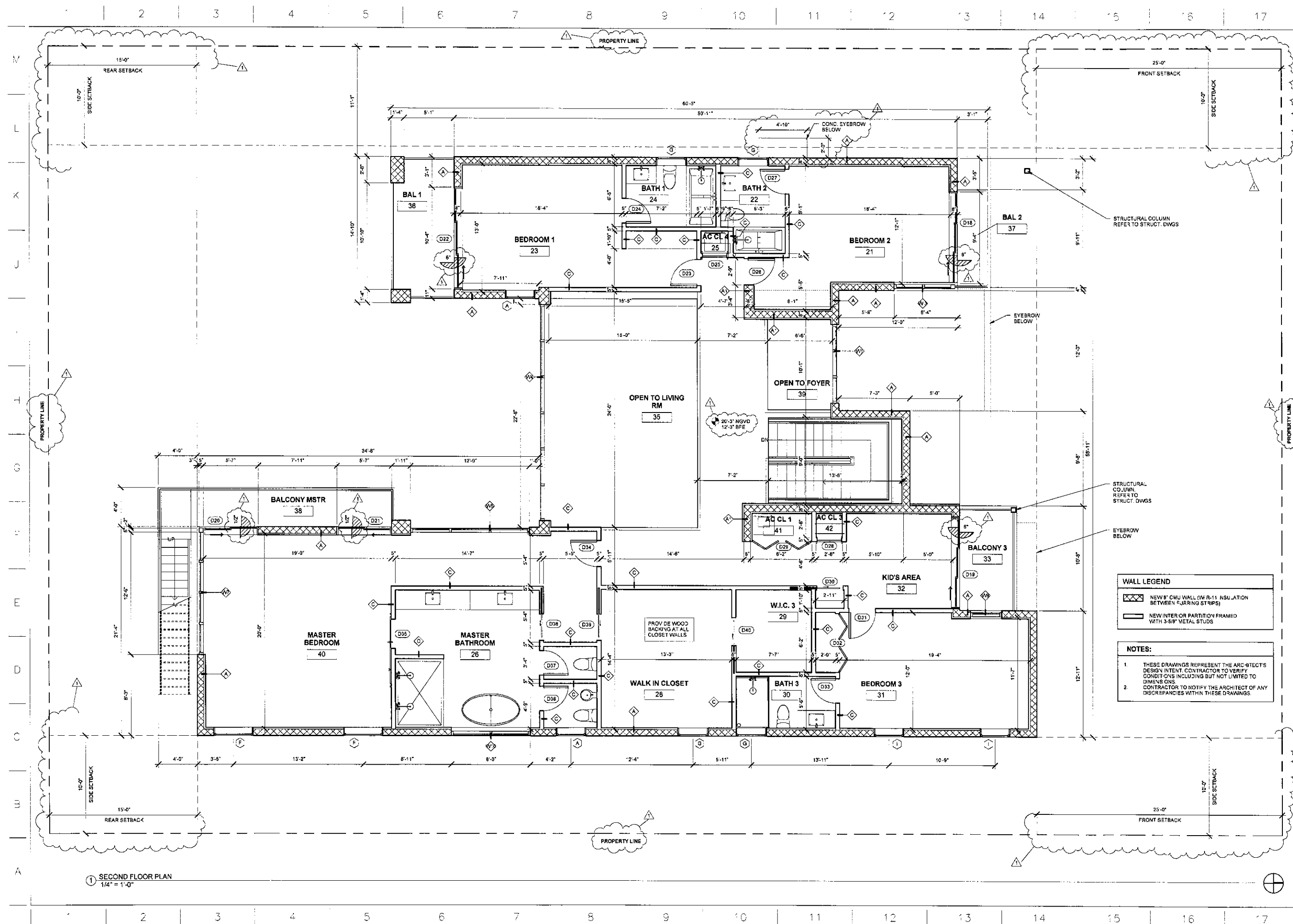
Revisions

No.	Description	Date
1	ZONING COMMENTS	4/30/15

P140905-B
Project No.
3/5/15
Date:
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1ST FLOOR PLAN
A1.0

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1 SECOND FLOOR PLAN
1/4" = 1'-0"

WALL LEGEND

- NEW 8" CMU WALL (W/R-11 INSULATION BETWEEN FURRING STRIPS)
- NEW INTERIOR PARTITION FRAMED WITH 3-5/8" METAL STUDS

NOTES:

- THESE DRAWINGS REPRESENT THE ARCHITECT'S DESIGN INTENT. CONTRACTOR TO VERIFY CONDITIONS INCLUDING BUT NOT LIMITED TO DIMENSIONS.
- CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITHIN THESE DRAWINGS.



