When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don't turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

MEETING OF THE

PLANNING AND ZONING BOARD

QUASI-JUDICIAL PUBLIC HEARING

June 3, 2014

AGENDA

CALL TO ORDER: Set for 6:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

1. Election of a Chair by the Board members.

2. Election of a Vice Chair by the Board members.

3. Request for approval for a new multi family dwelling for "Beau Rivage Condominium" located at 9781 E. Bay Harbor Drive, Lot 28 of Block 4. On May 6, 2014, the Board deferred the application and instructed the applicant to make several changes. The developers have revised the plans and it appears to have addressed the design comments. They are proposing to construct a thirteen (13) mid rise development. The proposed units range from 1,303 to 3,300 sq. ft. of a/c plus balconies, etc. The proposed design incorporates one rectangular shaped building positioned east/west on top of a one-story parking garage structure at grade. The building has 8 stories in height (7 floors of residential over one floors of parking garage @ max. 75 feet above BFE. The developer will be required to obtain 4 Transfer of Development Rights (TDR). Enclosed please find the site plan and elevations.

   ** Staff Review:*

   Design meets Town Code and was approved by the Development Review Committee pending the approval of 4 Transfer of Development Rights.

PUBLIC COMMENT - For the purpose of hearing any public comment with respect to an application for site plan approval at 9781 E. Bay Harbor Drive.

CONCLUSION OF QUASI-JUDICIAL PUBLIC HEARING

4. Request for approval for exterior changes to the "St Regis Condominium" located at 9500 W. Bay Harbor Drive, Lots 4-6 of Block 2. The Condo applied for a concrete restoration permit and it was issued to the contractor on January 2014. During the construction it was found that the balcony railings are not to code and extremely dangerous. They have removed the concrete portion of the balcony to eliminate the danger and weight on the aging balconies. The new railings will be similar to the existing one. They have replaced the color from gold to silver on the railings so it can match the new window frames. Enclosed please find a photo of the existing building, a letter from the Association and Elevation.

5. Approval of minutes of the Board meeting held on April 2, 2014.

ADJOURNMENT: Approximately 8:00 p.m.

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don=t turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

TOWN OF BAY HARBOR ISLANDS
PLANNING AND ZONING BOARD

June 3, 2014

FINAL AGENDA

ITEM NUMBER: 3.

ITEM: Request for approval for a new multi family dwelling for "Beau Rivage Condominium" located at 9781 E. Bay Harbor Drive, Lot 28 of Block 4. On May 6, 2014, the Board deferred the application and instructed the applicant to make several changes. The developers have revised the plans and it appears to have addressed the design comments. They are proposing to construct a thirteen (13) mid rise development. The proposed units range from 1,303 to 3,300 sq. ft. of a/c plus balconies, etc. The proposed design incorporates one rectangular shaped building positioned east/west on top of a one-story parking garage structure at grade. The building has 8 stories in height (7 floors of residential over one floors of parking garage @ max. 75 feet above BFE. The developer will be required to obtain 4 Transfer of Development Rights (TDR). Enclosed please find the site plan and elevations.

DESCRIPTION:
For the purpose of hearing any public comment with respect to an application for site plan approval at 9781 E. Bay Harbor Drive.

RECOMMENDED ACTION:
Design meets Town Code and was approved by the Development Review Committee pending the approval of 4 Transfer of Development Rights.

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Marante

ATTACHMENTS

1.	Site Plan & Elevations	BeauRivage6.3.14PNZ.pdf
2.	Staff Review	BHI Beau Rivage PZB Staff Report May 27 2014.pdf

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

BEAU RIVAGE CONDOMINIUM

BAY HARBOR RESIDENTIAL DEVELOPMENT

9781 EAST BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

INDEX OF SHEETS

	COVER
	SURVEY
	TREE SURVEY
A-0.01	CONTEXT PHOTOS
A-0.02	AERIAL VIEWS
A-0.03	RENDERING VIEWS
A-1.01	SITE PLAN - LEVEL 1 FLOOR PLAN
A-1.02	LEVEL 2 FLOOR PLAN
A-1.03	LEVEL 3 FLOOR PLAN
A-1.04	LEVEL 4 FLOOR PLAN
A-1.05	LEVELS 5 - 7 FLOOR PLAN
A-1.06	PENTHOUSE FLOOR PLAN
A-1.07	ROOF DECK FLOOR PLAN
A-1.08	HIGH ROOF PLAN
A-2.01	WEST ELEVATION
A-2.02	SOUTH ELEVATION
A-2.03	EAST ELEVATION
A-2.04	NORTH ELEVATION
A-3.01	BUILDING SECTION
A-3.02	WALL SECTION
D-1	SITE MITIGATION PLAN
L-1	SITE PLANTING PLAN
L-2	2ND FLOOR PLANTING PLAN
L-3	3RD FLOOR PLANTING PLAN
L-4	4TH FLOOR PLANTING PLAN
L-5	ROOF - POOL AREA PLANTING PLAN
L-6	PLANTING DETAILS
C-1	PAVING, GRADING & DRAINAGE PLAN
C-2	WATER & SEWER PLAN
C-3	PAVEMENT MARKING & SIGNAGE PLAN
E-1.01	SITE PHOTOMETRIC PLAN

ARCHITECTURAL ANALYSIS

THE EXISTING BUILDING ON SITE (TO BE DEMOLISHED) IS A TWO-STORY APARTMENT BUILDING OF MASONRY & STUCCO CONSTRUCTION, BUILT IN THE 1960s. THE BUILDING IS AN EXAMPLE OF MASONRY VERNACULAR MIMO ARCHITECTURE.

BUILDING OCCUPANCY RESIDENTIAL R1

TYPE OF CONSTRUCTION TYPE I-B

UNIT #	# OF UNITS	NSF PER UNIT	GSF PER UNIT	AREA	SF	# OF BD / # OF BA
UNIT A	2	2,558	2,684	5,368	SF	3 BD / 3.5 BA
UNIT B	1	1,442	1,536	1,536	SF	2 BD / 2.5 BA
UNIT C	1	1,573	1,624	1,624	SF	2 BD / 2.5 BA
UNIT D	4	1,877	1,991	7,964	SF	3 BD / 3 BA
UNIT E	4	1,220	1,303	5,212	SF	2 BD / 2 BA
UNIT PH	1	3,069	3,300	3,300	SF	3 BD / 4.5 BA + DEN
TOTAL	13			25,004	SF	

LOCATION MAP
SCALE: N.T.S.

NOTE: FLUM LAND USE DESIGNATION FOR PROPERTIES WITHIN 300' RADIUS OF SITE IS MEDIUM-HIGH DENSITY RESIDENTIAL.

ZONING SUMMARY

9781 EAST BAY HARBOR DRIVE, BAY HARBOR ISLANDS, FLORIDA 33154

	SF	ACRES
LOT AREA	11,286	0.26 +/-

LEGAL DESCRIPTION

LOT 28, BLOCK 4, BAY HARBOR ISLAND, RECORDED IN PLAT BOOK 46 AT PAGE 5 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FLOOD ELEVATION

THE SITE IS LOCATED IN FLOOD ZONE "AE", WITH A BFE OF 10.0' NGVD.

CROWN OF THE ROAD 4.815' NGVD

ZONING CLASSIFICATION — RM1 - WATERFRONT MULTI FAMILY RESIDENTIAL DISTRICT

FUTURE LAND USE DESIGNATION	MEDIUM-HIGH DENSITY RESIDENTIAL	
FLR	**ALLOWABLE**	**PROPOSED**
(DETERMINED BY THE SETBACKS)	N/A	
MAXIMUM DENSITY		
34 UNITS PER NET ACRE	9	13 (4 TDRs REQ.)
SETBACKS	**REQUIRED**	**PROPOSED**
FRONT:		
UP TO 30'-0" HIGH	20'-0"	20'-0"
UP TO 45'-0" HIGH	25'-0"	30'-0"
UP TO 65'-0" HIGH	30'-0"	30'-0"
REAR:		
	20'-0"	20'-0"
1'-0" ADDITIONAL FOR EACH 3'-0" OF HEIGHT ABOVE 30'-0"	21'-8" (MAX)	21'-8" (MAX)
SIDE:		
UP TO 30'-0" HIGH	10'-0"	10'-0"
1'-0" ADDITIONAL FOR EACH 3'-0" OF HEIGHT ABOVE 30'-0"	20'-0" (MAX)	20'-0" (MAX)
FLEX: 1/3 OF BUILDING LENGTH		
@ NORTH [0.33 X 110'-1"]	36'-8"	36'-8"
@ WEST [0.33 X 53'-4"]	17'-9"	17'-9"
@ SOUTH [0.33 X 110'-1"]	36'-8"	36'-8"
@ EAST [0.33 X 57'-9"]	19'-3"	0'-0"
MAXIMUM HEIGHT	**ALLOWABLE**	**PROPOSED**
MAXIMUM BUILDING HEIGHT	75'-0" above BFE	75'-0" above BFE
GROUND LANDSCAPE AREA	**REQUIRED**	**PROPOSED**
20% OF LOT AREA MINIMUM 11,286 X .20	2,257 SF	2,904 SF = 26%
ROOF DECK LANDSCAPE REQUIREMENTS	**REQUIRED**	**PROPOSED**
15% OF ROOF AREA MINIMUM 2,128 X .15	319 SF	665 SF = 31 %
LOT COVERAGE	**ALLOWABLE**	**PROPOSED**
(PERIMETER DETERMINED BY THE SETBACKS)	DETERMINED BY SETBACKS	6,076 SF = 54%
PARKING SPACE REQUIREMENTS	**REQUIRED**	**PROPOSED**
RESIDENTIAL - 2 PER DWELLING UNIT MINIMUM & DROP-OFF AREA	26	27

OWNER / DEVELOPER:
BEAU RIVAGE, LLC
9781 E BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154
P: 561.994.3434

DESIGN CONSULTANTS:

CIVIL ENGINEER:
HOLLAND ENGINEERING
111 SOUTH 21ST AVENUE
HOLLYWOOD, FLORIDA, 33020
P: 954.367.0371

LANDSCAPE ARCHITECT:
GEOMANTIC DESIGNS, INC.
6800 S.W. 81ST STREET
MIAMI, FLORIDA, 33143
P: 305.665.9688

FRANKEL BENAYOUN
ARCHITECTS INC
ARCHITECTS PLANNERS INTERIOR DESIGN

LICENSE NO. AA-C001494
MARKUS A. FRANKEL. LICENSE NO. AR0007143
IFHAT BENAYOUN FISHMAN. LICENSE NO. AR0017273

1177 KANE CONCOURSE, SUITE 120, BAY HARBOR ISLANDS, FLORIDA 33154
PH: (305) 868.3665 FAX:(305) 868.3650
E MAIL: INFO@FRANKELBENAYOUN.COM

P&Z BOARD SUBMITTAL **JUNE 3, 2014**

COUSINS SURVEYORS & ASSOCIATES, INC.
3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 680-9885 FAX (954) 680-0213

PROJECT NUMBER : 5312-05

CLIENT :
BEAU RIVAGE, LLC.

SKETCH OF SURVEY

LEGEND:

CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET 5/8" IRON ROD & CAP #6448
SNC	SET NAIL AND CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL AND CAP
FND	FOUND NAIL & DISC
P.B.	PLAT BOOK
M/D.C.R.	MIAMI/DADE COUNTY RECORDS
WM	WATER METER
-X-	CHAIN LINK/ WOOD FENCE
ELEV	ELEVATION
CBS	CONCRETE BLOCK STRUCTURE
WPP	WOOD POWER POLE
A/C	AIR CONDITIONER
STY	STORY
-E-	OVERHEAD UTILITY LINES
5.90'	ELEVATION

LAND DESCRIPTION:

LOT 28, BLOCK 4 OF "BAY HARBOR ISLAND", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 46, PAGE 5 OF THE PUBLIC RECORDS OF MIAMI/DADE COUNTY, FLORIDA.

NOTES :

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
3. THIS SURVEY WAS DONE SOLEY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
4. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
5. UNDERGROUND IMPROVEMENTS NOT SHOWN.
6. ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
7. BENCHMARK REFERENCE : MIAMI/DADE COUNTY BENCHMARK NO. S-243 ELEVATION = 11.77'
8. BEARINGS SHOWN HEREON ARE BASED ON THE EAST LINE OF BLOCK 23, BAY HARBOR ISLAND", P.B. 46, PG. 5, M/D.C.R. SAID LINE BEARS N02°38'50"W.

I HEREBY CERTIFY THAT THE "SKETCH OF SURVEY" OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION IN FEBRUARY, 2014.
I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE. PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

FOR THE FIRM, BY: ---Richard E. Cousins---

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 4188

SURVEY DATE : 02/05/14

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY	05/31/05	116/16	AV	
UPDATE SURVEY	02/05/14	SKETCH	JD	REC

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120637
PANEL NUMBER	0092 J
ZONE	AE
BASE FLOOD ELEVATION	9
EFFECTIVE DATE	07/17/95

PROPERTY ADDRESS :
9781 EAST BAY HARBOR DRIVE

SCALE: 1"= 20'

SHEET 1 OF 2

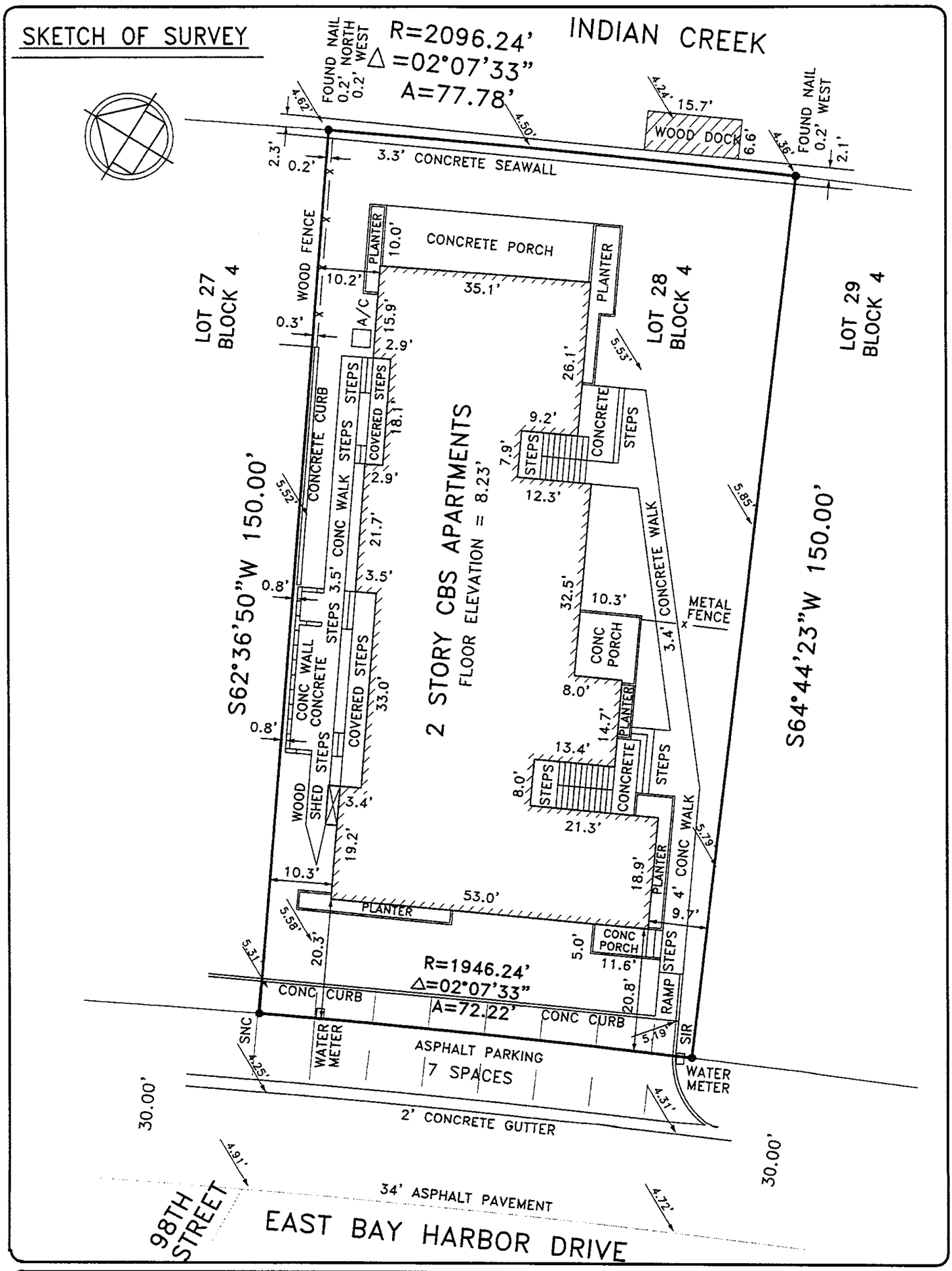
COUSINS SURVEYORS & ASSOCIATES, INC.