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BURSTYN RESIDENCE
1310 95TH STREET
BAY HARBOR ISLANDS, FLORIDA

Project: _____
Architect: _____
Date: _____
Drawn: _____

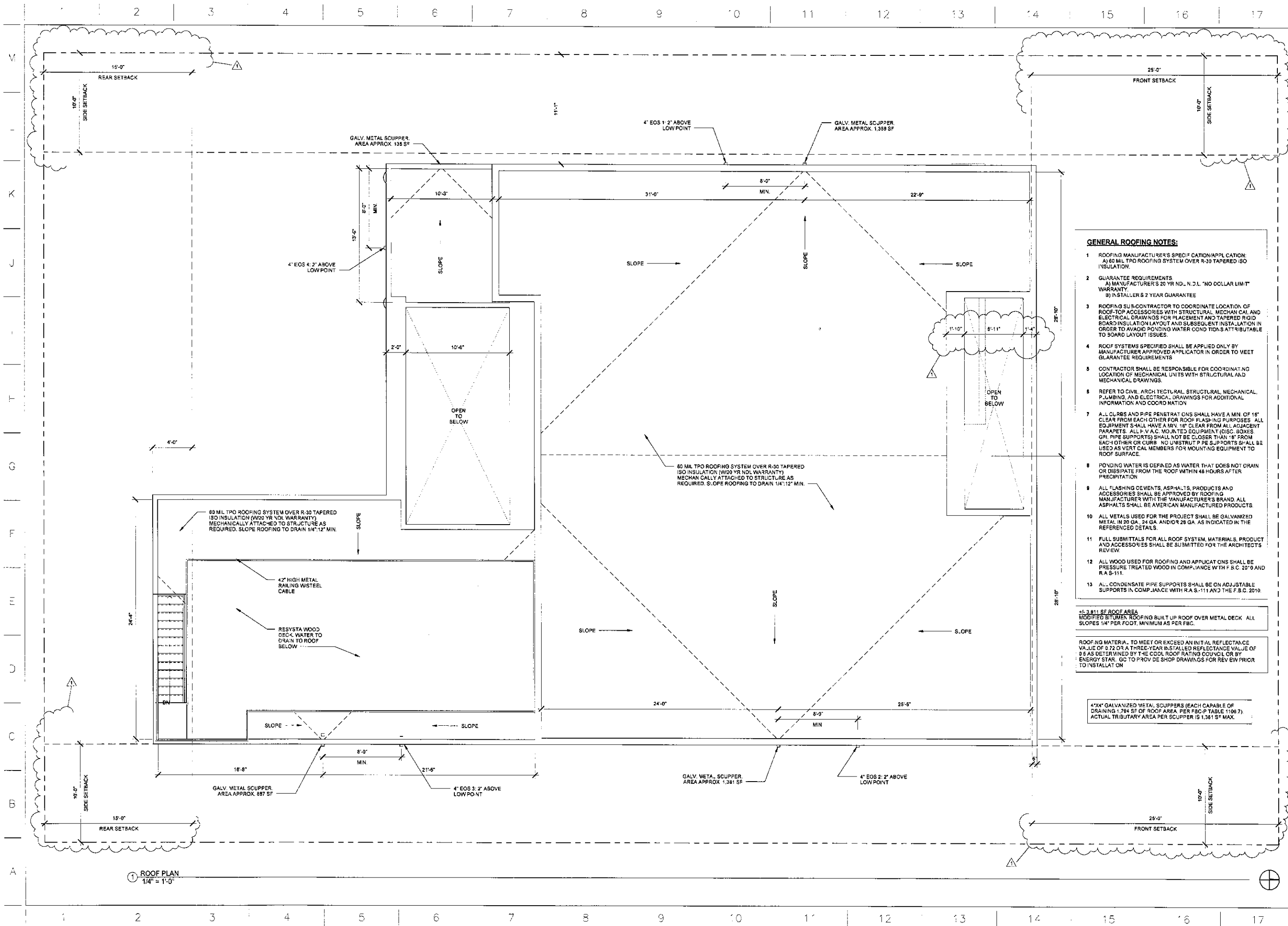
Revisions

No.	Description	Date
1	ZONING COMMENTS	4/30/15

P140905-B
Project No.
3/5/15
Date:
FR / CS / JG
Drawn

2ND FLOOR PLAN
A1.1

THESE PLANS ARE THE PROPERTY OF ARCHIQUADRA, P.A. AND SHALL NOT BE SOLORED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT. THESE PLANS ARE NOT VALID WITHOUT APPROPRIATE ARCHITECTS RAISED SEAL AND SIGNATURE AND APPLICABLE BUILDING DEPARTMENT REVIEW ONLY. PLANS ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED. THESE PLANS MAY BE SUBJECT TO MODIFICATION AS REQUIRED BY EXISTING FIELD CONDITIONS.



- GENERAL ROOFING NOTES:**
- ROOFING MANUFACTURER'S SPECIFICATION/APPLICATION:
A) 60 MIL TPO ROOFING SYSTEM OVER R-30 TAPERED ISO INSULATION.
 - GUARANTEE REQUIREMENTS:
A) MANUFACTURER'S 20 YR NDL "NO DOLLAR LIMIT" WARRANTY.
B) INSTALLER'S 2 YEAR GUARANTEE
 - ROOFING SUB-CONTRACTOR TO COORDINATE LOCATION OF ROOF-TOP ACCESSORIES WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR PLACEMENT AND TAPERED RIGID BOARD INSULATION LAYOUT AND SUBSEQUENT INSTALLATION IN ORDER TO AVOID PONDING WATER CONDITIONS ATTRIBUTABLE TO BOARD LAYOUT ISSUES.
 - ROOF SYSTEMS SPECIFIED SHALL BE APPLIED ONLY BY MANUFACTURER APPROVED APPLICATOR IN ORDER TO MEET GUARANTEE REQUIREMENTS
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING LOCATION OF MECHANICAL UNITS WITH STRUCTURAL AND MECHANICAL DRAWINGS.
 - REFER TO CIVIL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND COORDINATION
 - ALL CURBS AND PIPE PENETRATIONS SHALL HAVE A MIN. OF 18" CLEAR FROM EACH OTHER FOR ROOF FLASHING PURPOSES. ALL EQUIPMENT SHALL HAVE A MIN. 18" CLEAR FROM ALL ADJACENT PARAPETS. ALL F.V.A.C. MOUNTED EQUIPMENT (DISC BOXES, GR. PIPE SUPPORTS) SHALL NOT BE CLOSER THAN 18" FROM EACH OTHER OR CURB. NO UNSTRUCTURED PIPE SUPPORTS SHALL BE USED AS VERTICAL MEMBERS FOR MOUNTING EQUIPMENT TO ROOF SURFACE.
 - PONDING WATER IS DEFINED AS WATER THAT DOES NOT DRAIN OR DISPERSE FROM THE ROOF WITHIN 48 HOURS AFTER PRECIPITATION
 - ALL FLASHING CEMENTS, ASPHALTS, PRODUCTS AND ACCESSORIES SHALL BE APPROVED BY ROOFING MANUFACTURER WITH THE MANUFACTURER'S BRAND. ALL ASPHALTS SHALL BE AMERICAN MANUFACTURED PRODUCTS
 - ALL METALS USED FOR THE PROJECT SHALL BE GALVANIZED METAL IN 20 GA., 24 GA. AND/OR 28 GA. AS INDICATED IN THE REFERENCED DETAILS.
 - FULL SUBMITTALS FOR ALL ROOF SYSTEM, MATERIALS, PRODUCT AND ACCESSORIES SHALL BE SUBMITTED FOR THE ARCHITECT'S REVIEW
 - ALL WOOD USED FOR ROOFING AND APPLICATIONS SHALL BE PRESSURE TREATED WOOD IN COMPLIANCE WITH F.B.C. 2010 AND R.A.S. 111.
 - ALL CONDENSATE PIPE SUPPORTS SHALL BE ON ADJUSTABLE SUPPORTS IN COMPLIANCE WITH R.A.S. 111 AND THE F.B.C. 2010.
- 12,381 SF ROOF AREA**
MODIFIED BUTYLE ROOFING BUILT UP ROOF OVER METAL DECK. ALL SLOPES 1/4" PER FOOT, MINIMUM AS PER F.B.C.
- ROOFING MATERIAL TO MEET OR EXCEED AN INITIAL REFLECTANCE VALUE OF 0.72 OR A THREE-YEAR INSTALLED REFLECTANCE VALUE OF 0.6 AS DETERMINED BY THE COOL ROOF RATING COUNCIL OR BY ENERGY STAR. GC TO PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO INSTALLATION
- 4"x4" GALVANIZED METAL SCUPPERS (EACH CAPABLE OF DRAINING 1.74 SF OF ROOF AREA PER F.B.C. TABLE 1106.7). ACTUAL TRIBUTARY AREA PER SCUPPER IS 1,381 SF MAX.**