3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 680-9885 FAX (954) 680-0213

PROJECT NUMBER : 5312-05

CLIENT :
BEAU RIVAGE, LLC.

SKETCH OF SURVEY



REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY & IMPROVEMENTS SURVEY	05/31/05	116/16	AV	REC
UPDATE SURVEY	02/05/14	SKETCH	JD	REC

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120637
PANEL NUMBER	0092 J
ZONE	AE
BASE FLOOD ELEVATION	9
EFFECTIVE DATE	07/17/95

PROPERTY ADDRESS :
9781 EAST BAY HARBOR DRIVE

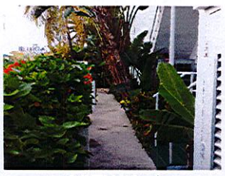
SCALE: 1"= 20'

SHEET 2 OF 2

SKETCH OF BOUNDARY SURVEY OF: 9781 E. BAY HARBOR DRIVE, MIAMI BEACH, FL.

LEGEND:

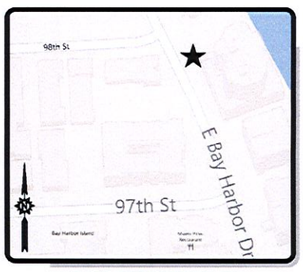
L.B. . . . . LICENSED BUSINESS
M.D.C.R. . . . . MIAMI–DADE COUNTY RECORDS
ID. . . . . IDENTIFICATION
A/C . . . . . AIR CONDITIONING UNIT(S)
(P) . . . . . DENOTES BEARING AND DISTANCE BASED ON PLATS OF RECORD
(C) . . . . . CALCULATED
–OHW–. . . . . OVERHEAD WIRE
. . . . . WATER VALVE
. . . . . CONCRETE POWER POLE
. . . . . WATER METER
. . . . . METAL LIGHT POLE
C1 . . . . . CURVE No. 1
. . . . . VIEW 1
TR 2001. . . . TREE NUMBER 2001



VIEW 1
NOT TO SCALE

VIEW 2
NOT TO SCALE

SCALE: 1" = 20'
GRAPHIC SCALE



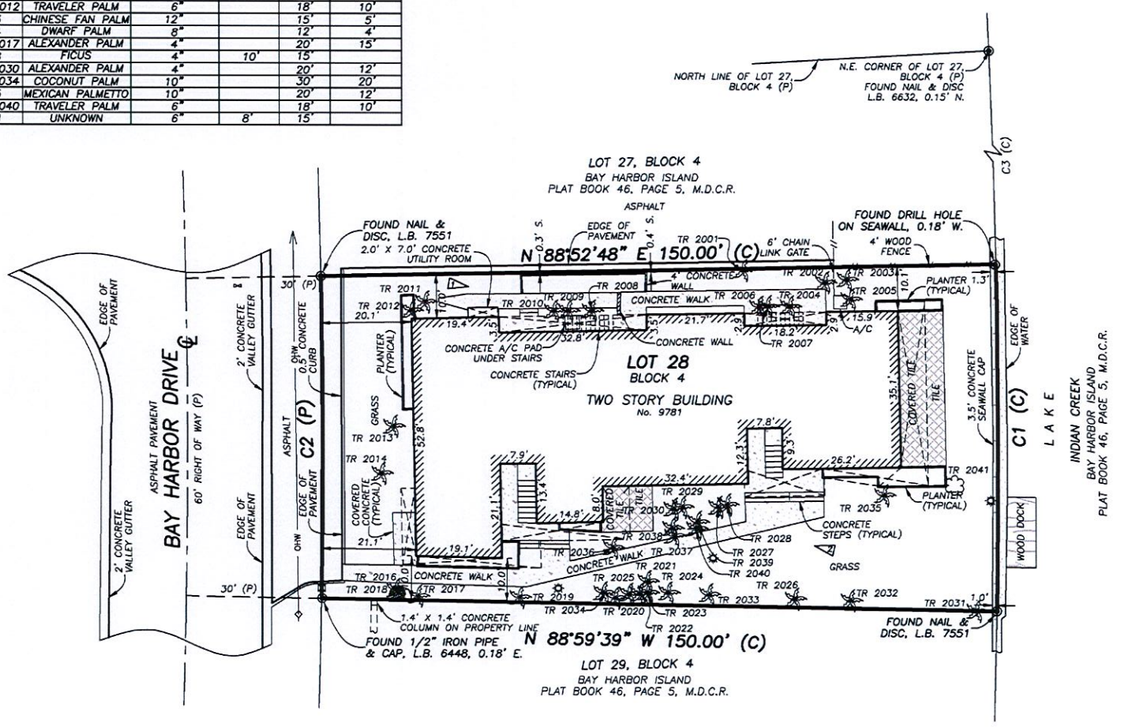
LOCATION MAP
NOT TO SCALE

CURVE TABLE (C)

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	77.78'	2096.24'	2°07'33"	N 10°42'01" W	77.78'
C2	72.21'	1946.24'	2°07'33"	N 10°42'01" W	72.21'
C3	77.78'	2096.24'	2°07'33"	N 02°10'59" W	77.78'

TREE TABLE

TREE NUMBER	TREE TYPE	DIAMETER AT BREAST HEIGHT	CANOPY DIAMETER	TOTAL HEIGHT	CLEARWOOD
2001	COCONUT PALM	8"		30'	8'
2002–2012	TRAVELER PALM	6"		18'	10'
2013	CHINESE FAN PALM	12"		15'	5'
2014	DWARF PALM	8"		12'	4'
2016–2017	ALEXANDER PALM	4"		20'	15'
2018	FICUS	4"	10'	15'	
2019–2030	ALEXANDER PALM	4"		20'	12'
2031–2034	COCONUT PALM	10"		30'	20'
2035	MEXICAN PALMETTO	10"		20'	12'
2036–2040	TRAVELER PALM	6"		18'	10'
2041	UNKNOWN	6"	8'	15'	



LEGAL DESCRIPTION:

LOT 28, BLOCK 4, OF BAY HARBOR ISLAND, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 46, PAGE 5, OF THE PUBLIC RECORDS OF MIAMI–DADE COUNTY, FLORIDA.

SURVEY NOTES:

1. THIS SURVEY REPRESENTS A BOUNDARY SURVEY AS DEFINED BY MINIMUM TECHNICAL STANDARDS FOR SURVEYING AND MAPPING, CHAPTER 5J–17, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

2. THE PROPERTY SHOWN HEREON CONTAINS 0.26 ACRES (11,250 SQUARE FEET), MORE OR LESS.

3. THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.

4. THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.

5. THE BEARINGS SHOWN HEREON ARE BASED ON A AN ASSUMED BEARING OF N.88°59'39"W.., ALONG THE SOUTH LINE OF LOT 28, BLOCK 4, OF BAY HARBOR ISLAND, PLAT BOOK 46, PAGE 5, O THE PUBLIC RECORDS OF MIAMI–DADE COUNTY, FLORIDA.

6. THE SURVEYOR DID NOT INSPECT THE PROPERTY SHOWN HEREON FOR ENVIRONMENTAL HAZARDS. IRRIGATION EQUIPMENT, TREES AND LANDSCAPING NOT LOCATED OR SHOWN HEREON.FENCES AND WALL DIMENSIONS ARE APPROXIMATE. THE SURVEYOR DID NOT DETERMINE OWNERSHIP OF FENCES AND WALLS.

7. SUBSURFACE UTILITIES, FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED AND ARE NOT SHOWN HEREON. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

8. EXACTA COMMERCIAL SURVEYORS, INC., DID NOT SEARCH THE PUBLIC RECORDS OF MIAMI–DADE COUNTY, FLORIDA FOR OWNERSHIP, RIGHTS–OF–WAY, EASEMENTS OR OTHER MATTERS AFFECTING THE PROPERTY BEING SURVEYED. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI–DADE COUNTY, FLORIDA.

9. THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE AE, ELEVATION 9' AND 10' (NGVD 29), AS SHOWN IN FLOOD INSURANCE RATE MAP 12086C 0144 L, COMMUNITY NUMBER 120637, TOWN OF BAY HARBOR ISLANDS, MIAMI–DADE COUNTY, FLORIDA. MAP REVISED DATE: SEPTEMBER 11, 2009.

SURVEY NOTES (CONT.):

10. THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY EXACTA COMMERCIAL SURVEYORS, INC. EXACTA HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYOR'S CERTIFICATION SEAL IF APPLICABLE) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. EXACTA MAKES NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT EXACTA DIRECTLY FOR VERIFICATION OF ACCURACY.

11. BUILDING DIMENSIONS WERE MEASURED AT GROUND LEVEL AND ARE OVERALL. ARCHITECTURAL DETAILS MAY NOT BE SHOWN.

12. THIS FIRM HAS IDENTIFIED VARIOUS TYPES OF TREES LOCATED ON THIS SITE BASED ON COMMON KNOWLEDGE OF TREE SPECIES. A QUALIFIED LANDSCAPE ARCHITECT SHOULD BE EMPLOYED FOR POSITIVE IDENTIFICATION OF TREE SPECIES. TREE DIAMETERS ARE APPROXIMATE AND WERE MEASURED AT BREAST HEIGHT. ONLY TREES 4 CALIPER INCHES IN DIAMETER OR LARGER WERE LOCATED AND SHOWN ON THE SURVEY. DEAD TREES, HEDGES AND GROUND COVER WERE NOT LOCATED AND ARE NOT SHOWN HEREON. EXOTIC TREES SUCH AS MELALEUCA, BRAZILIAN PEPPER AND AUSTRALIAN PINE WERE NOT LOCATED OR SHOWN HEREON.

THIS SURVEY IS CERTIFIED TO:

BEAU RIVAGE, LLC.

CERTIFICATE:

THIS IS TO CERTIFY THAT THIS BOUNDARY SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

_____
JAVIER DE LA ROCHA
PROFESSIONAL SURVEYOR AND MAPPER NO. 6080
STATE OF FLORIDA

EXACTA COMMERCIAL SURVEYORS, INC. L.B. 7551

TELEPHONE NO. 561-314-0769 FAX NO. 561-314-0770
EXACTA
COMMERCIAL LAND SURVEYORS
L.B. 7551
3460 FAIRLANE FARMS ROAD, SUITE 6, WELLINGTON, FL. 33414

SEAL
NOT VALID UNLESS SEALED HERE WITH AN EMBOSSED SURVEYOR'S SEAL

SKETCH OF BOUNDARY SURVEY
LOT 28, BLOCK 4
BAY HARBOR ISLAND
PLAT BOOK 46, PAGE 5, M.D.C.R.
9781 E. BAY HARBOR DRIVE, MIAMI BEACH, FL. 33154

CLIENT: BEAU RIVAGE, LLC.
DATE 03/18/14

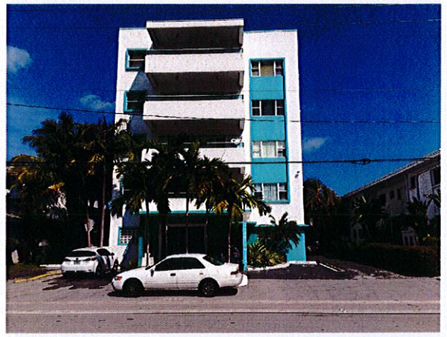
DRWN BY J.E.C.
CHK'D BY JDLR
LAST FIELD DATE: 03/17/14

REVISIONS

01	BOUNDARY SURVEY	06/25/12
02	ADD TREES	03/17/14

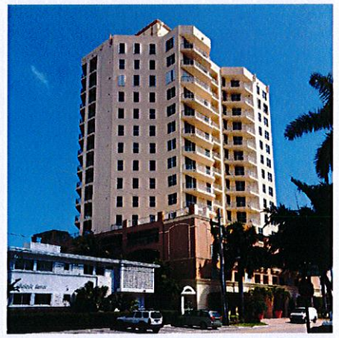
JOB NO.
FL1403-1739

SHEET NO.
01
OF
01



NORTH PROPERTY NEIGHBOR

EXIST. SITE (SUBJECT SITE) (E BAY HARBOR DR)



SOUTH PROPERTY NEIGHBOR

SUBJECT SITE DESIGN

CIVIL ENGINEER

HOLLAND ENGINEERING INC.
civil engineers

3900 HOLLYWOOD BOULEVARD- HOLLYWOOD, FL - 33021
(954)367-0371 , (954)367-0372 Fax

SUSAN C. HOLLAND, PE
Reg. no. 41831

LANDSCAPE ARCHITECT

GEOMANTIC DESIGNS, INC.
LANDSCAPE ARCHITECTURE

ROBERT PARSLEY A.S.L.A.

4899 S.W. 81 STREET MIAMI FL 33143
PH/FAX 305-663-9688 FAX 305-668-8425

FRANKEL BENAYOUN
ARCHITECTS INC
ARCHITECTS PLANNERS INTERIOR DESIGN

LICENSE NO. AA-C001484
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BAY HARBOR RESIDENTIAL DEVELOPMENT
BEAU RIVAGE CONDOMINIUM
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

OWNER DEVELOPER
BEAU RIVAGE LLC
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

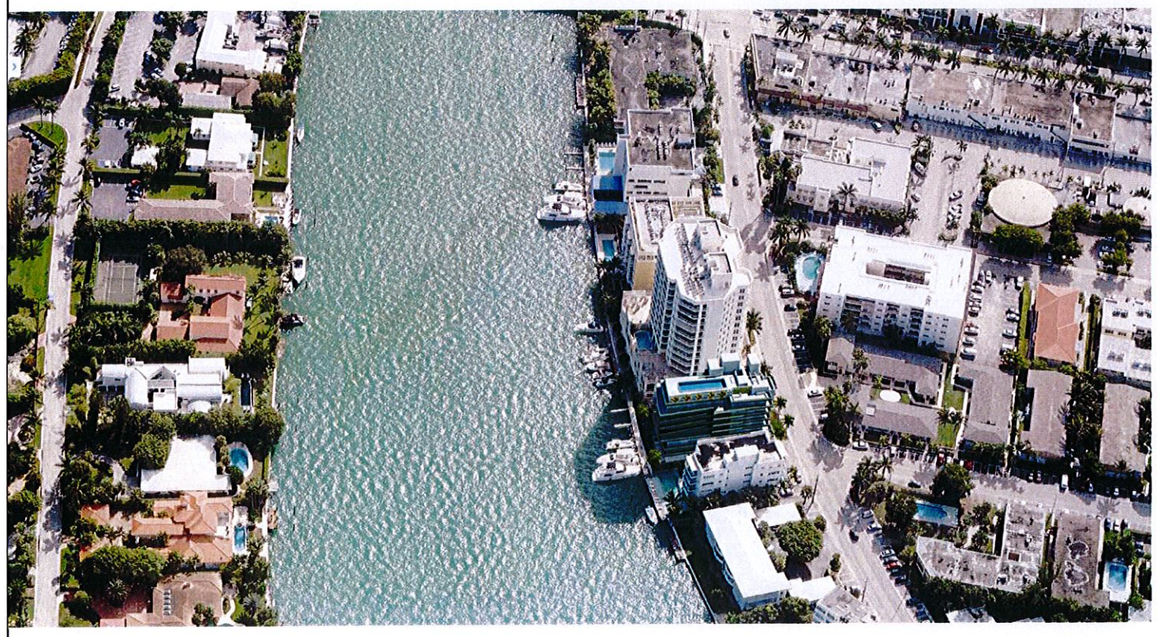
NO	REVISION	DATE	BY

DRAWING TITLE
CONTEXT PHOTOS

SCALE 1/8" = 1-0 | DATE JUNE 3, 2014

SHEET NUMBER
A-0.01

PLOTTED P&Z SUBMITTAL 06/03/14



AERIAL VIEW FROM NE

AERIAL VIEW FROM NW

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civil engineers

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OWNER DEVELOPER
BEAU RIVAGE LLC
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