1 ROOF PLAN
1/4" = 1'-0"



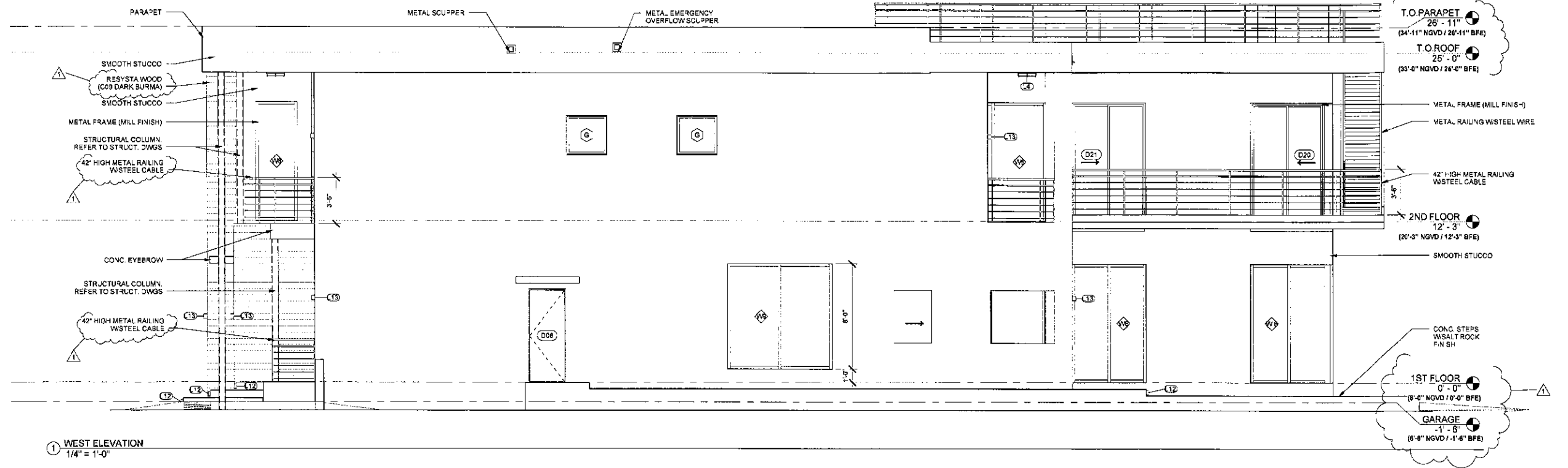
BURSTYN RESIDENCE
1310 95TH STREET
BAY HARBOR ISLANDS, FLORIDA

Project		
Architect		
-ORIG EDU+ACC REN+LEAS AP AR 04/75" / 3 6035 / LEED AP		
Revisions		
No	Description	Date
1	ZONING COMMENTS	4/30/15
P140905-B		
Project No.		
3/5/15		
Date:		
FR / CS / JG		
Drawn		

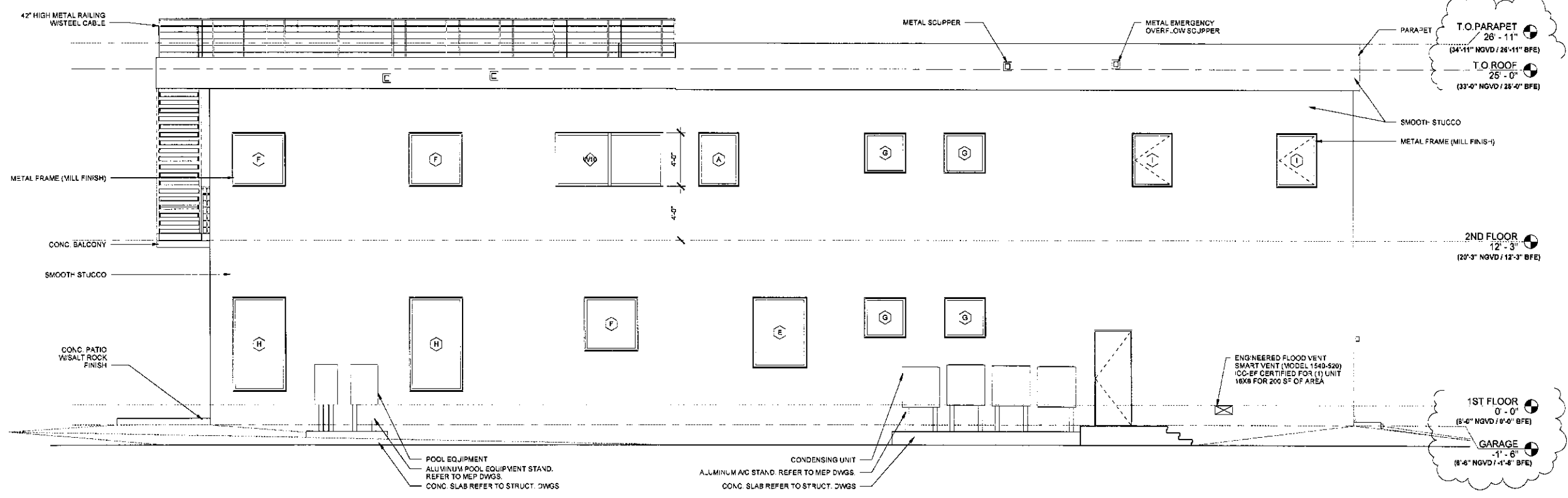
P140905-B
Project No.
3/5/15
Date:
FR/CS/JG
Drawn

ROOF PLAN
A1.4

THESE PLANS ARE AND SHALL REMAIN THE PROPERTY OF ARCHIQUADRA, P.A. AND SHALL NOT BE SOLD OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT. THESE PLANS ARE NOT VALID WITHOUT APPROPRIATE ARCHITECT'S RASD SEAL AND SIGNATURE AND ARE FOR BUILDING DEPARTMENT REVIEW ONLY. PLANS ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED. THESE PLANS MAY BE SUBJECT TO MODIFICATION AS REQUIRED BY EXISTING FIELD CONDITIONS WHICH MAY NOT BE REFLECTED IN THESE PLANS. THE ARCHITECT SHALL BE NOTIFIED OF ANY FIELD DISCREPANCIES OR OTHER CONCERNS FOR CLARIFICATION PRIOR TO BEGINNING CONSTRUCTION OR BIDDING.



① WEST ELEVATION
1/4" = 1'-0"



② EAST ELEVATION
1/4" = 1'-0"

ARCHIQUADRA
ARCHITECTS & INTERIORS
1310 95TH STREET
BAY HARBOR ISLANDS, FLORIDA 33154
TEL: 941.362.1111
WWW.ARCHIQUADRA.COM

Consultant:

BURSTYN RESIDENCE
1310 95TH STREET
BAY HARBOR ISLANDS, FLORIDA

Project:

BURSTYN RESIDENCE
1310 95TH STREET
BAY HARBOR ISLANDS, FLORIDA

Architect:

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1310 95TH STREET
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WWW.ARCHIQUADRA.COM

Revisions

No.	Description	Date
1	ISSUING COMMENTS	4/30/15

P140905-B

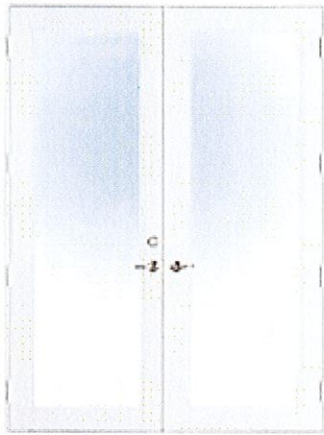
P140905-B
Project No.
3/5/15
Date:
FR / CS / JG
Drawn

ELEVATIONS

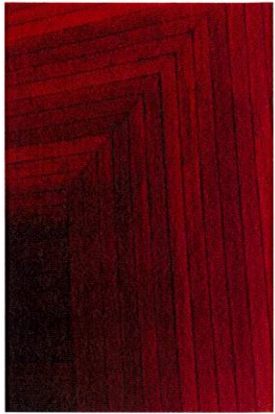
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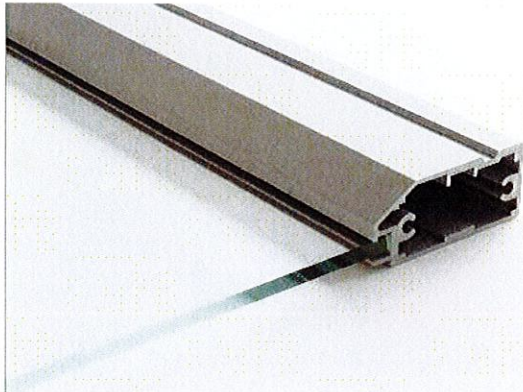
EXTERIOR WALL FINISH
WHITE SMOOTH STUCCO



DOORS
DOUBLE FRENCH IMPACT DOORS (MILL FINISH)



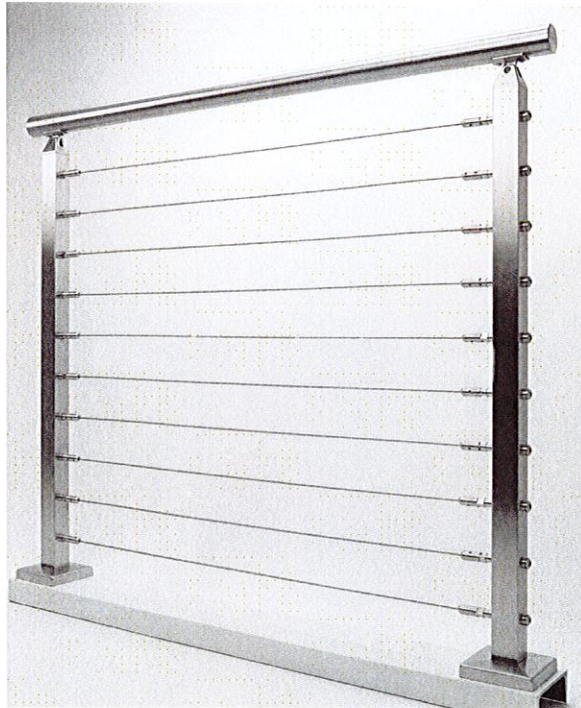
EXTERIOR WOOD
RESYSTA C09 DARK BURMA



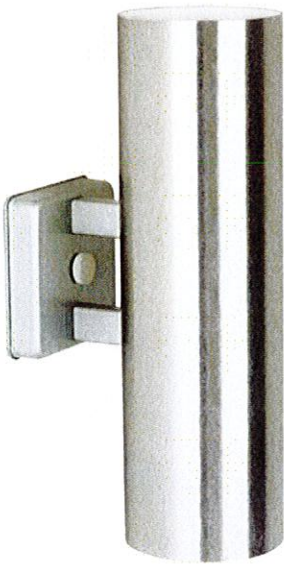
WINDOWS
METAL FRAME WITH MILL FINISH
GREY TINT IMPACT GLASS



WATER FEATURE
STONE FOUNTAIN



RAILINGS
METAL RAILING WITH STEEL CABLE



LIGHT FIXTURE
ANODIZED ALUMINUM WALL MOUNTED LED FIXTURE



Consultant:

BURSTYN RESIDENCE
1310 95TH STREET
BAY HARBOR ISLANDS, FLORIDA

Project:

Architect:

JORGE EDUARDO GONZALEZ AIA

AR 94751 - ID 5095 - LEED AP

Revisions

No. Description Date

1 ZONING COMMENTS 4/30/15

P140905-B

Project No.

3/5/15

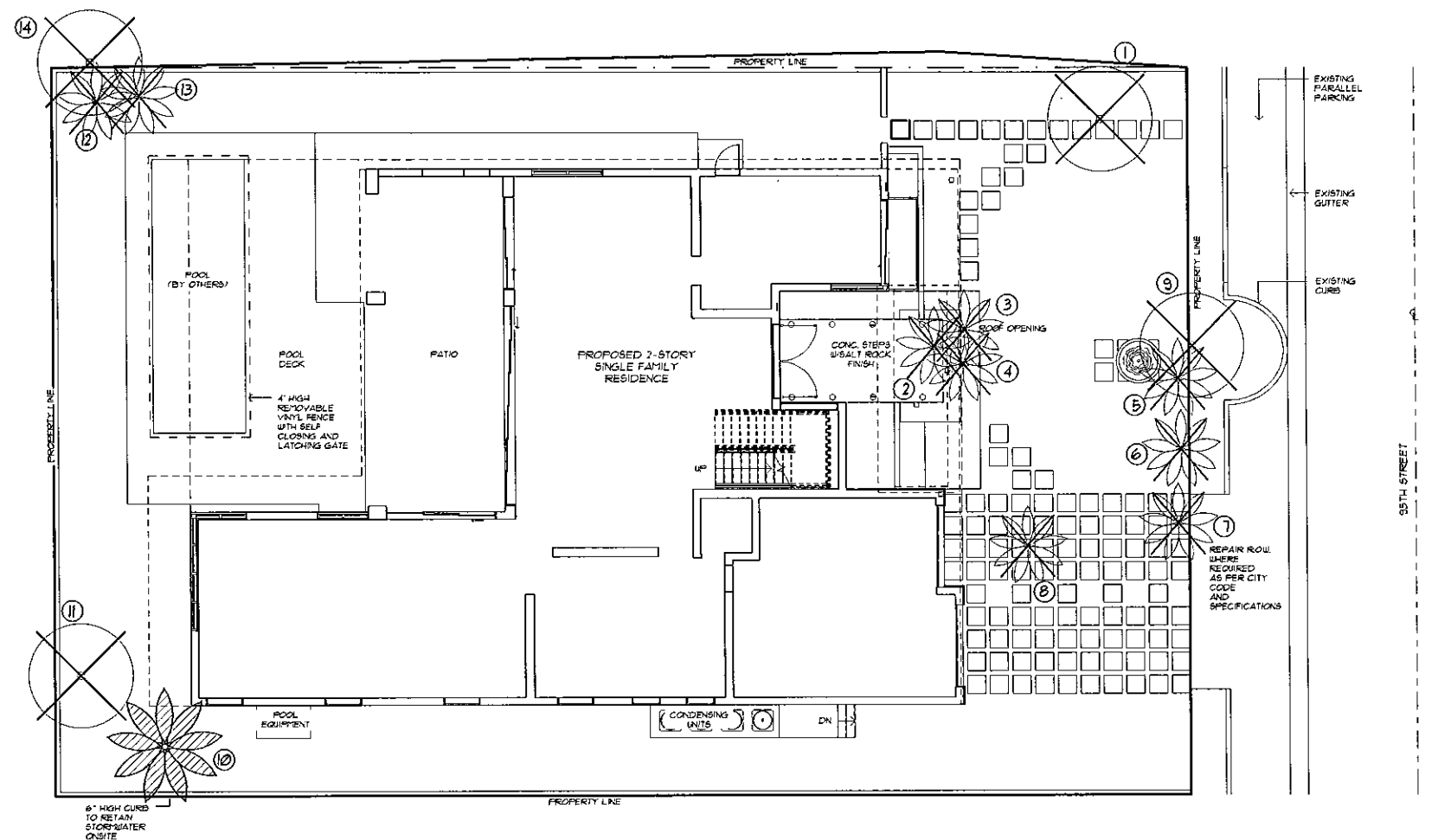
Date:

FR / CS / JG / MM

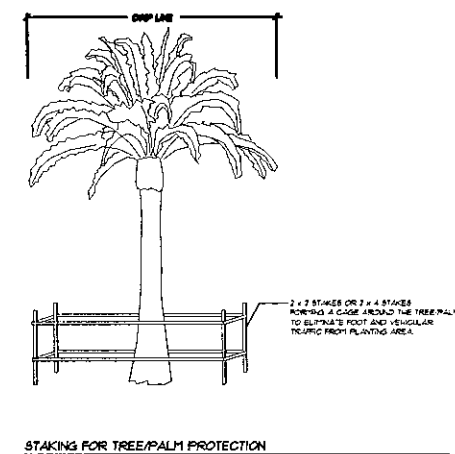
Drawn

MATERIALS BOARD

MB1.0



TREE DISPOSITION LEGEND							
No. on PLAN	COMMON NAME	SCIENTIFIC NAME	D.B.H. (Inches)	HEIGHT (Feet)	CANOPY (Feet)	MITIGATION (Sq. Feet)	DISPOSITION
1	Non-Native "Live Tree" Mitigation	<i>Ficus sp. / Ficus religiosa</i>	20	80	20	Invasive species	To Remove
2	"Palm Date Palm (#2.4 yard of tree's trunk)	<i>Phoenix rostrata</i>	8	10	8		To Remove - it may of sometimes or
3	"Palm Date Palm"	<i>Phoenix rostrata</i>	8	10	8	19.53	To Remove - it may of construction
4	"Palm Date Palm"	<i>Phoenix rostrata</i>	8	10	8	19.53	To Remove - it may of construction
5	"Palm Date Palm"	<i>Phoenix rostrata</i>	8	10	8	19.53	To Remove - it may of construction
6	"Palm Date Palm"	<i>Phoenix rostrata</i>	8	10	8	19.53	To Remove - it may of construction
7	"Palm Date Palm"	<i>Phoenix rostrata</i>	8	10	8	19.53	To Remove - it may of construction
8	"Royal Palm"	<i>Roystonea regia</i>	12	20	8	19.53	To Remove - it may of construction
9	"Mango Tree"	<i>Mangifera indica</i>	6	10	10	70.80	To Remove - it may of construction
10	"Royal Palm"	<i>Roystonea regia</i>	10	80	10	N/A	To Remove
11	"Lime Tree"	<i>Boroffera arborea</i>	40	38	18	Invasive species	To Remove
12	"Acacia Palm"	<i>Acacia robusta</i>	18	30	10	70.80	To Remove
13	"Acacia Palm"	<i>Acacia robusta</i>	10	30	10	70.80	To Remove
14	"Live Tree (Non-Native)" (encroaching on the property)	<i>Ficus indica</i>	50	38	18	Invasive species	To Remove
					TOTAL CANOPY REMOVED:	572.80	
NOTES:							
TOTAL CANOPY TO MITIGATE:			375.00 S.F.				
TOTAL MITIGATION PROVIDED:			1 - 1.4' FT. X 3" DIA., SHADE TREE TO BE PROVIDED				



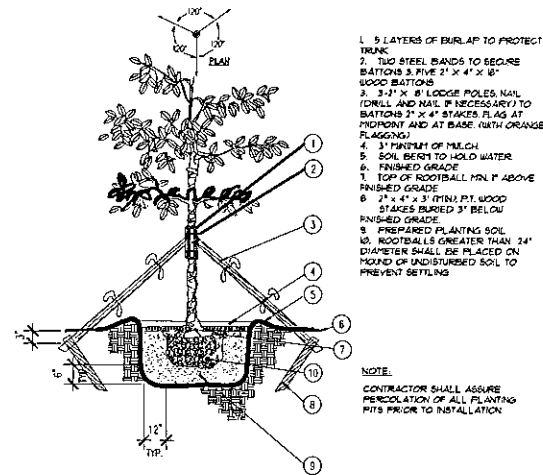
SYMBOLS LEGEND

 EXISTING TREE TO BE REMOVED

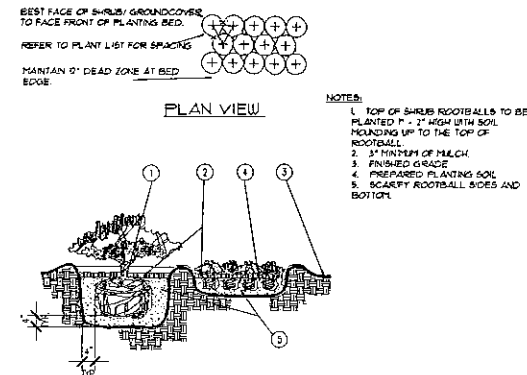
 EXISTING PALM TO REMAIN

 EXISTING PALM TO BE REMOVED

M
L
K
J
I
H
G
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D
C
B
A



LARGE TREE PLANTING DETAIL
N.T.S.



SHRUB/GROUND COVER PLANTING DETAIL
N.T.S.

PLANTING DETAILS AND NOTES
N.T.S.

GENERAL PLANTING NOTES:

- All plant material shall conform or exceed the minimum standards for Florida Number 1, as provided in the most current edition of the "Grades and Standards for Nursery Plants - Part I and Part II", prepared by the State of Florida Department of Agriculture and Consumer Services.
- All plantings shall be installed as per plans and specifications.
- Plant quantities are for convenience only. Contractor responsible for verifying all quantities prior to starting work. In the event of quantity discrepancies the drawing shall take precedence.
- All plant material shall meet or exceed the size requirements as specified in the plant list. No substitutions shall be accepted without the Landscape Architect's approval.
- Plant locations may be adjusted by Landscape Architect due to unforeseen conditions.
- Contractor shall schedule with Landscape Architect a time in which to view plant material in the nursery prior to installation. The Landscape Architect may choose to attach its seal to each plant or to a representative sample. In the event that a nursery visit is not feasible, the Contractor shall submit pictures of proposed plant material.
- Contractor is responsible for verifying all underground and overhead utilities and obtaining the necessary clearances prior to planting.
- Contractor shall examine sub-grade and rough grade before planting and alert Landscape Architect of any conditions which would be detrimental to plant development.
- All planting areas shall be free of grass and weeds.
- After grass and weeds have been removed from all planting areas, contractor shall treat area with pre-emergent herbicide. Contractor shall wait 7 days prior to planting.
- Planting soil shall consist of a mixture of 60% sand and 40% muck by volume. Before planting materials are installed, test planting soil and amend planting soil as recommended by the Testing Laboratory such that planting soil pH falls within the range of 5.5 to 6.5 pH and have an Infiltration Rate (K-sat) of 8-16 inches/hour.
- Soil moisturizer shall be added to all planted areas. Soil moisturizer shall be "Terrasorb", as manufactured by Industrial Services, International or equal. Proportions shall be as follows:
 - For trees up to 36 inches diameter root ball, use one 3 oz. packet.
 - For trees with root ball larger than 36 inches in diameter, use two 3 oz. packets.
 - For bedding areas use one 3 oz. packet for every 20 square feet of planting areas, with packets thoroughly mixed in planting soil.
- Planting soil shall be amended by the addition of biostimulants. Biostimulants shall be Die Hard Transplant containing micronutrient lime or approved equal. Proportions shall be as follows:
 - For trees up to 36 inches diameter root ball, use one 8 oz. packet.
 - For trees with root ball larger than 36 inches in diameter, use two 8 oz. packets.
 - For shrubs and groundcovers, follow manufacturer's recommendations.
- All planted areas shall be mulched in accordance with details. Mulch shall be shredded Grade "A" Eucalyptus as manufactured by ACTION Nursery Products or approved equal.
- All trees shall be staked or guyed immediately after planting. Guying and staking shall be done in accordance with enclosed details and local practices.
- Weed control fabric shall be Pro-5 Weed Barrier by Dowco or approved equal.
- All areas within the project limits not covered with buildings, pavement, shrubs or groundcovers shall be sodded with Zoysia sod.
- All guying and staking shall be removed six months after final acceptance or after hurricane season of the corresponding year whichever occurs later.
- An automatic irrigation system shall be installed.
 - Irrigation system shall be designed for 100% coverage with 5% overlap.
 - A rain sensor shall be installed to shut the system down when it is raining.