NO	REVISION	DATE	BY

DRAWING TITLE
AERIAL PHOTOS

SCALE 1/8" = 1'-0" DATE JUNE 3, 2014

SHEET NUMBER
A-0.02

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PERSPECTIVE VIEW FROM NW

PERSPECTIVE VIEW FROM NE

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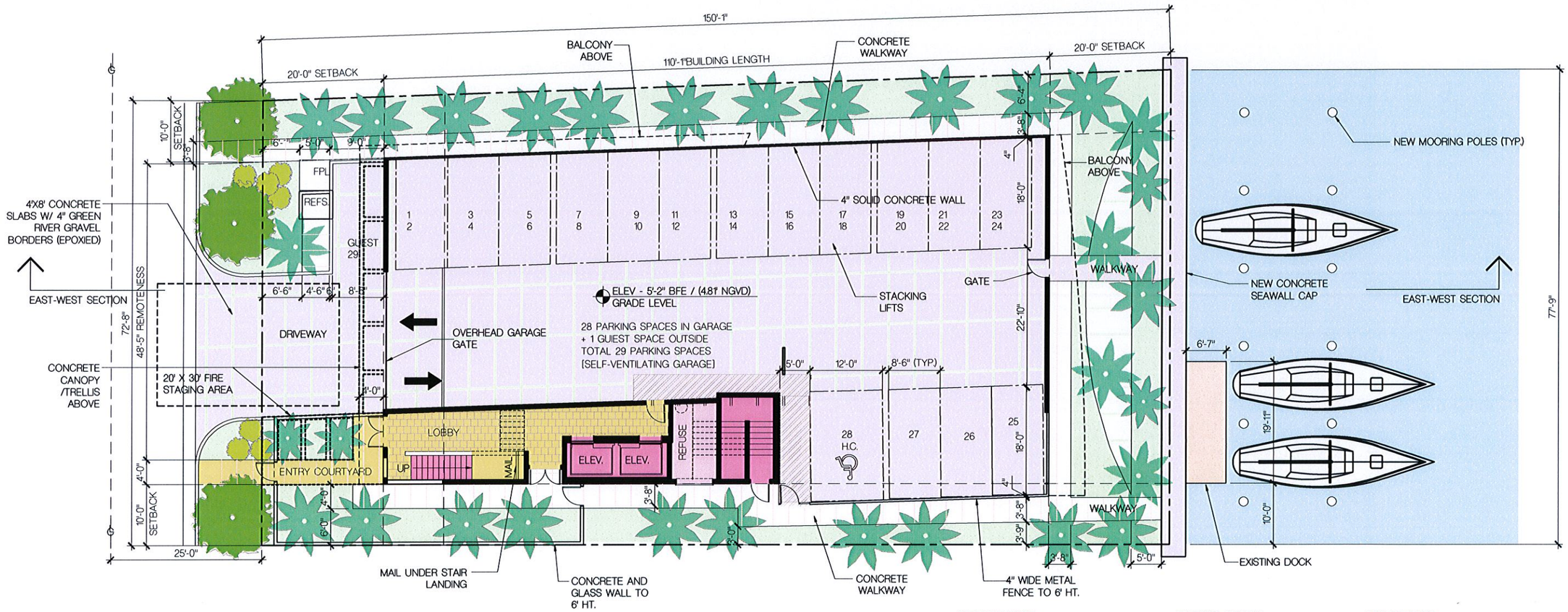
BAY HARBOR ISLANDS, FLORIDA 33154

OWNER DEVELOPER
BEAU RIVAGE LLC
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

NO	REVISION	DATE	BY

DRAWING TITLE
RENDERING
SCALE 1/8" = 1'-0 DATE JUNE 3, 2014
SHEET NUMBER
A-0.03
PLOTTED P&Z SUBMITTAL 06/03/14



LEVEL ONE FLOOR PLAN

1/8" = 1'-0"

STORAGE UNITS:

LEVEL 2-3	4 UNITS
LEVEL 4	2 UNITS
LEVEL 5-7	6 UNITS
LEVEL 8	1 UNIT
TOTAL:	13 UNITS PROVIDED (13 REQUIRED)

PARKING SPACES:

LEVEL 1	28 PARKING SPACES 1 GUEST / LOADING
TOTAL:	29 SPACES 26 REQUIRED

LANDSCAPING:

TOTAL SITE AREA:	= 11,286 SF
LANDSCAPE AREA REQUIRED (20% OF LOT AREA):	= 2,257 SF
LANDSCAPED AREA PROVIDED (25% OF LOT AREA):	= 2,865 SF

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BAY HARBOR ISLANDS, FLORIDA 33154

OWNER DEVELOPER
BEAU RIVAGE LLC
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

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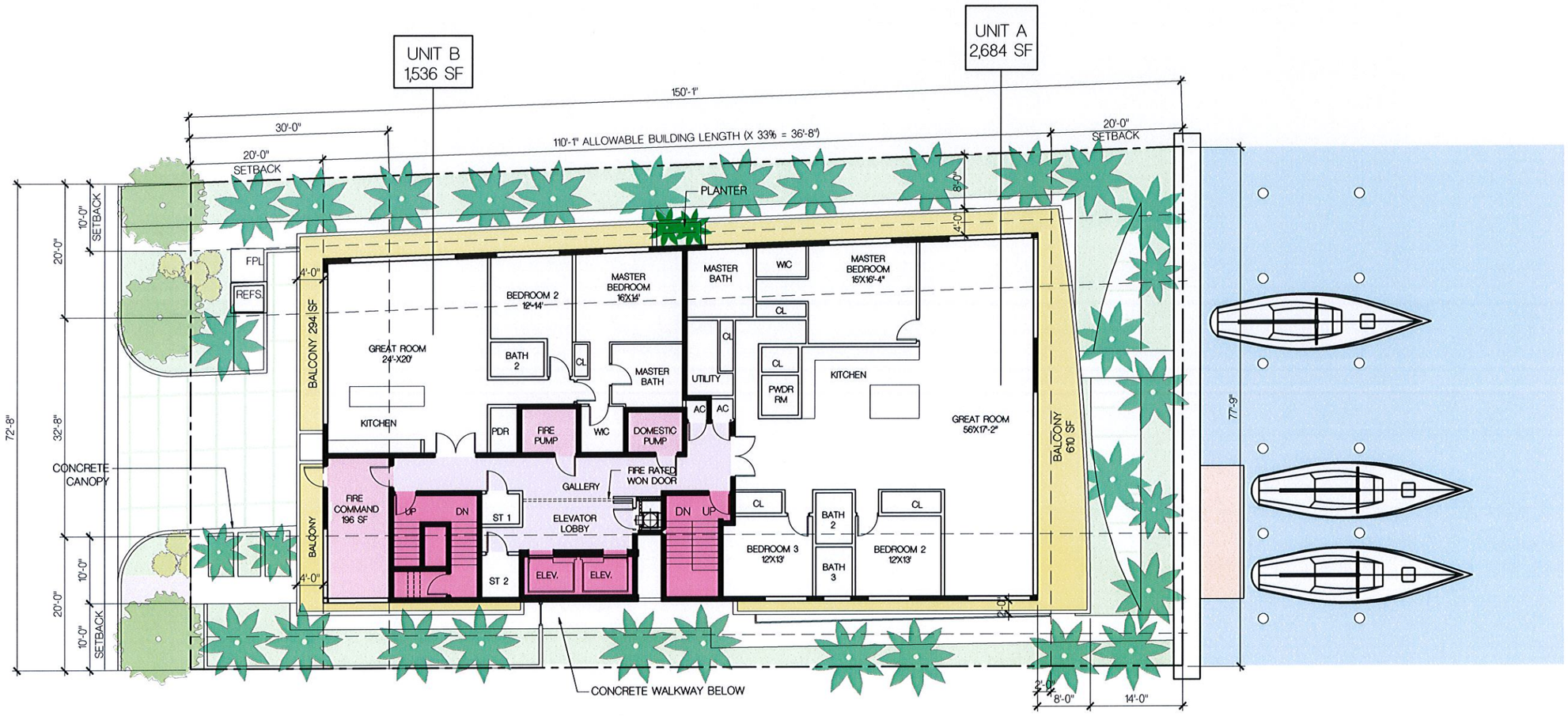
DRAWING TITLE: **LEVEL ONE FLOOR PLAN**
SCALE
DATE: JUNE 3, 2014
SHEET NUMBER: **A-1.01**
PLOTTED: P&Z SUBMITTAL 06/03/14



LEVEL 2 FLOOR PLAN [4,220 SF]

1/8" = 1'-0"

CIVIL ENGINEER

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OWNER DEVELOPER
BEAU RIVAGE LLC
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BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

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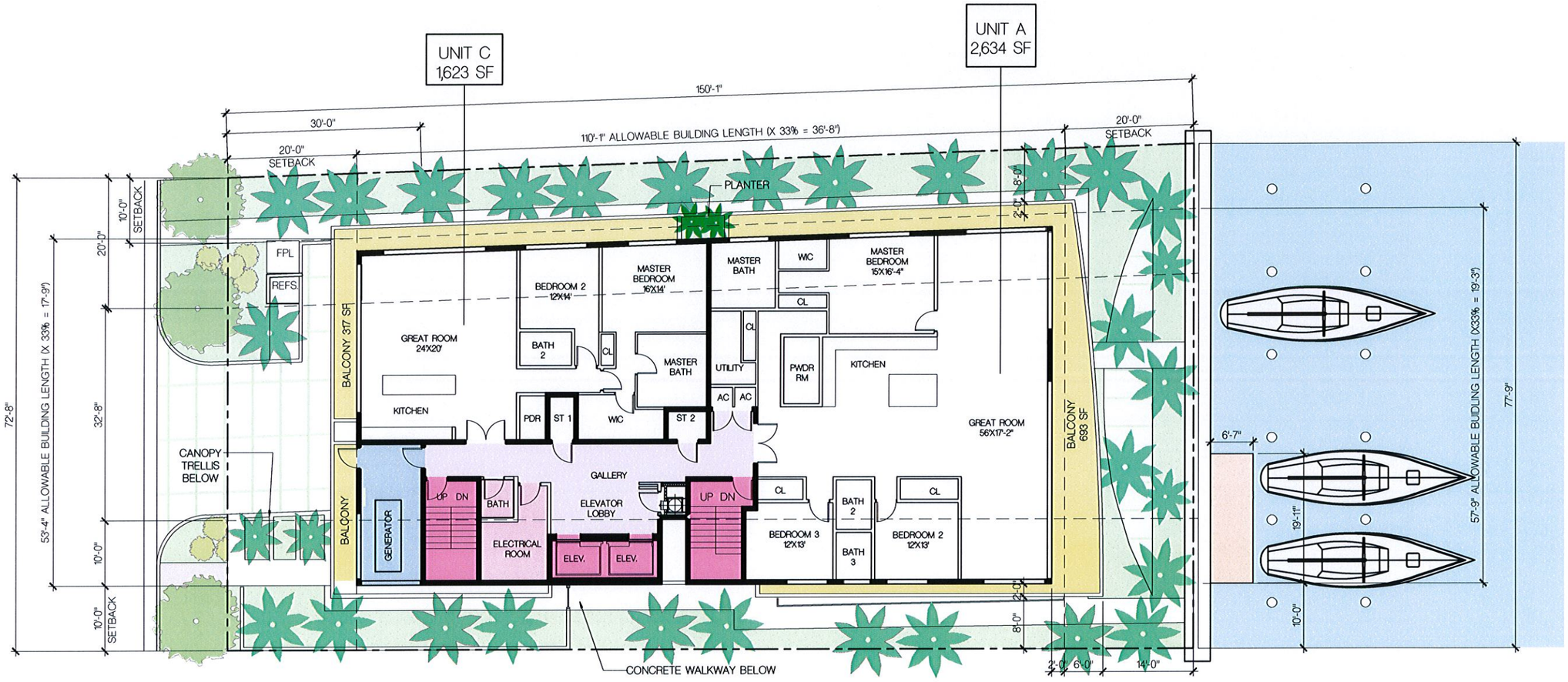
DRAWING TITLE
LEVEL TWO FLOOR PLAN

SCALE DATE
JUNE 3, 2014

SHEET NUMBER
A-1.02

PLOTTED P&Z SUBMITTAL 06/03/14



LEVEL 3 FLOOR PLAN [4,257 SF]

1/8" = 1'-0"

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BAY HARBOR RESIDENTIAL DEVELOPMENT
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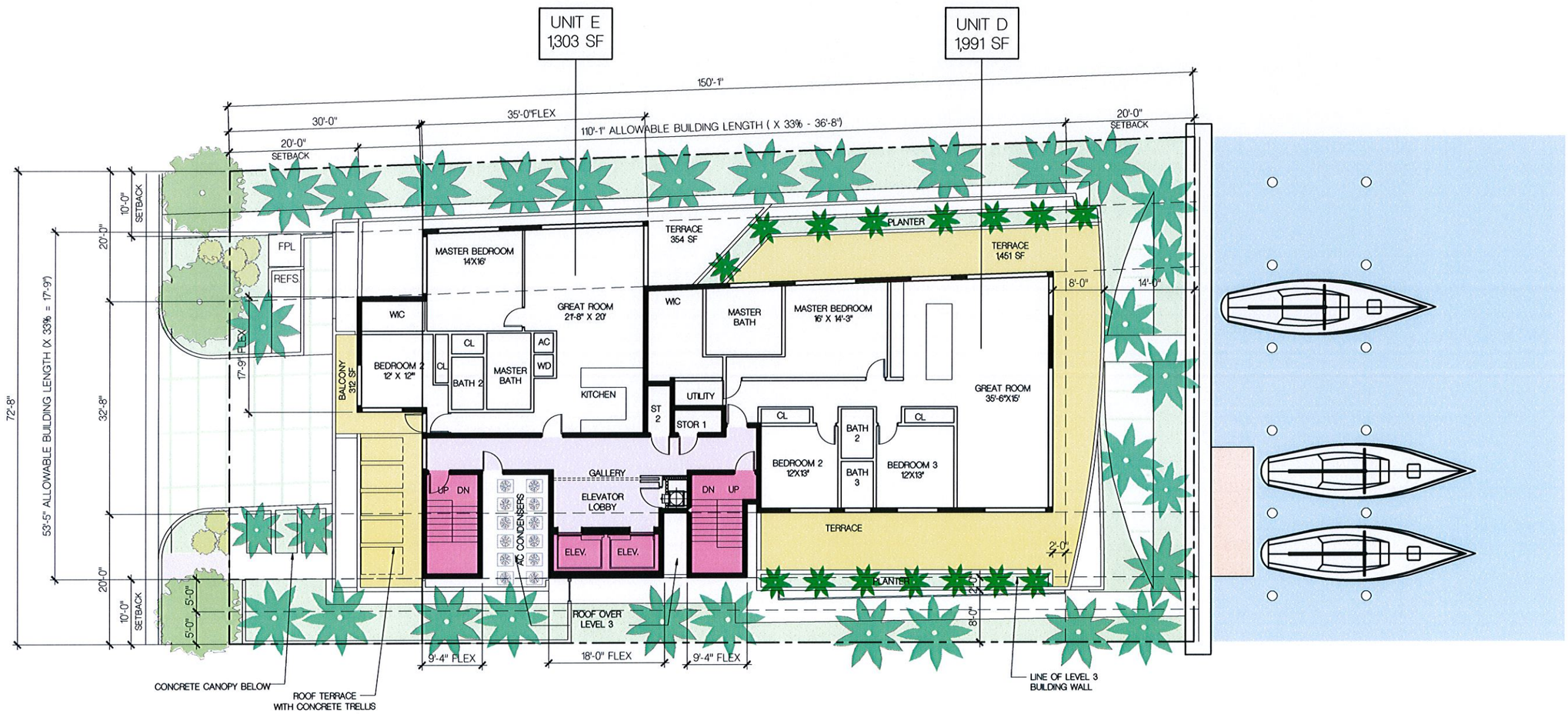
BAY HARBOR ISLANDS, FLORIDA 33154

OWNER/DEVELOPER:
BEAU RIVAGE LLC
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

NO	REVISION	DATE	BY

DRAWING TITLE
LEVEL THREE FLOOR PLAN
SCALE DATE JUNE 3, 2014
SHEET NUMBER
A-1.03
PLOTTED P&Z SUBMITTAL 06/03/14



LEVEL 4 FLOOR PLAN [3,294 SF]

1/8" = 1'-0"

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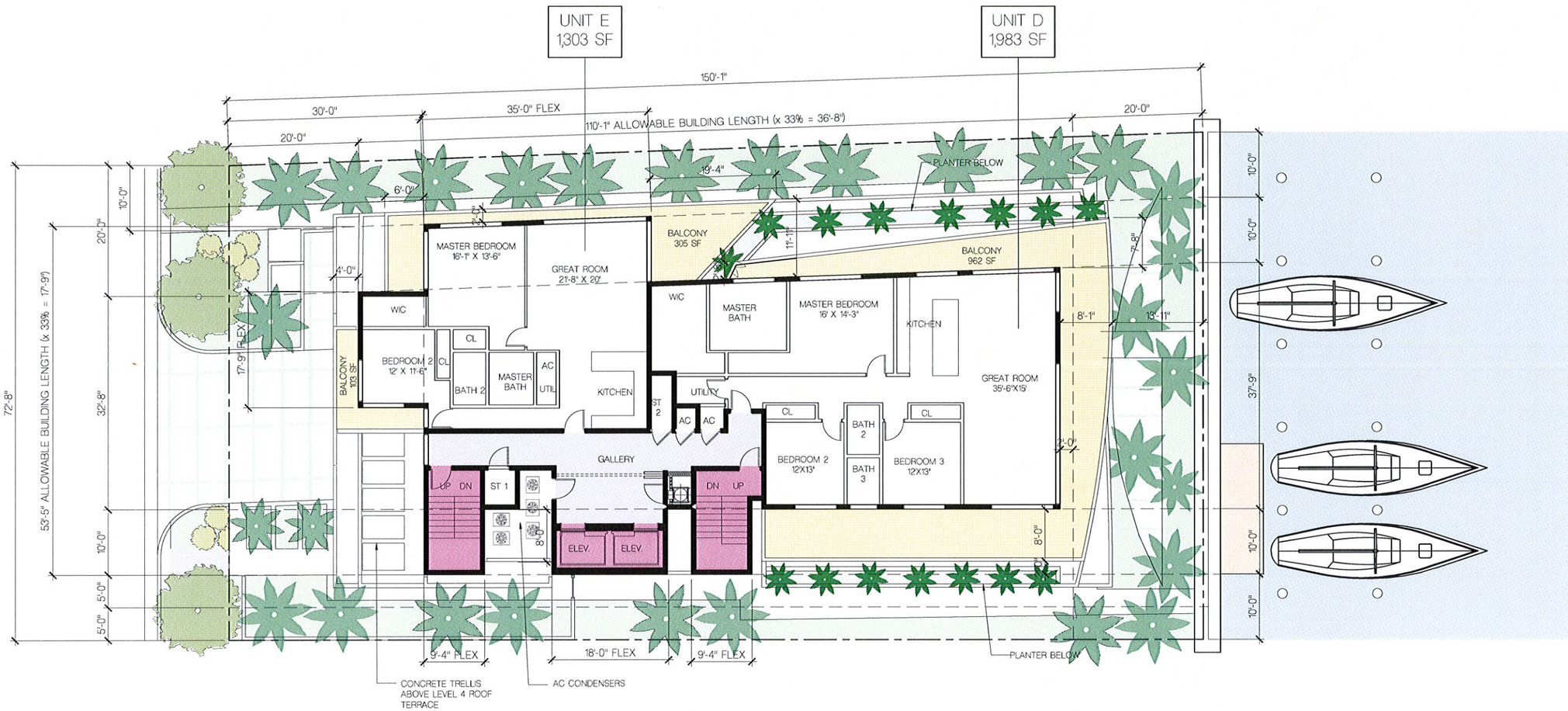
BAY HARBOR ISLANDS, FLORIDA 33154

OWNER DEVELOPER
BEAU RIVAGE LLC
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

NO	REVISION	DATE	BY

DRAWING TITLE
LEVEL 4 FLOOR PLAN
SCALE
DATE JUNE 3, 2014
SHEET NUMBER
A-1.04
PLOTTED P&Z SUBMITTAL 06/03/14



LEVELS 5-7 FLOOR PLAN [3,286 SF X 3 = 9,858 SF]

1/8" = 1'-0"

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FAX: (305) 868.5666
E-MAIL: INFO@FRANKELBENAYOUN.COM

BAY HARBOR RESIDENTIAL DEVELOPMENT
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BAY HARBOR ISLANDS, FLORIDA 33154

OWNER DEVELOPER
BEAU RIVAGE LLC
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

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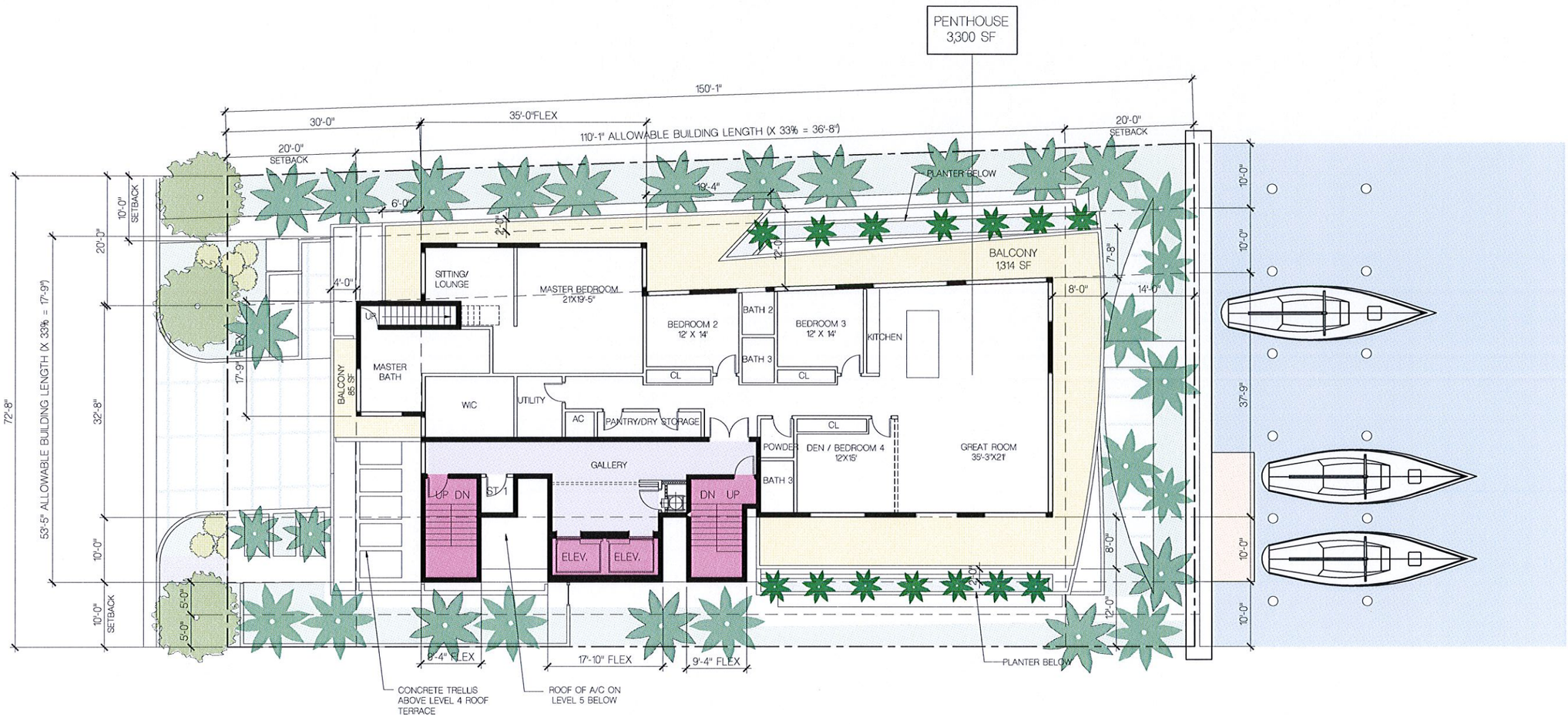
DRAWING TITLE
LEVELS 5-7 FLOOR PLAN
SCALE
DATE JUNE 3, 2014
SHEET NUMBER
A-1.05
PLOTTED P&Z SUBMITTAL 06/03/14



PENTHOUSE FLOOR PLAN [3,300 SF]

1/8" = 1'-0"

CIVIL ENGINEER

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civil engineers
3900 HOLLYWOOD BOULEVARD- HOLLYWOOD, FL - 33021
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LANDSCAPE ARCHITECT

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OWNER/DEVELOPER
BEAU RIVAGE LLC
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

NO	REVISION	DATE	BY

DRAWING TITLE
PENTHOUSE FLOOR PLAN

SCALE
DATE JUNE 3, 2014

SHEET NUMBER
A-1.06

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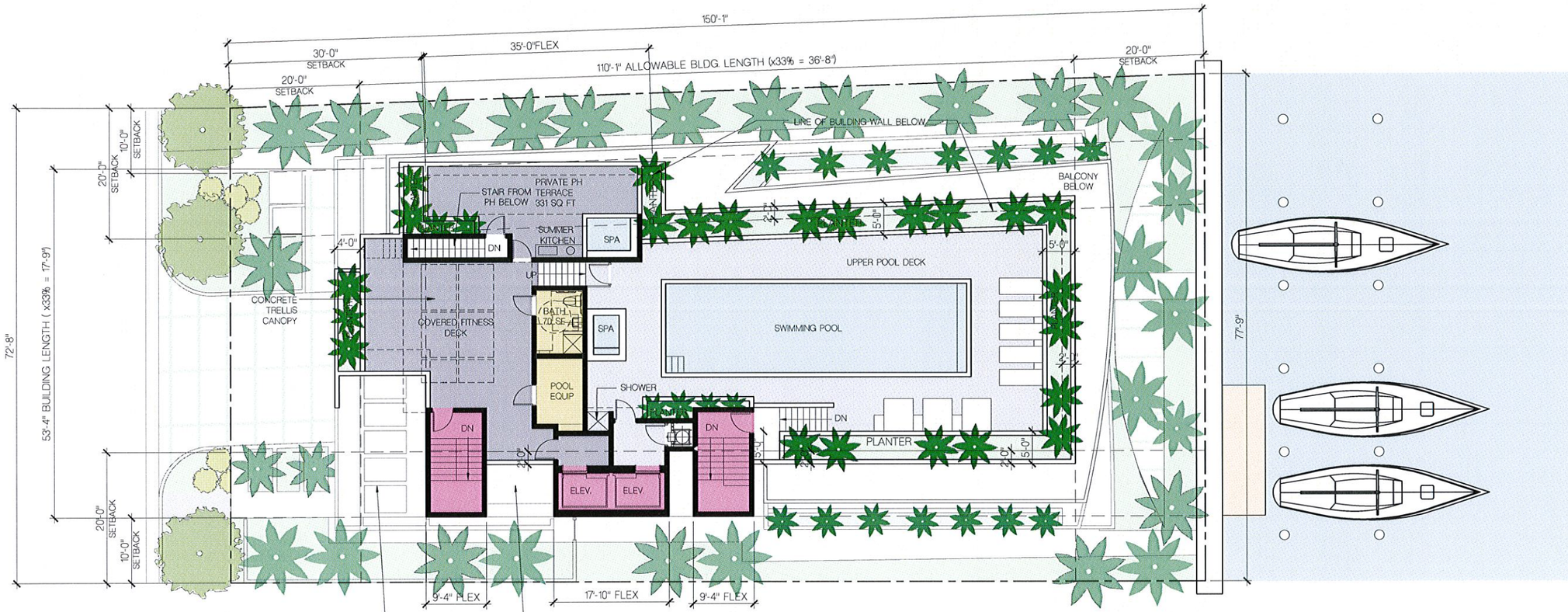

ROOF DECK FLOOR PLAN

1/8" = 1'-0"

LANDSCAPE REQUIREMENTS:

PRIVATE PH TERRACE	331 SF
COMMON AREA DECK	644 SF
POOL DECK	1,153 SF
TOTAL RECREATION DECK AREA	2,128 SF

REQUIRED LANDSCAPE = 15% OF TOTAL RECREATION DECK = 319 SF

TOTAL LANDSCAPE AREA PROVIDED = 665 SF = 31%

OCCUPANT LOAD CALCULATIONS:

PRIVATE PH TERRACE	331 SF	/200	= 2 OCCUPANTS
COMMON AREA DECK	644 SF	/30	= 21 OCCUPANTS
POOL DECK	1,153 SF	/30	= 38 OCCUPANTS
PRIVATE SPA	57 SF	/50	= 1 OCCUPANT
COMMON SPA	59 SF	/50	= 1 OCCUPANT
POOL	715 SF	/50	= 14 OCCUPANTS
TOTAL			77 OCCUPANTS

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BAY HARBOR RESIDENTIAL DEVELOPMENT
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OWNER DEVELOPER
BEAU RIVAGE LLC
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

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DRAWING TITLE
ROOF DECK FLOOR PLAN

SCALE DATE
JUNE 3, 2014

SHEET NUMBER
A-1.07

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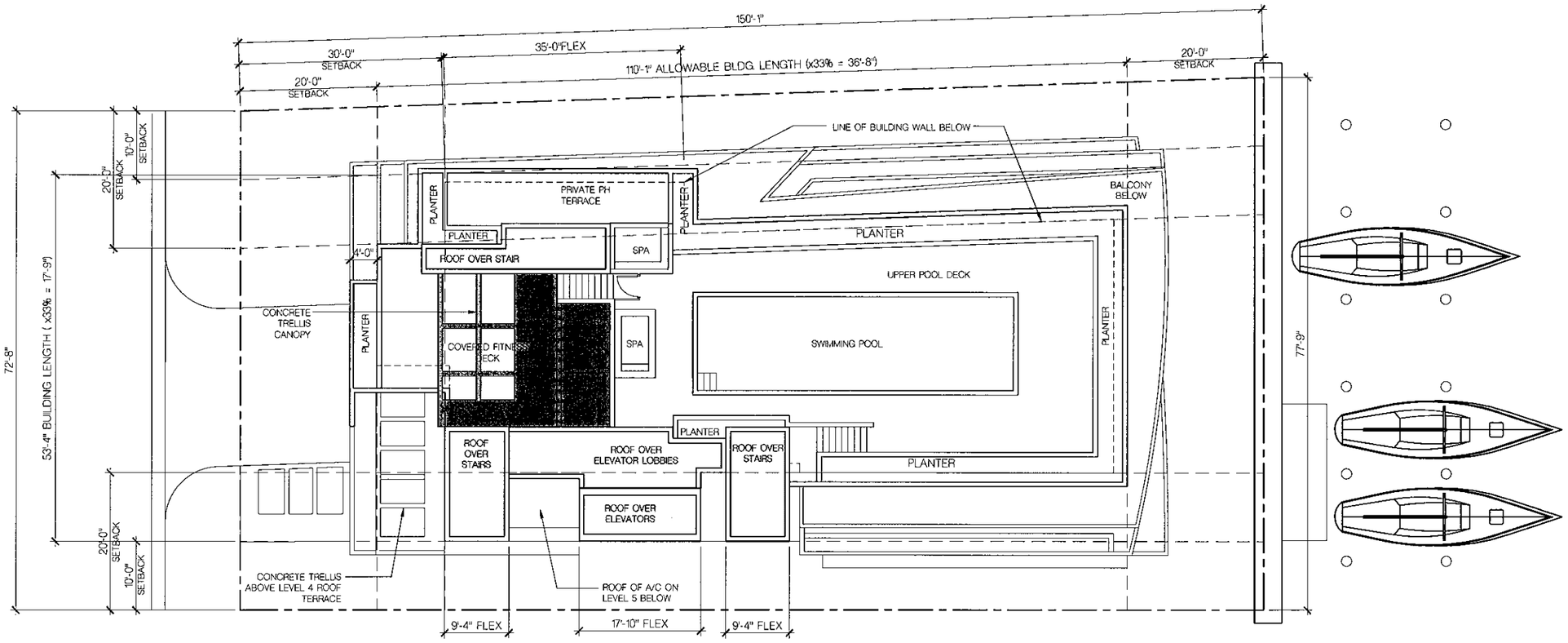

HIGH ROOF PLAN

1/8" = 1'-0"

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ROBERT PARSLEY A.S.L.A.