SOD ADJACENT TO CONCRETE DETAIL
N.T.S.



Landscape Sub-Consultant

BURSTYN RESIDENCE
1310 95TH STREET
BAY HARBOR ISLANDS, FLORIDA

Project

Landscape Architect

HAROLD HOFFE
REG. LIC. # 14866592

Revisions

No.	Description	Date
1	REVISION COMMENTS	4/26/16

P1409058

Project No.

3/3/16

Date:

Drawn

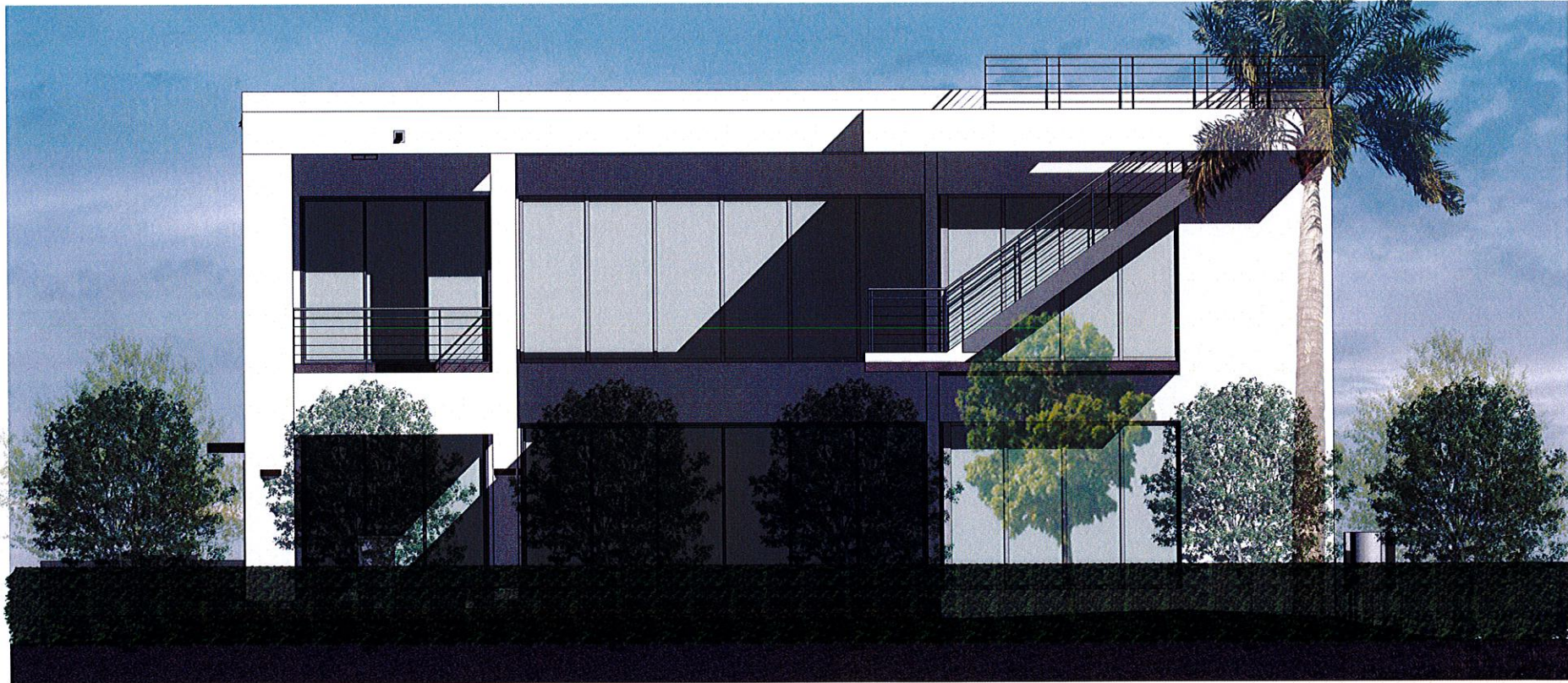
PLANTING DETAILS & NOTES

L-1.1

THESE PLANS ARE NOT VALID WITHOUT APPROPRIATE ARCHITECT'S PAID SEAL AND SIGNATURE AND ARE FOR BUILDING DEPARTMENT REVIEW ONLY. PLANS ARE NOT TO BE CONSIDERED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED. THESE PLANS MAY BE SUBJECT TO MODIFICATION AS REQUIRED BY EXISTING FIELD CONDITIONS WHICH MAY NOT BE REFLECTED IN THESE PLANS. THE ARCHITECT SHALL BE NOTIFIED OF ANY FIELD DISCREPANCIES OR OTHER CONCERNS FOR CLARIFICATION PRIOR TO BEGINNING CONSTRUCTION OR BIDDING.



1 NORTH ELEVATION WITH LANDSCAPING
1/4" = 1'-0"



2 SOUTH ELEVATION WITH LANDSCAPING
1/4" = 1'-0"

Landscape Sub-Consultant



BURSTYN RESIDENCE
1310 95TH STREET
BAY HARBOR ISLANDS, FLORIDA

Project:
Landscape Architect:

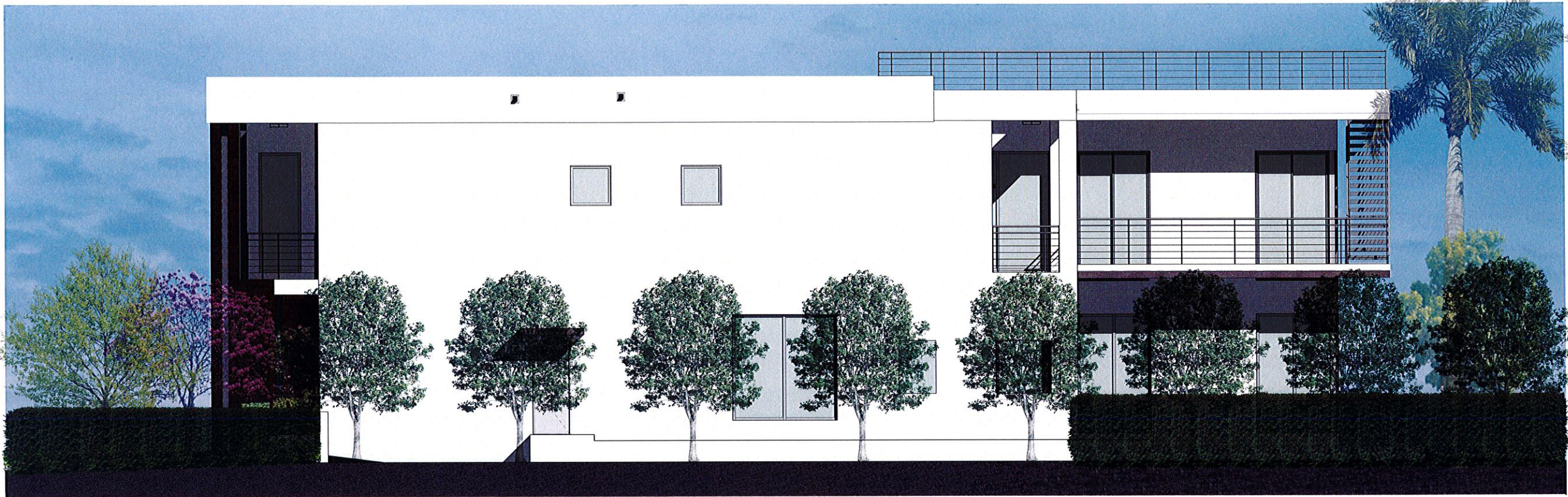
HAROLD HOYTE
REG. LIC. # LA00000000

Revisions

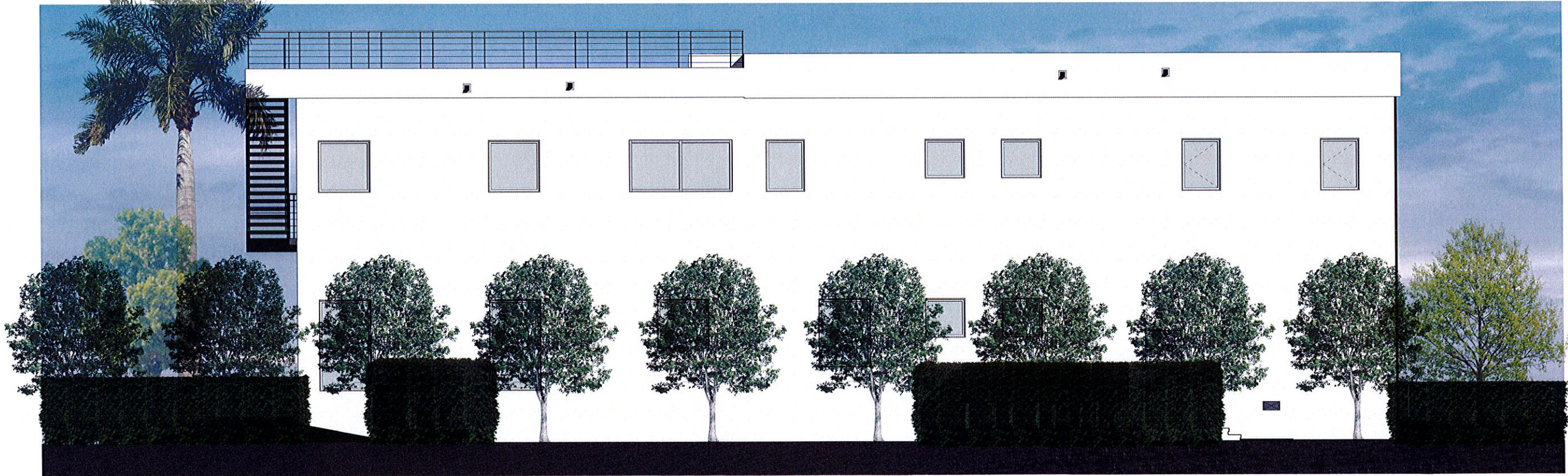
No.	Description	Date
1	ZONING COMMENTS	4/30/15

P140905-B
Project No.
3/5/15
Date:
JJ
Drawn

COLOR
ELEVATIONS
L-2.0



1 WEST ELEVATION WITH LANDSCAPING
1/4" = 1'-0"



2 EAST ELEVATION WITH LANDSCAPING
1/4" = 1'-0"



Landscape Sub-Consultant

BURSTYN RESIDENCE
1310 95TH STREET
BAY HARBOR ISLANDS, FLORIDA

Project:

Landscape Architect:

HAVOLD HOYTE
REG. LIC. # LA0000000

Revisions

No.	Description	Date
1	ZONING COMMENTS	4/30/15

P140905-B

Project No.

3/5/15

Date:

JJ

Drawn

COLOR

ELEVATIONS

L-2.1

**TOWN OF BAY HARBOR ISLANDS
COMMUNITY DEVELOPMENT
MEMORANDUM**

To: Town of Bay Harbor Islands
Planning and Zoning Board

From: Scott D. Marks *SDM*
Community Planner
MMPA-Consultant Town Planner

Date: May 12th, 2015

Subject: Proposed Single-Family Residence
Burstyn Residence
1310 95th Street
Bay Harbor Islands Acct. No.: BP2015-65
MMPA Acct. No.: 01-0702-1012

RECOMMENDED ACTION

MMPA recommends the Planning and Zoning Board review the contents of this staff report, the submitted site plan and architectural plans (dated 05/12/15) and if felt to be acceptable, **APPROVE** the plans as submitted or with modifications as deemed appropriate and/or with conditions, to allow for the construction of a new single-family house at 1310 95th Street.

GENERAL PROJECT INFORMATION

Land Use Designation: L – Low Density Residential
Zoning District: RD Single-Family District
General Location: 1310 95th Street
Legal Description: Lot 9 of Block 32, "Bay Harbor Island" according to the plat thereof, as recorded in Plat Book 46, at Page 5 of the Public records of Miami-Dade County.

PROJECT DESCRIPTION

The project architect, Archiquadra, as agent for the property owner, David Burstyn, has submitted an application for the construction of a new single-family residence on an interior lot located at 1310 95th Street. The proposed two-story home has approximately 5,350 square feet of A/C living space with a two-car garage. The residence will have five (5) bedrooms, six (6) full

**1310 95th Street – Burstyn Residence
Proposed Single Family Residence
Planning and Zoning Board Staff Report
May 12th, 2015
Page 2**

bathrooms, one (1) half bathroom and a media room. The overall height of the structure will be 25'-0" above Base Flood Elevation (BFE), which is the maximum allowed for a flat roof within the RD Single-Family District. The applicant is proposing one (1) driveway connection to 95th Street. Extensive landscaping is proposed that meets the Miami-Dade County Landscape Code and Town Supplemental Landscape Code requirements, including the use of native and drought tolerant plant materials.

The Historical Structure Survey for the Town of Bay Harbor Islands list the existing structure as a masonry vernacular design that was built in 1950 (FMSF No. DA10255). The existing structure will be demolished. The new single-family home will be a modern architectural design with a large wooden accent on the front of the structure.