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BAY HARBOR ISLANDS, FLORIDA 33154

OWNER/DEVELOPER
BEAU RIVAGE LLC
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

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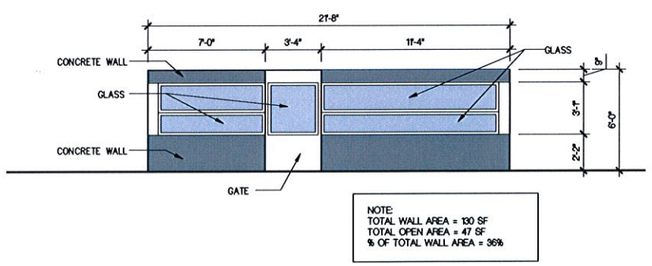
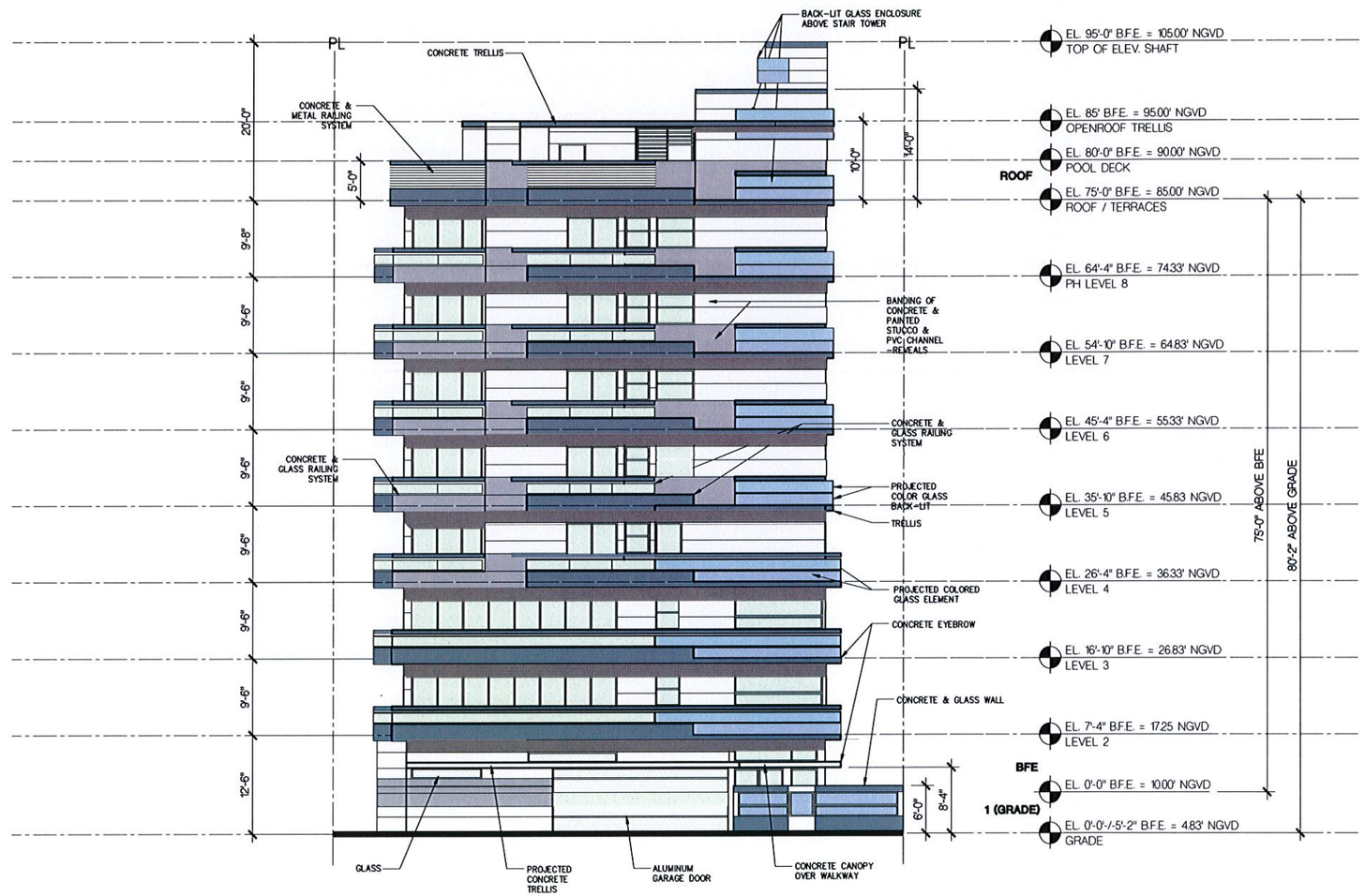
DRAWING TITLE
HIGH ROOF PLAN
SCALE
DATE JUNE 3, 2014
SHEET NUMBER
A-1.08
PLOTTED P&Z SUBMITTAL 06/03/14



CONCRETE & GLASS WALL ENCLOSURE DETAIL

1/4" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

CIVIL ENGINEER
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OWNER/DEVELOPER
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BAY HARBOR ISLANDS, FLORIDA 33154

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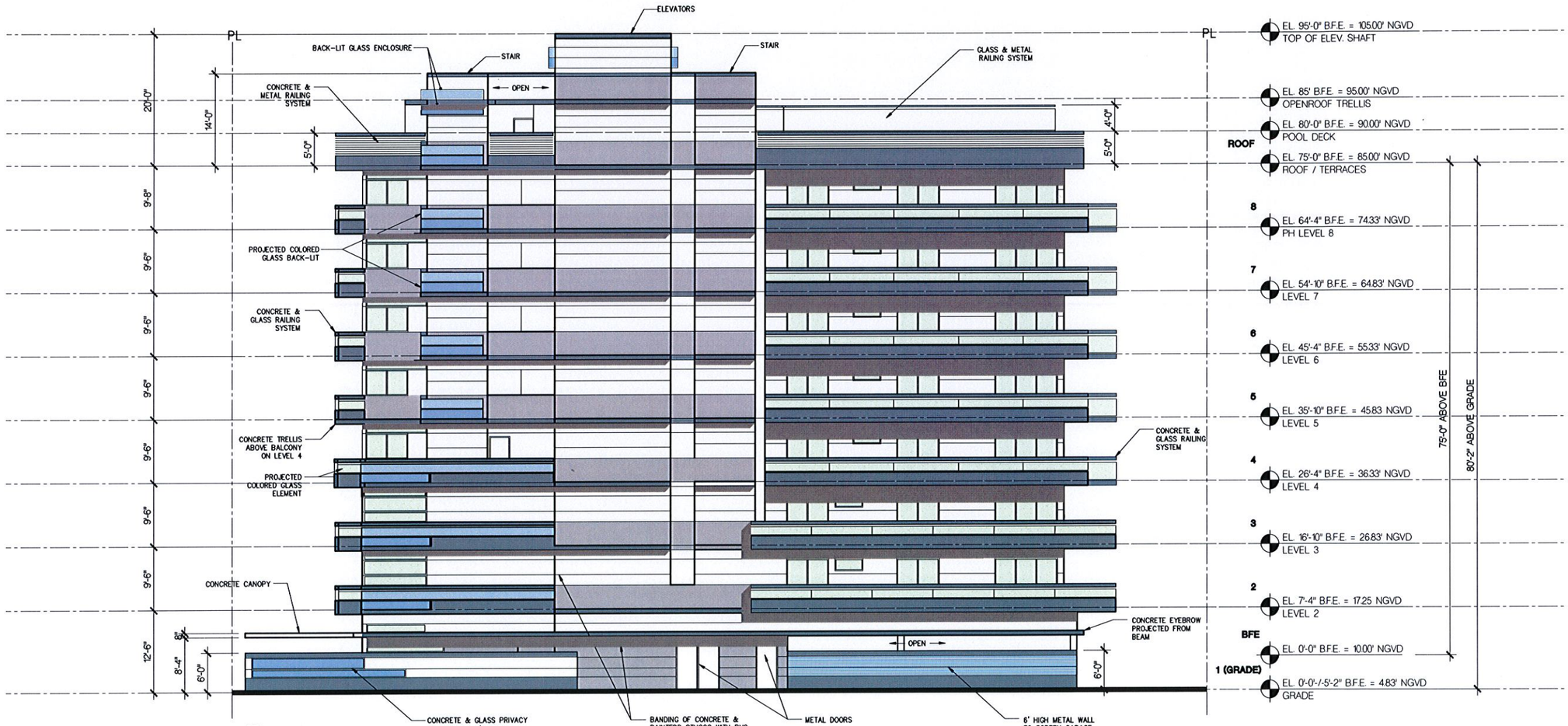
DRAWING TITLE
WEST ELEVATION
SCALE
DATE JUNE 3, 2014
SHEET NUMBER
A-2.01
PLOTTED P&Z SUBMITTAL 06/03/14



SOUTH ELEVATION

1/8" = 1'-0"

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ROBERT P.ARSLEY A.S.L.A.

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BAY HARBOR RESIDENTIAL DEVELOPMENT

BEAU RIVAGE CONDOMINIUM

9781 E. BAY HARBOR DRIVE

BAY HARBOR ISLANDS, FLORIDA 33154

OWNER DEVELOPER
BEAU RIVAGE LLC
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

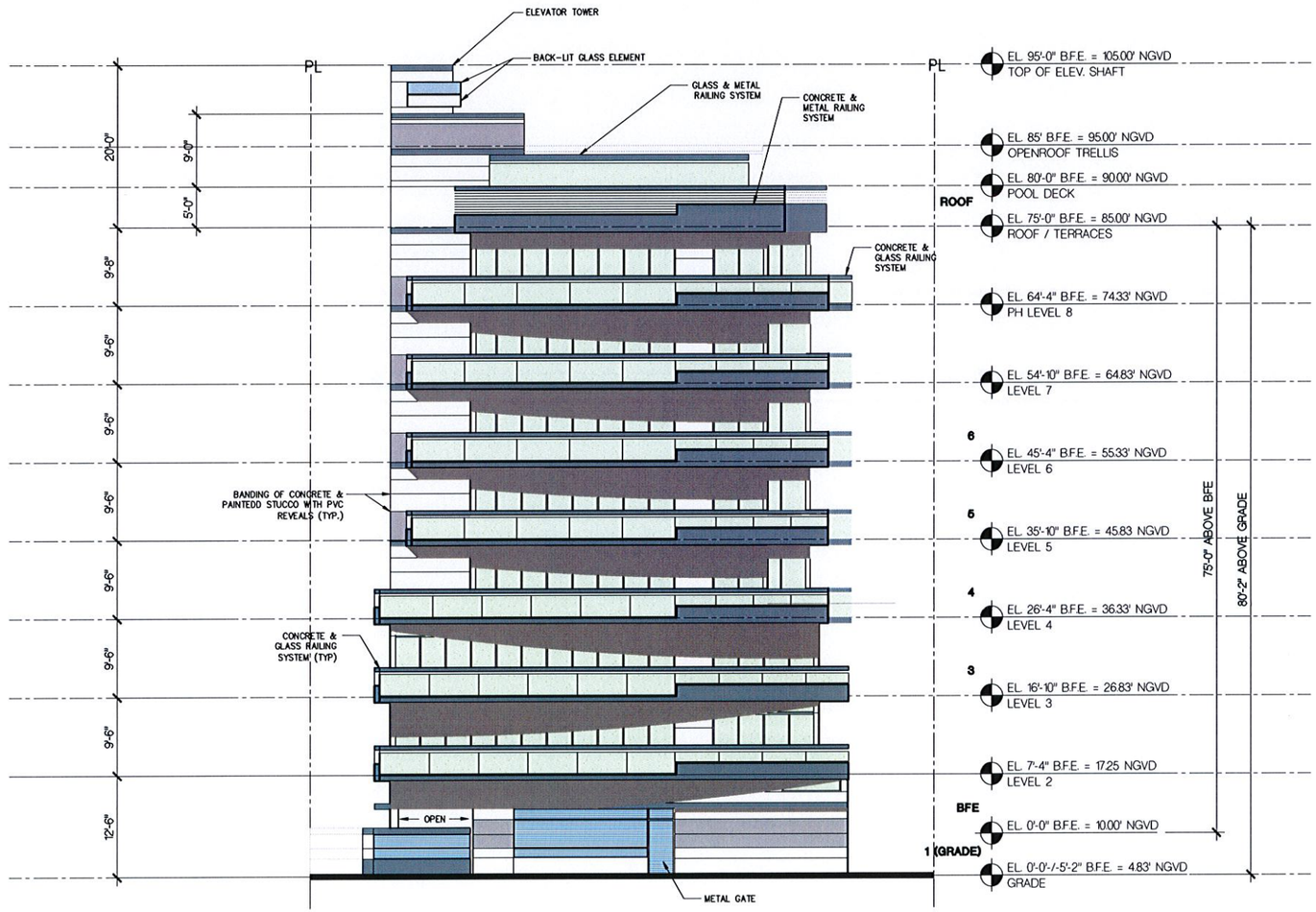
NO	REVISION	DATE	BY

DRAWING TITLE
SOUTH ELEVATION

SCALE
DATE JUNE 3, 2014

SHEET NUMBER
A-2.02

PLOTTED P&Z SUBMITTAL 06/03/14



EAST ELEVATION

1/8" = 1'-0"

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HOLLAND ENGINEERING INC.
civil engineers
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SUSAN C. HOLLAND, PE
Reg. no. 41831

LANDSCAPE ARCHITECT
GEOMANTIC DESIGNS, INC.
LANDSCAPE ARCHITECTURE
ROBERT PARSLEY A.S.L.A.
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PH/FAX 305-665-9438 FAX 954-668-6421

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BAY HARBOR ISLANDS, FLORIDA 33154

OWNER DEVELOPER
BEAU RIVAGE LLC
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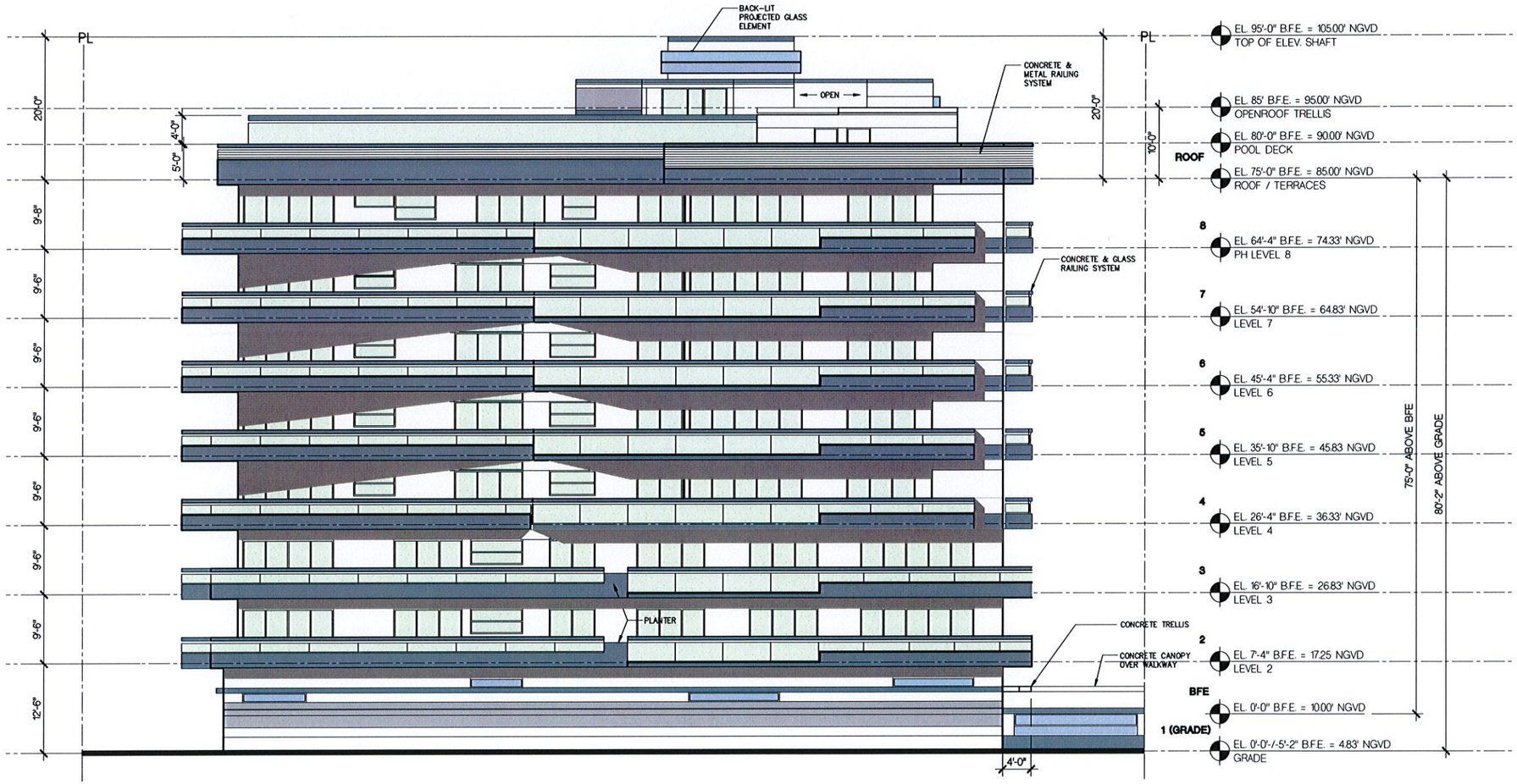
BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

NO	REVISION	DATE	BY

DRAWING TITLE
EAST ELEVATION
SCALE
DATE JUNE 3, 2014
SHEET NUMBER
A-2.03
PLOTTED P&Z SUBMITTAL 06/03/14



NORTH ELEVATION

1/8" = 1'-0"

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BAY HARBOR ISLANDS, FLORIDA 33154

OWNER DEVELOPER
BEAU RIVAGE LLC
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BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

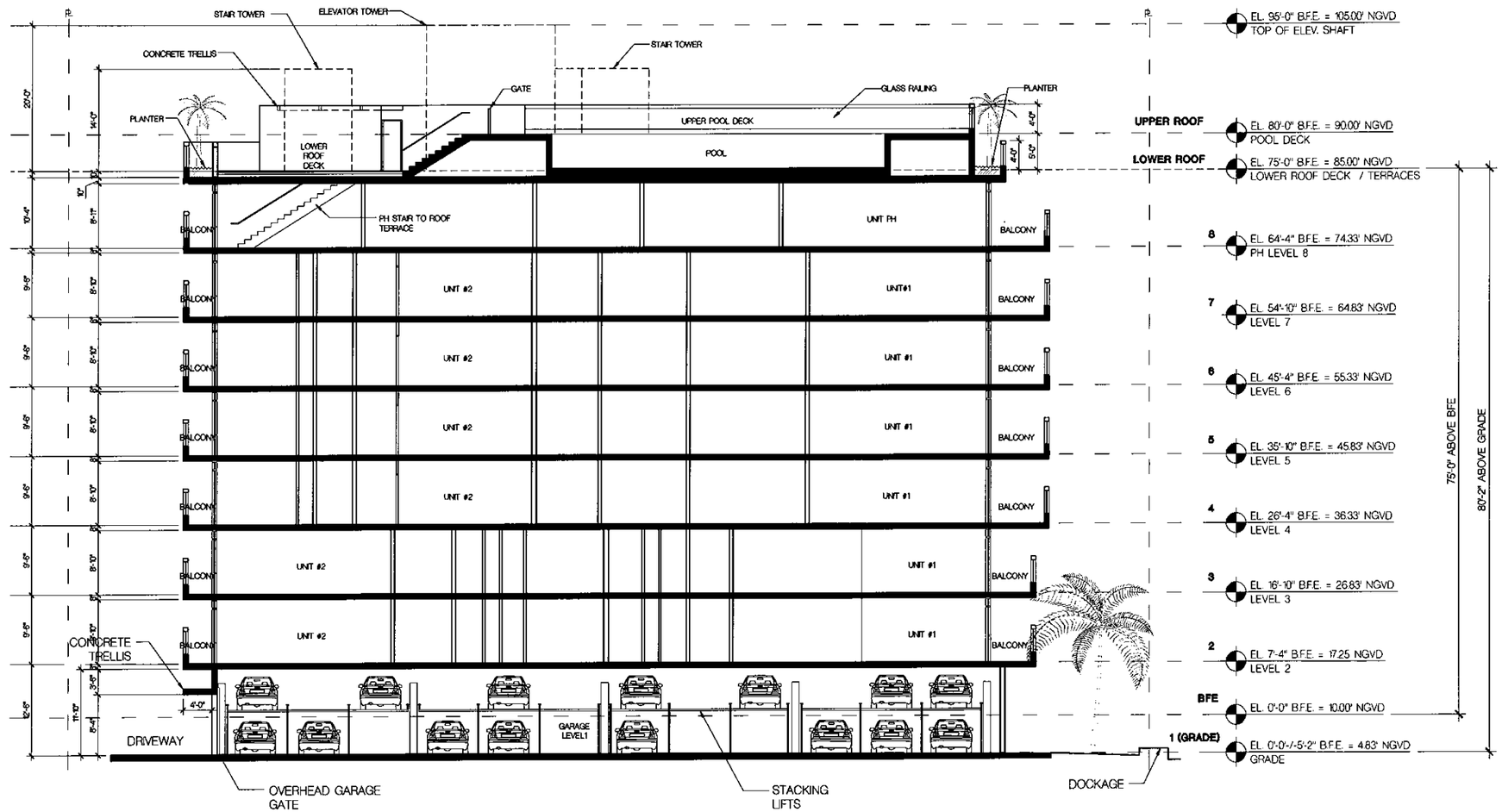
NO	REVISION	DATE	BY

DRAWING TITLE
NORTH ELEVATION

SCALE
DATE JUNE 3, 2014

SHEET NUMBER
A-2.04

PLOTTED P&Z SUBMITTAL 06/03/14



BUILDING SECTION

1/8" = 1'-0"

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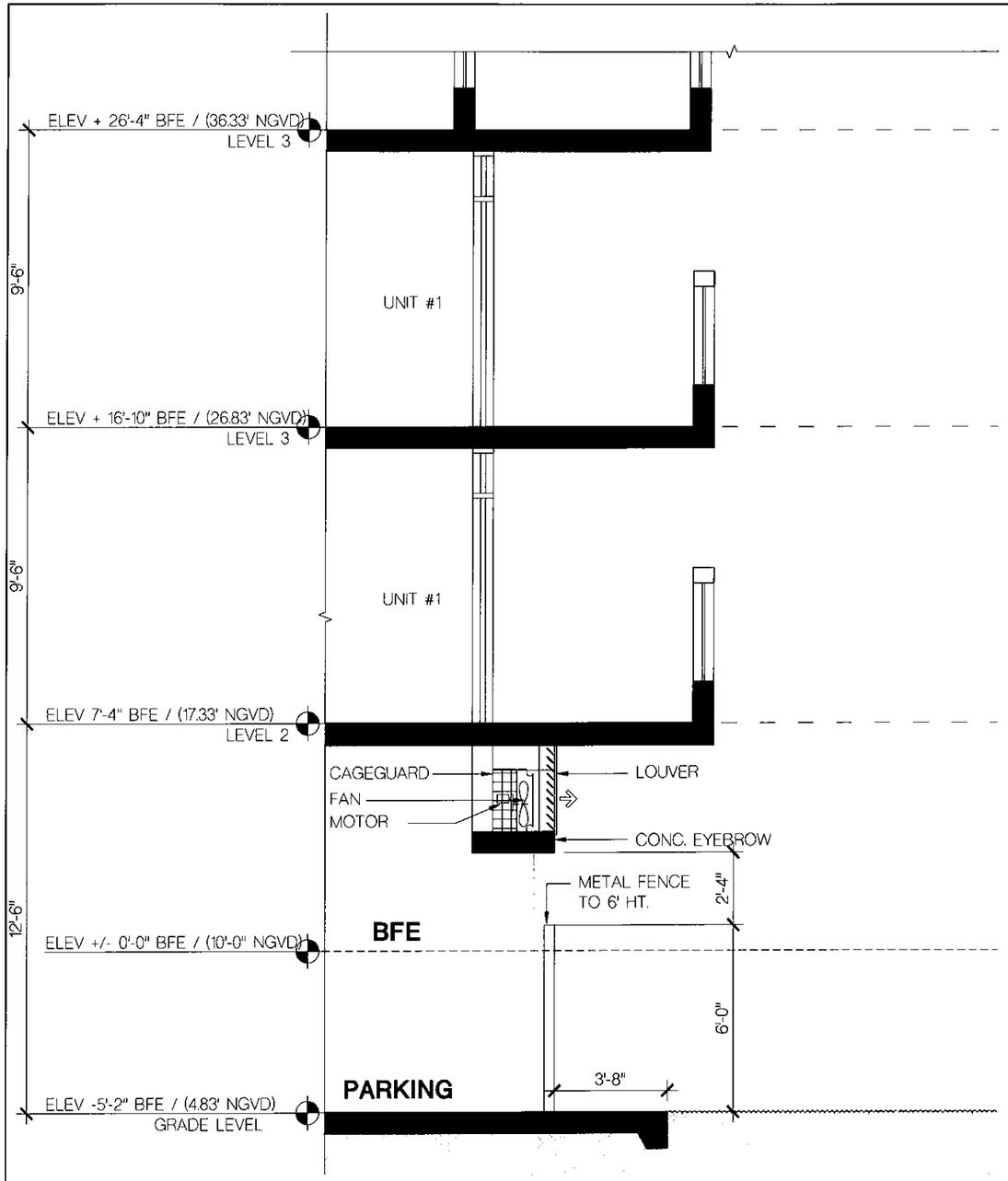
BAY HARBOR ISLANDS, FLORIDA 33154

OWNER DEVELOPER
BEAU RIVAGE LLC
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

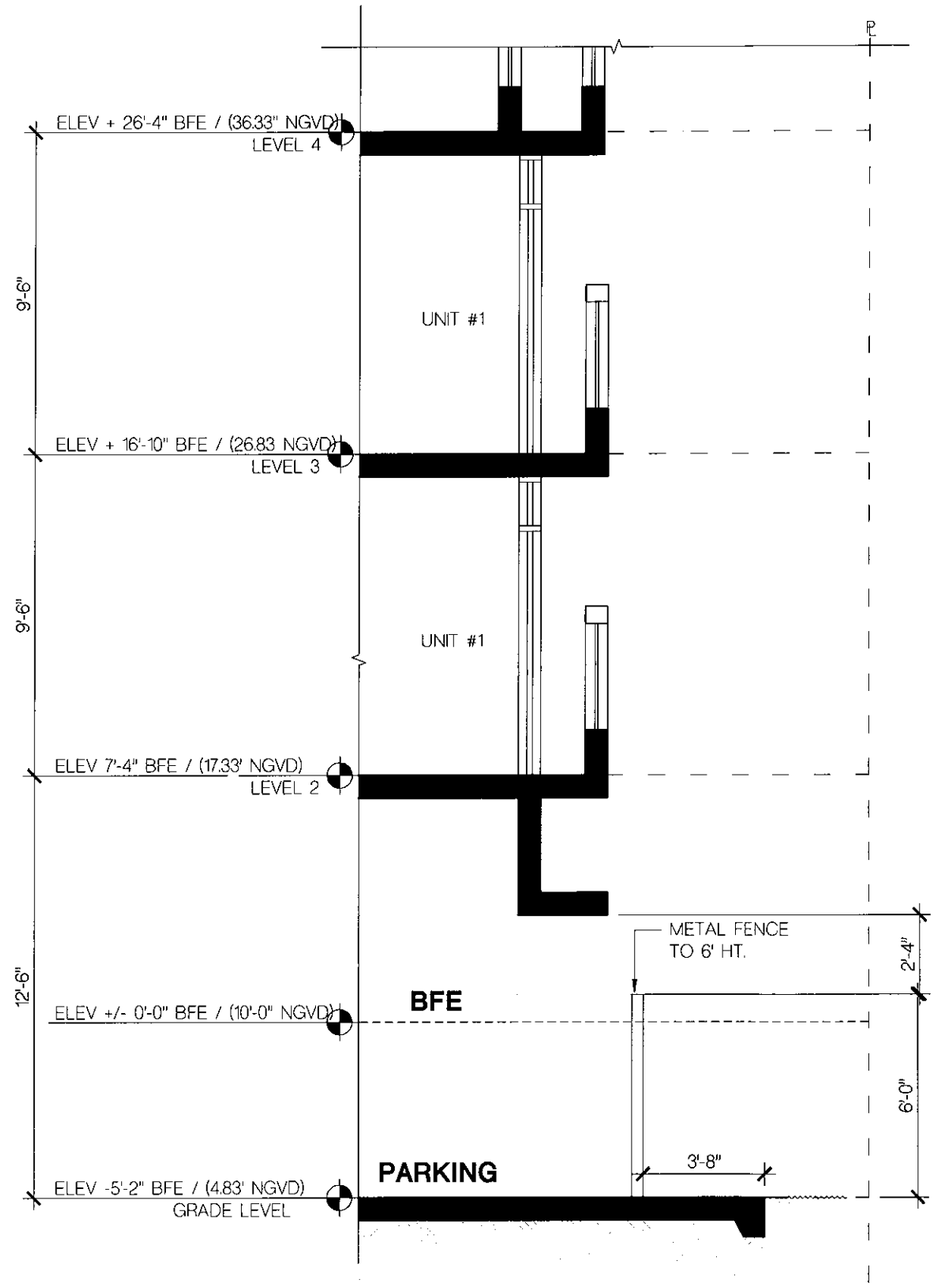
SIGNATURE DATE

NO	REVISION	DATE	BY

DRAWING TITLE
BUILDING SECTION
SCALE
DATE JUNE 3, 2014
SHEET NUMBER
A-3.01
PLOTTED P&Z SUBMITTAL 06/03/14



WALL SECTION
1/2" = 1'-0"



WALL SECTION
1/2" = 1'-0"

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BAY HARBOR ISLANDS, FLORIDA 33154

OWNER DEVELOPER
BEAU RIVAGE LLC
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

NO	REVISION	DATE	BY

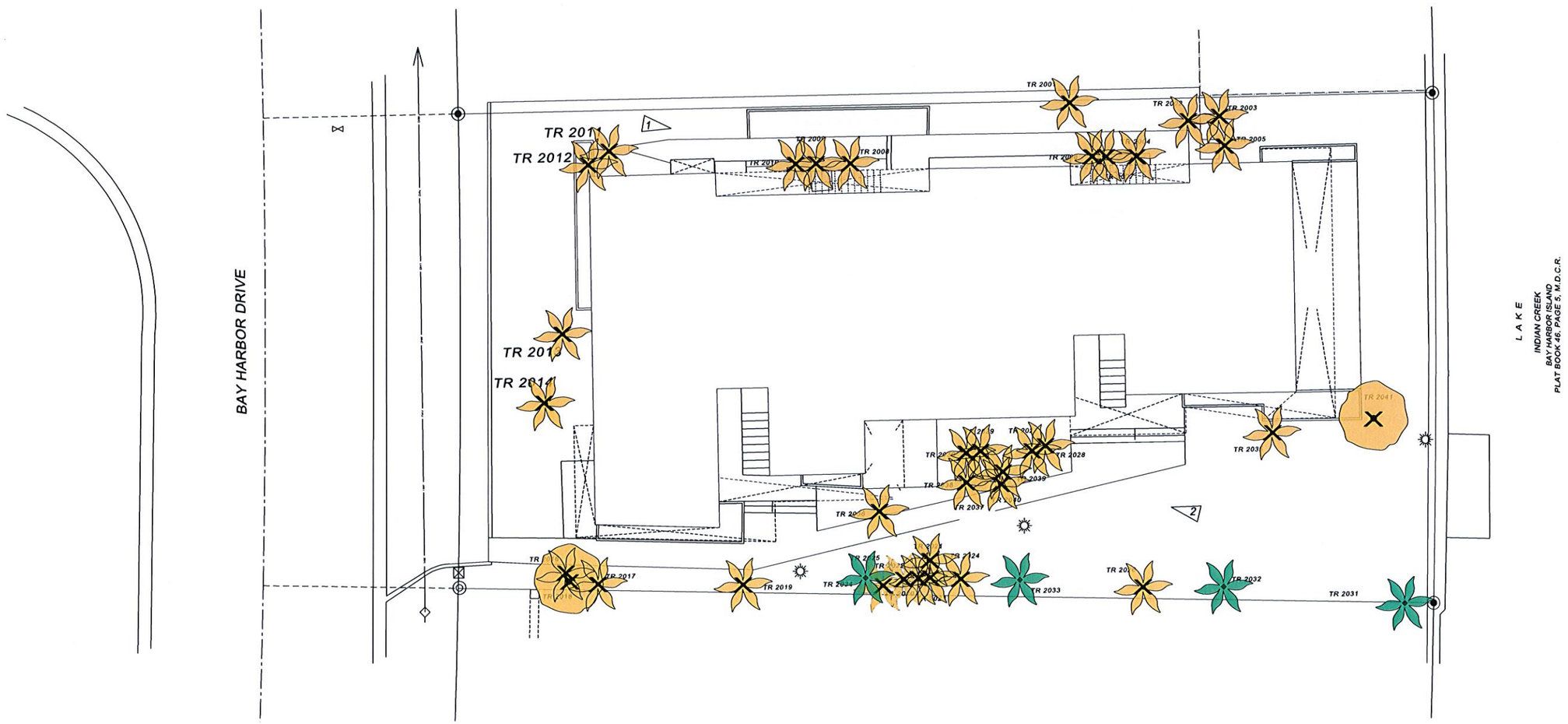
DRAWING TITLE
PARTIAL WALL SECTION
SCALE
DATE JUNE 3, 2014
SHEET NUMBER
A-3.02
PLOTTED P&Z SUBMITTAL 06/03/14

LEGEND

-TRANSPLANT -REMOVE

TREE TABLE

TREE NUMBER	TREE TYPE	DIAMETER AT BREAST HEIGHT	CANOPY DIAMETER	TOTAL HEIGHT	CLEARWOOD	DISPOSITION	REASON
2001	COCONUT PALM	8"		30'	8'	REMOVE	CONSTRUCTION
2002-2012	TRAVELER PALM	6"		18'	10'	REMOVE	CONSTRUCTION
2013	CHINESE FAN PALM	12"		15'	5'	REMOVE	CONSTRUCTION
2014	DWARF PALM	8"		12'	4'	REMOVE	CONSTRUCTION
2016-2017	ALEXANDER PALM	4"		20'	15'	REMOVE	CONSTRUCTION
2018	FICUS	4"	10'	15'		REMOVE	CONSTRUCTION
2019-2030	ALEXANDER PALM	4"		20'	12'	REMOVE	CONSTRUCTION
2031-2034	COCONUT PALM	10"		30'	20'	RELOCATE	GOOD
2035	MEXICAN PALMETTO	10"		20'	12'	REMOVE	CONSTRUCTION
2036-2040	TRAVELER PALM	6"		18'	10'	REMOVE	CONSTRUCTION
2041	UNKNOWN	6"	8'	15'		REMOVE	CONSTRUCTION