PROJECT HISTORY

The applicant submitted an initial set and several revised sets of plans that were reviewed by MMPA for consistency with the Town Code requirements. Comments were given to the applicant each time and the current submitted plans are reflective of all requested changes.

COMPREHENSIVE PLAN / ZONING

Comprehensive Plan – The property has a Future Land Use Map (FLUM) designation of "Low Density Residential". The maximum allowable base density is six (6) DUA. The proposed use and density of the property would be consistent with the applicable FLUM designation of the property.

Land Development Regulations / Zoning Code –The property has a Zoning Classification of RD Single Family Zoning District. The proposed use and density of the property is consistent with this zoning classification. The following Zoning and Planning sections of the Code apply to this proposal: Section 23-3 (Use Regulations RD Single-Family District), Section 23-9 (Minimum Size of Living Units), Section 23-10 (Minimum Size of Building Lot), Section 23-11(A) (Land Development Regulations RD Single-Family Area) and Section 23-12 (Land Development Regulations General Provisions). In addition, the Town has separate regulations for landscaping, driveways and building material regulations.

PLATTING

The site will not require re-platting, as the site is currently platted as described above under the legal description.

SUMMARY / SITE PLAN COMMENTS

The current site plan and architectural plans submitted for the construction of a new single-family house at 1310 95th Street meet or exceed all Town Land Development and Landscape Code requirements. The applicant previously submitted plans that were reviewed and commented on by MMPA and all previous comments and issues have been addressed by the current plans.

AGENDA ITEM REPORT

May 19, 2015

ITEM NUMBER: 3.

ITEM:

Approval of minutes of the Board meeting held on February 3, 2015. (Item #3A)

DESCRIPTION:

Approval of minutes of the Board meeting held on February 3, 2015. (Item #3A)

RECOMMENDED ACTION:

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Marante
 Ayanidys Marante

ATTACHMENTS

1.	Minutes 2.3.2015	2-3-15 DRAFT.docx
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**MINUTES OF THE PLANNING AND ZONING BOARD MEETING
TOWN OF BAY HARBOR ISLANDS**

A Planning & Zoning Board Meeting was held Tuesday, February 3, 2015 at 7:00 p.m. in the Council Chambers. The meeting was opened with the Pledge of Allegiance. Upon roll call, the following Board Members responded:

Chair Steven Hurwitz

Vice Chair Jerome Gavcovich

Board Member Jed Frankel

Board Member Thomas Telesco

QUASI-JUDICIAL PUBLIC HEARING

Item 1. Request for approval for a new multi-family dwelling for "1150 100 St Townhouses" located at 1150 100 Street, Lot 7 of Block 8. The developers are proposing to construct a four (4) dwelling unit townhouse development. The proposed units range from 3,735 to 4,123 sq. ft. of a/c plus balconies, etc. The proposed design incorporates one rectangular shaped building positioned north/south on site. The building has 4 stories in height (3 floors of residential over one floor of parking garage/family room and bathroom @ max. 40 feet above BFE.

Assistant Town Attorney Simone swore in everyone speaking at the Public Hearing.

Architect Marcus Frankel and Jason Castiane came forward to address the Board. They represented the owners and applicant for the proposed project. Architect Frankel stated that the applicant was proposing to construct a four (4) unit Townhouse development ranging 3,735 to 4,123 square feet. He explained the team objectives was to provide spacious homes; total compliance of the Town Code and to provide marketing demand to the Bay Harbor residents. He provided the Board with sample renderings; street elevation and aerial views that included the landscaping leading up to the driveway. He also provided the ground floor renderings that showed four (4) car garages; two (2) property entrances and the guest parking space located off the driveway with direct access to any of the 4 units. The third level had the second and third bedrooms with a loft; fourth level was dedicated to a large master suite with wrap around balconies and the last floor showed the roof top with the optional pool and possible a/c condensers space. He also provided the landscaping plan that included royal palms; sabal palms; coconut palms; pigeon plums; scrubs; hedges; and street trees.

There was a brief discussion from the Board regarding entry door for the garage; wrap around balconies; elevation for the water feature; the addition of more windows in the bedrooms; materials; railings; structural support columns; guest parking; and eyebrows.

PUBLIC COMMENT

Frances Neuht, 1060 Kane Concourse, came forward to address the Board. She felt that the proposed project did not meet the Town Code and stated that the Board did not have the authority to approve a variance.

Victor Maya, 1155 103 Street, came forward to address the Board. He asked why did the balconies needed to be deeper. He felt that the Board was constantly approving projects with deeper balconies.

CLOSED PUBLIC COMMENT

ACTION: Vice Chair Gavcovich made a motion to approve the proposed project with the following conditions:

1. Incorporated Town Planner Miller recommended conditions.
2. Lower the height of the entry canopy.
3. Increase the glazing on the 4th level.
4. The railing segment must be curved.
5. The wall surface on the 4th level eyebrows must be glazed glass or metal panel.

Chair Hurwitz seconded the motion and it passed 3-1 with Board Member Frankel opposed.

CONCLUSION OF QUASI-JUDICIAL PUBLIC HEARING

Item 2. Request for approval for a sign for "Ocean Cadillac" located at 1000 Kane Concourse, Tract N. The owner is proposing to replace the existing primary sign on the side facing E. Bay Harbor Drive. The sign does not meet code and will require approval from the Board as it is larger than the code permits. Enclosed please find elevation showing the sign and dimensions.

Town Clerk Marante explained that the Board had the discretion to approve signs that did not meet the Town Code. He added the applicant had made a lot of renovation to the building and were also upgrading their logo.

General Manager Alex Andreas came forward to address the Board. He explained that the applicant have made several improvements to the building and would like to update to a more modern logo. He stated the older signs had been there for more than 20 years and added that the square footage was less than the current signs in place. Town Planner Miller explained that the Town Code allowed for 1 sign per street view and the second sign must not be less than 50 percent of the main sign of the frontage. He stated that because the signs were separated, they required the Board approval.

Assistant Town Attorney Simone explained that the applicant was using old logos that were no longer used in their corporation.

PUBLIC COMMENT

Frances Neuhut, 1060 Kane Concourse, came forward to address the Board. She urged the Board to approve the proposed signs and was happy to see the Board discuss signs on Kane Concourse. She also suggested that the Board should focus on the aesthetics of the signs not the Code.

Victor Maya, 1155 103 Street, came forward to address the Board. He urged the Board to follow the aesthetics of the signs and follow the Town Code.

CLOSED PUBLIC COMMENT

Assistant Town Attorney Simone stated that the sign criteria varied notwithstanding that the Board had the discretion to approve based on the aesthetic.

ACTION: Board Member Telesco made a motion to approve the proposed sign as submitted. There being no seconded, motion failed.

Town Planner Miller stated that the Code allowed having 30 square feet signs, and the proposed sign was 50 square feet in the frontage and 62 square feet on the side street.

There was a brief discussion from the Board regarding the size of the signs, Code, reduction of the logo sign; and to provide elevations.

Consensus was for the applicant to come back to the Board with a smaller and more proportion signs, and to provide the Board with elevations of the proposed signs.

There being no further business meeting was adjourned at 8:49 pm.

CHAIR PERSON

ATTEST

TOWN CLERK