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DATE

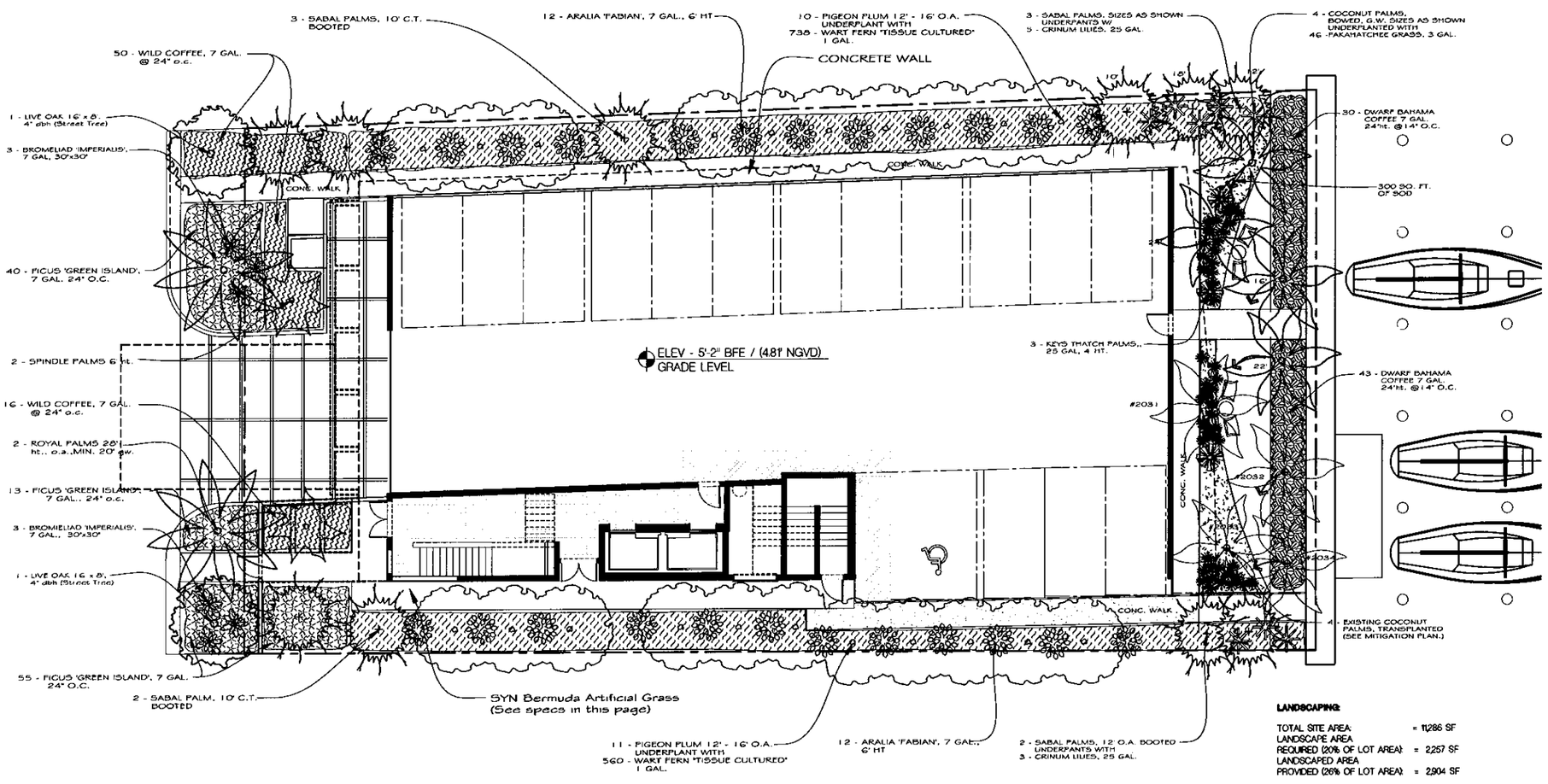
NO	REVISION	DATE	BY

DRAWING TITLE
SITE MITIGATION PLAN

SCALE 1/8" = 1'-0" DATE JUNE 3, 2014

SHEET NUMBER
D-1

PLOTTED P&Z BOARD SUBMITTAL



LANDSCAPING:

TOTAL SITE AREA:	=	11,286 SF
LANDSCAPE AREA REQUIRED (20% OF LOT AREA):	=	2,257 SF
LANDSCAPED AREA PROVIDED (26% OF LOT AREA):	=	2,904 SF

LANDSCAPE LEGEND

Chapter 18 A - Ordinance 98-13

Miami -Dade Code and Bay Harbor Code Sec. 24-18

Gross Land (Acre) 0.259 — Net Lot Area: (Sq. Ft.) 11,286

Zoning: RM-1 (Multi Family Residential)

Street Frontage footage 77

	REQUIRED	PROVIDED
TREES: 28 **Trees per Net Acre (28 x 0.258)** (NOTE: 50% of required trees and / or palms shall be native)	8	70
Native Trees Required	4	47
Street Trees (1 per 35' of frontage) Live Oaks or Mahogany	2	4
Native Trees: (Minimum of 50%) 8 Sabal + 2 Royal + 5 Florida Thatch +2 Spindle Palms (15) 21 Pigeon Plum, 2 Live Oaks (24)	4	47
Drough Tolerent Trees: (Minimum 50%) 5 Florida Thatch Palm + 2 Oak Street Trees, 8 Sabal palms, 8 Key Thatch Palms 8 Coconut Palms, 21 Pigeon Plum	4	32
Tree Species: 30% Sabal Palm, Royal Palm, Ponytail Palm, Coconut Palm Live Oak Tree, Thatch Palm, Pigeon Plum, Gumbo Limbo Key Thatch Palm	2	9
Total Number of Trees 8 Pigeon Plum + 4 Street Trees + 1 Gumbo Limbo Tree + (25) palms	8	70
Minimum Tree Height - 5 Plus bldg. 14' min. ht. trees & 14' min. ht. palms (25%) 6' min. spread	2	10
10' min. ht. trees & 22' min. ht. palms (25%) 7' min. spread	2	15
18' min. ht. trees & 22' min. ht. palms (25%) 8' min. spread	2	8
Shrubs (10 per Req. Tree)	83	1,880
Native Shrubs: (Minimum of 50%)	41	303
Drough Tolerent Shrubs: (Minimum 50%)	21	227

MASTER PLANT LIST

QTY	COMMON NAME		BOTANICAL NAME	Drought Tolerent	SIZE / REMARKS
Trees and Palms					
8	Coconut Palms		*Cocos nucifera*	8	16' ht. B&B
5	Florida Thatch Palm	Native	*Thinax radiata*	5	4' - 8' o.a.
9	Key Thatch Palms	Native	*Leucothrax morrisii*	9	15 gal 4' o.a.
21	Pigeon Plum	Native	*Coccoloba diversifolia*		12' - 16' ht x 5' spr. 45 gal
2	Live Oak	Native	*Quercus virginiana*	2	18' x 8', 4" dbh min.
13	Ponytail Palm		*Beaucarnea recurvata*		6' o.a. ht., 15 gal.
2	Royal Palm	Native	*Roystonea elata*		25' o.a. 20' g.w.
2	Spindle Palms		*Hyophorbe verschaffeltii*		6' o.a., 15 gal
5	Sabal Palm	Native	*Sabal palmetto*	5	10' o.a. Booted
70	Total	47		52	
Shrubs and Groundcovers					
30	Bromeliad		*Alcantarea imperialis*		15 gal , 24" - 36" ht
15	Crinum Lilies		*Crinum asiaticum*		15 gal , 36" ht
73	Dwarf wild Bahama Coffee		*Psychotria ligustifolia*		7 gal , 24" o.c
10	Aralia 'Fabian'		*Polyscias scutellaria 'Fabian'*		7 gal , 6'ht.
76	Pakahatchee Grass	Native	*Tripsacum dactyloides*		3 gal
89	Ficus 'Green Island'		*Ficus microcarpa 'Green island'*		7 gal , 24" ht 24" o.c
72	Ficus 'Green Island'		*Ficus microcarpa 'Green island'*		3 gal 18" o.c
227	Golden Creeper	Native	*Variegated pittosporum*	227	3 gal , 18" o.c
1298	Wart Fern		*Microsorum scolopedrium*		1 gal 12" o.c.
1,880	Total	303		227	

PLANTING NOTES

1. IF THERE ARE ANY DISCREPANCES BETWEEN QUANTITIES ON PLAN VERSUS QUANTITIES FROM PLANT LIST, THE PLANS TAKE PRECEDENCE.
2. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC SPRINKLER SYSTEM w/ 100% COVERAGE AND 100% OVERLAP BETWEEN HEADS.
3. LANDSCAPE BEDS IN SOD AREAS MUST BE GRADED SO WATER IS SAND / TOPSOIL MIX.
4. ALL SOD AREAS TO RECEIVE 2" OF 80/20 LAKE WALES 'FLORATAM
5. MULCH ALL PLANTING BEDS WITH 3" OF CYPRESS OR EUCALYPTUS MULCH.
6. PLANTING BEDS SHOULD RECEIVE 4" OF 'QUARTERS MIX' PLANTING SOIL.
7. ALL SOD AREAS TO BE ST. AUGUSTINE 'PALMETTO', SOLID SOD.
8. ALL PLANT MATERIAL TO BE FLORIDA #1 OR BETTER.

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LANDSCAPE ARCHITECT
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LANDSCAPE ARCHITECTURE
ROBERT PARSLEY A.S.L.A.

STRUCTURAL ENGINEER

MEP ENGINEER

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BAY HARBOR RESIDENTIAL DEVELOPMENT
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9781 E. BAY HARBOR DRIVE
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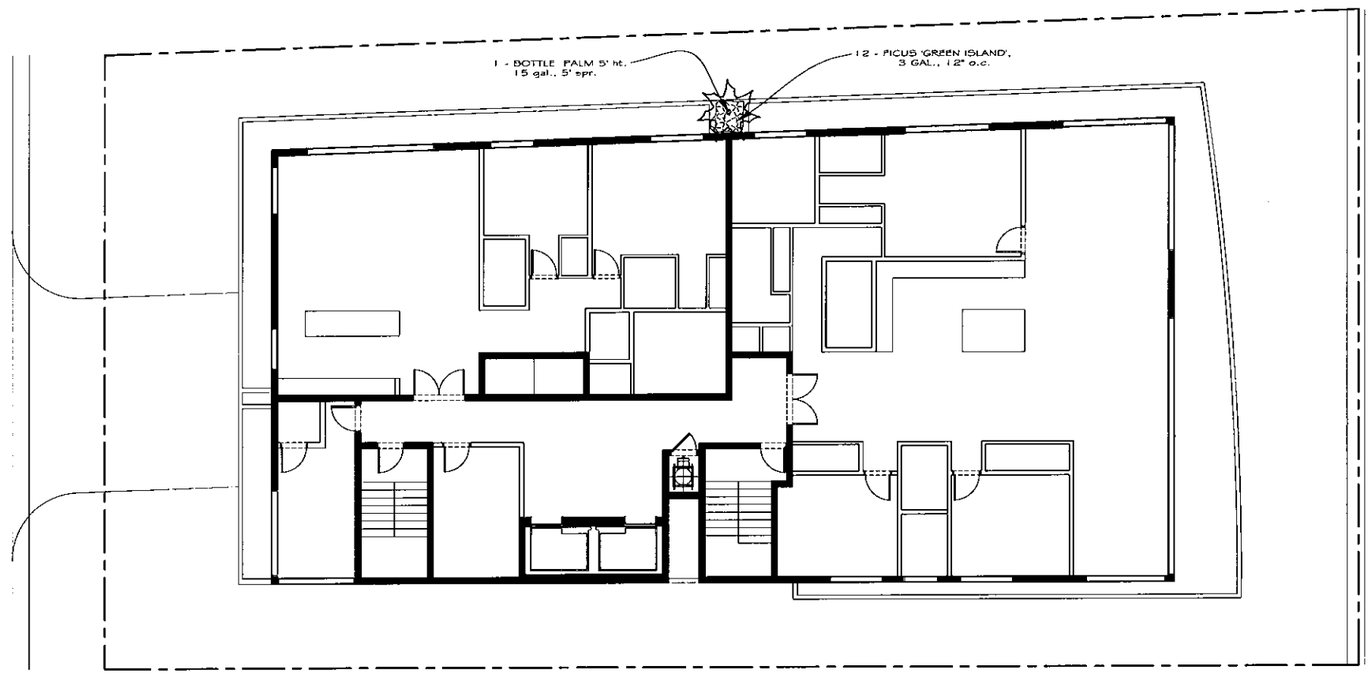
SIGNATURE
DATE

NO	REVISION	DATE	BY

DRAWING TITLE: **SITE PLANTING PLAN**
SCALE 1/8" = 1'-0" DATE JUNE 3, 2014
SHEET NUMBER **L - 1**
PLOTTED P&Z BOARD SUBMITTAL



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SIGNATURE

DATE

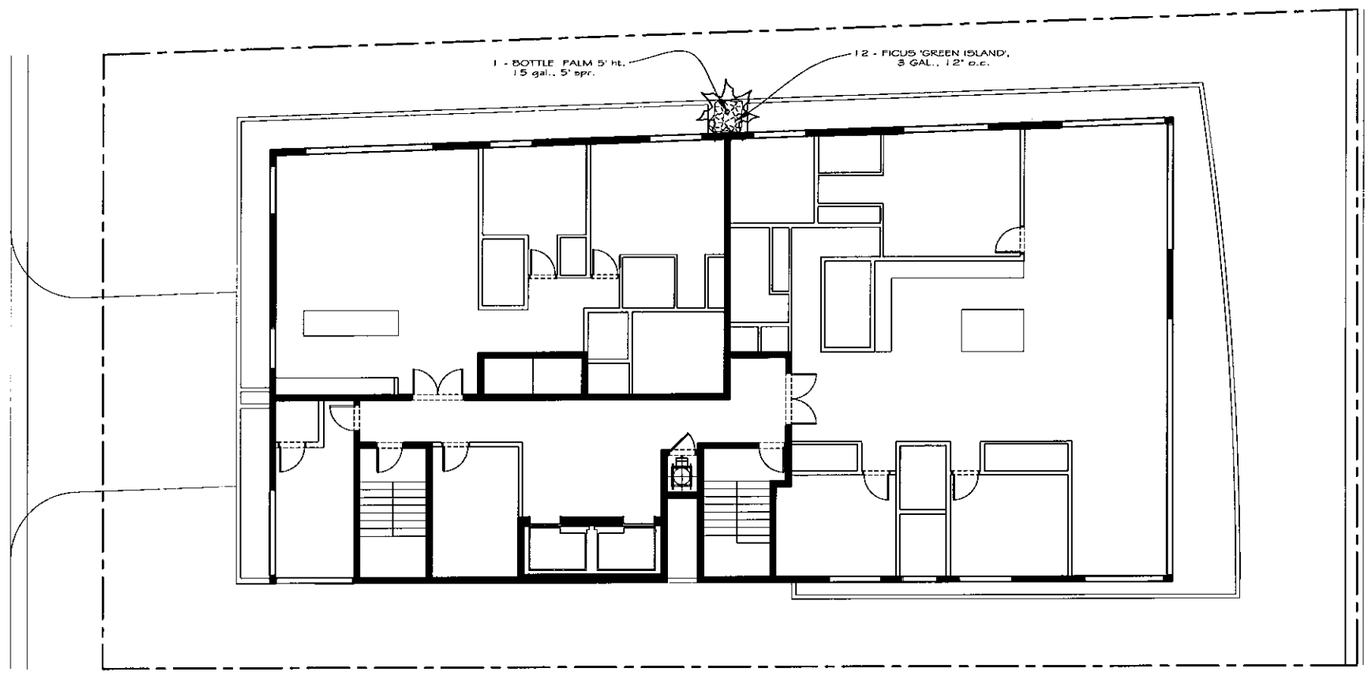
NO	REVISION	DATE	BY

DRAWING TITLE
2nd FLOOR PLANTING PLAN

SCALE 1/8" = 1'-0" DATE JUNE 3, 2014

SHEET NUMBER
L - 2

PLOTTED P&Z BOARD SUBMITTAL



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SIGNATURE

DATE

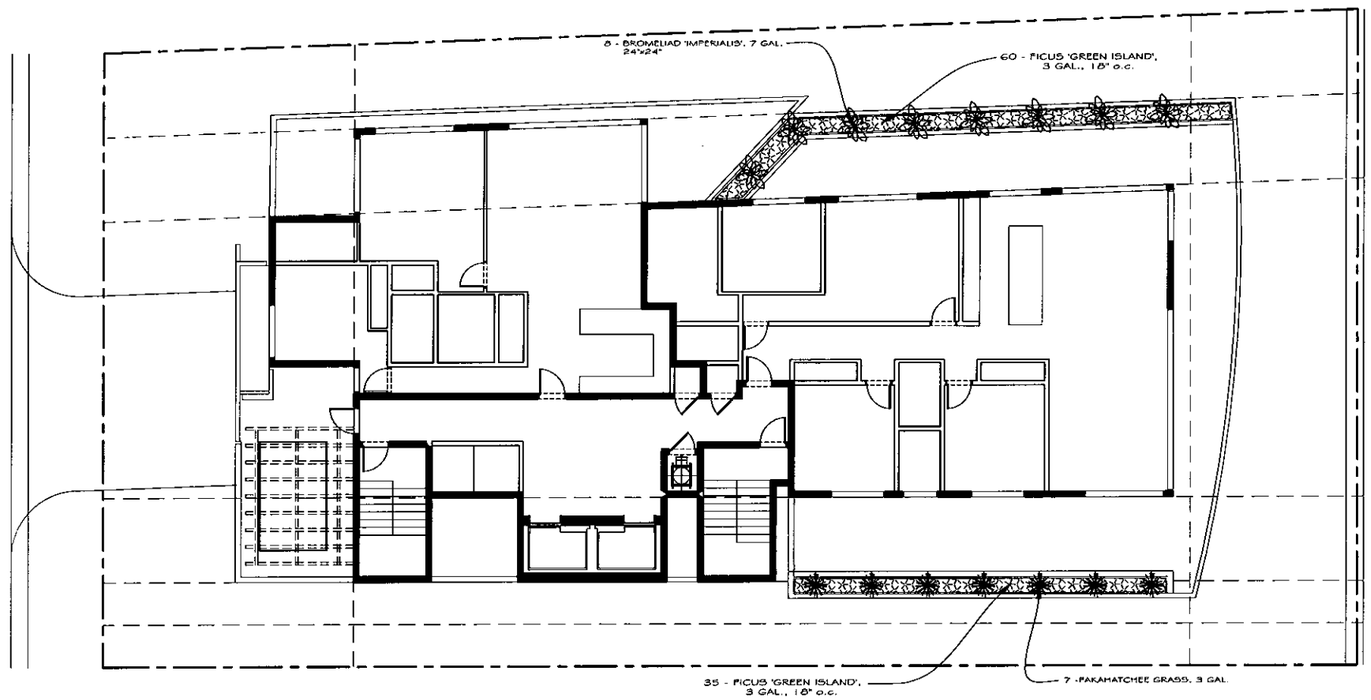
NO	REVISION	DATE	BY

DRAWING TITLE: 3rd FLOOR PLANTING PLAN

SCALE 1/8" = 1'-0" DATE JUNE 3, 2014

SHEET NUMBER L - 3

PLOTTED P&Z BOARD SUBMITTAL



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E MAIL: INFO@FRANKELBENAYOUN.COM

SIGNATURE

DATE

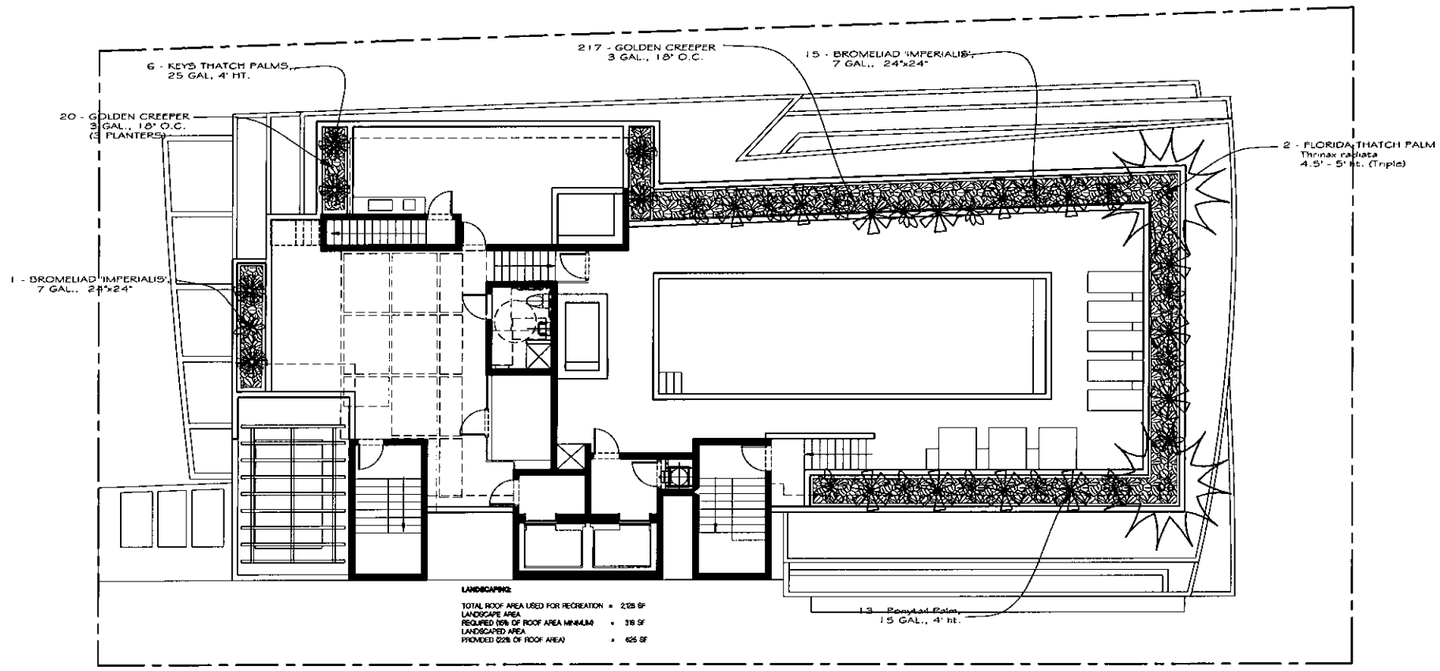
NO	REVISION	DATE	BY

DRAWING TITLE
4th FLOOR PLANTING PLAN

SCALE 1/8" = 1'-0" DATE JUNE 3, 2014

SHEET NUMBER
L - 4

PLOTTED FAZ BOARD SUBMITTAL



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SIGNATURE

DATE

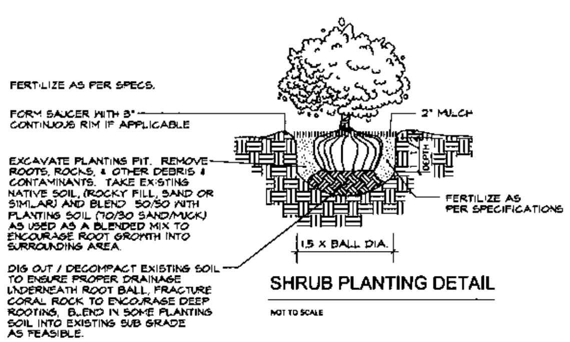
NO	REVISION	DATE	BY

DRAWING TITLE
ROOF- POOL AREA
PLANTING PLAN

SCALE 1/8" = 1'-0" DATE JUNE 3, 2014

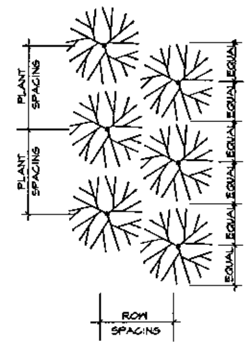
SHEET NUMBER
L - 5

PLOTTED P&Z BOARD SUBMITTAL



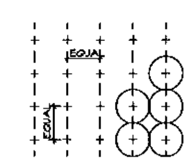
SHRUB PLANTING DETAIL

NOT TO SCALE



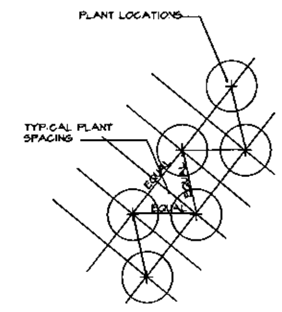
PLANT SPACING	ROW SPACING
12"	10.4"
18"	15.6"
24"	20.8"
30"	26.0"
36"	31.2"
48"	41.6"
60"	52.0"

NOTE:
IN MOST CASES TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS.



TYPICAL PLANT SPACING

SQUARE SPACING PLAN



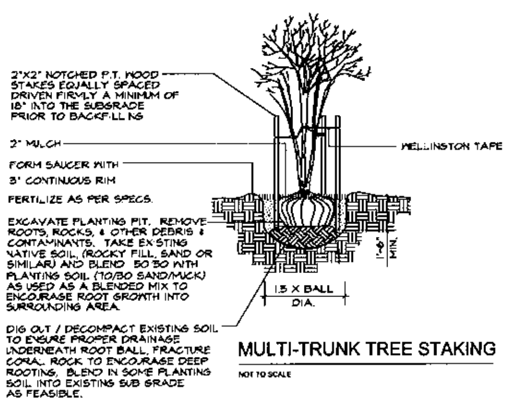
TRIANGULAR SPACING PLAN

PLANTING SPECIFICATIONS AND WARRANTEES

1. The demolition of existing plant material must be marked with spray paint by Landscape Architect (L.A.)
2. All trees and palms to be laid out by Landscape contractor in the field with stakes and spray paint. To be reviewed and approved by (L.A.)
3. Plant list is for information only. If there are any discrepancies between "plant quantities" on plan versus "plant list", "the plans" will take priority. Please notify L.A. of any discrepancies
4. Only unit price installed planting bids based on Landscape Architect's planting plans and plant List will be accepted. Owner retains the right to remove portions of the work from the contract and / or create separate contracts for phasing of the project. Landscape Architect reserves the right to deny any and all bids when such rejections are in the best interest of the owner.
5. All plant material must be Florida #1 or better, unless specified as "character" or with written approval from L.A.
6. All planting beds must be free of surface rock over ½ diameter, prior to mulching.
7. Planting beds should receive 6" of " Geomantic Mix " planting soil. See soil specification.
6. Planting soil specification: 'Geomantic Mix' (20% Florida Peat, 20% Compost, 20% Lake Wales Silica sand, 20% local "screening sand" or "beach sand" and 20% Cypress Shavings), Landscape contractor to submit sample to be approved by L.A.
7. Fertilize all plants with Osmocote "Sierra Blend" 18-7-10: ½ hand full for 1 - 3 gallons, 1 hand full for 7-20 gallon, and 4 hands full for ball and burlapped (B & B) material.
8. Fertilize all B&B material with 10 "Agriform" tablets or equal.
8. Mulch all landscape areas with 2 ½" - 3" of Eucalyptus or Melaleuca mulch "Eco mulch". (No cypress or red color mulch)
9. All sod areas laid with St. Augustine 'Palmetto' to be hand raked prior to installing the sod.
10. All sod areas to be top dressed with 2" of 80/20 Lake Wales silica sand/ Florida peat moss prior to sodding.
11. All Plant material, excluding Sod, to be warranted as follows: Shrubs and Ground covers for 90 days, large shrubs (over 10 gal.) and small palms for 180 days. and B&B material for 360 days provided that plant material is receiving proper maintenance prescribed by Landscape contractor.
   Note: Hurricanes and other causes beyond the control of the Landscape contractor are not covered.
12. All warrantees to run concurrently beginning upon Landscape architect's final acceptance of the installation unless owner or general contractor (G.C.) requires construction phasing beyond control of the installer.
13. Installer to notify Owner, G.C. and / or L.A. of any partial completion due to phasing.
14. All materials stored on site are the property of the installer until accepted by owner. Owner is not responsible for theft, unless notified in writing prior to installation and security arrangement agreed to.
15. Watering is the responsibility of the installer during the installation and until final acceptance.
16. Landscape contractor is responsible for coordinating their work with Irrigation contractor.
17. Landscape contractor is responsible to assure irrigation installation is properly progressing, and in the end adequate for good growth. The owner or G.C. must be notified in writing of any problems with irrigation phasing or performance.
18. Any existing irrigation to be brought to a good functioning standard to ensure proper watering of new material.
19. All landscape areas to be on an automatic sprinkler system, 100% coverage, 100% overlaps, with rain sensor per city codes.
20. Landscape contractor to exercise extreme care when digging and performing other work so not to damage any existing work such as underground and overhead utilities, (electrical, sewage, irrigation, & plumbing). In the event of planting conflicts the L.A. or Owner's authorized representative to be notified to provide alternate locations of planting or utility / obstruction conflicts.
21. Landscape contractor is responsible for immediate repair of any damage caused by their installation.
   Landscape contractor is responsible for working with the general contractor to assure that all cementitious contaminants and other construction debris are removed from all soils.
22. In planting beds, particularly by buildings, Landscape contractor to excavate existing soils to a minimum depth of 12" and backfilled with planting soil. In sod areas, Landscape contractor to decompact soil with back hoe teeth to a depth of 6" and add 2"min. of top soil for sodding.
23. All circular pits to be excavated with vertical sides for all plants, except for hedges & planting beds. The diameter of these pits for trees and shrubs to be 1/3 larger than the diameter of the root ball.
24. All Tree pits to have the soil removed in the amount of 1/3 larger than the root ball of the tree and replaced with approved specified soil.
25. All Palm tree pits to have the soil removed in the amount of 1/3 larger than the root ball of the palm and replaced with clean yellow sand.
26. All Tree & Palm pits to be excavated with a backhoe only. Absolutely no use of augers.

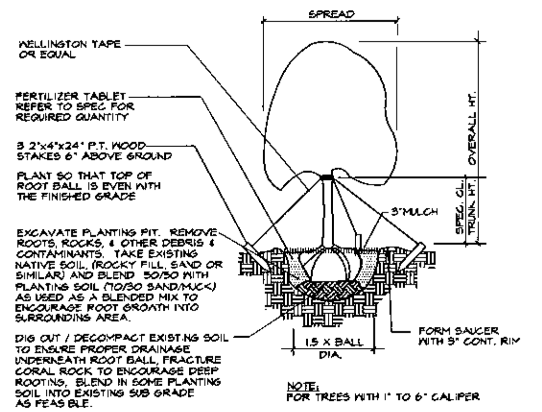
TRANSPLANTING SPECIFICATIONS

1. Root prune all trees and palms to a minimum depth of 24" for the palms and 48" for the trees.
2. Trim frayed roots with clippers saws or similar and leave clean cuts.
3. Wrap balls with shrink wrap plastic, back filling with Shredded peat moss, fill up voids between plastic & ball, covering all cut roots.
4. Backfill with existing soil to hold plastic firmly against newly wrapped ball. Keep 2" deep trench exposed so as to find root ball when harvesting.
5. Water three times per week for next 2 months or until trees are ready to move.
6. Harvest palms after 5 weeks minimum and trees after 8 to 10 weeks depending on size. Consult with LA prior to moving on schedule.
7. Re-dig holes well outside the pastic plant wrap being careful not to disturb or tear, preserving root ball, re-wrap if needed for transplanting.
8. When digging trees, break off large piece of existing coral rock, +/- 36" deep as feasible, by under cutting ball. Do Not Peel Ball off Rock. If necessary, the horizontal chipping or drilling may be required to break off specimen Oak ball at a minimum 30" depth
9. Replant transplanted trees and palms at correct height in new location keeping original ball top exposed.
10. Properly wrap and hook-up trees and palms to lifting equipment in such a way as to not tear cambium layer and exessivly disfigure appearance.
11. Plants that are not properly lifted and die due to girdling, compression or excessive damage to the cambium layer will be charged to the G.C. and Sub-contractor at a rate of $500 per caliper inch.
12. Remove plastic, backfill with 50% existing soil blended with 50% planting soil plus ¼ bale of Canadian peat moss for palms and ½ bale for trees.
13. Backfill sink place in Agriform fertilizer tablets per recommendations, brace, and trim broken branches and fronds as needed. Brace per specification.
14. Water daily for duration of overall job will be required. Having bubblers as part of automatic irrigation system for post construction can supplement additional drenching, but are not a substitution.



MULTI-TRUNK TREE STAKING

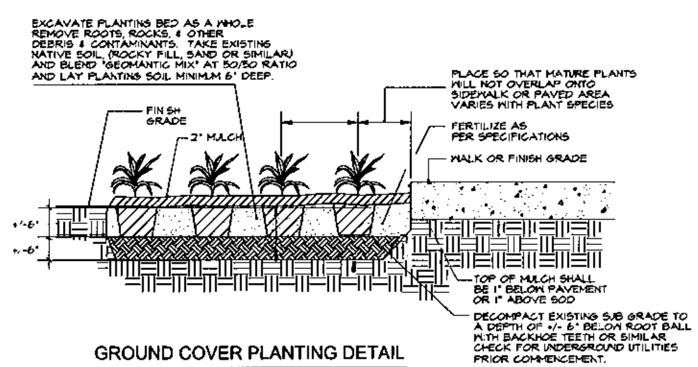
NOT TO SCALE



NOTE:
FOR TREES WITH 1" TO 6" CALIPER

TREE PLANTING - GUY WIRES or WELLINGTON TAPE

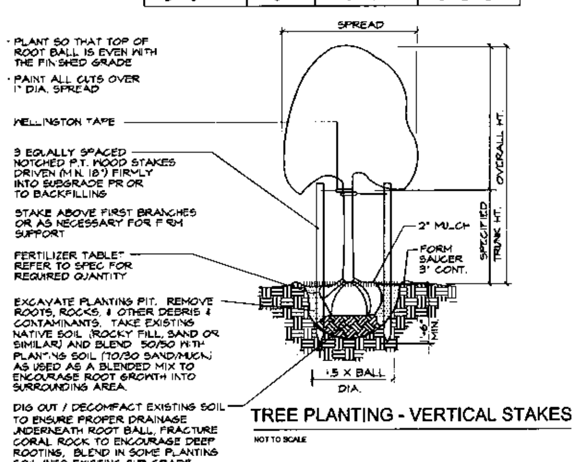
NOT TO SCALE



GROUND COVER PLANTING DETAIL

NOT TO SCALE

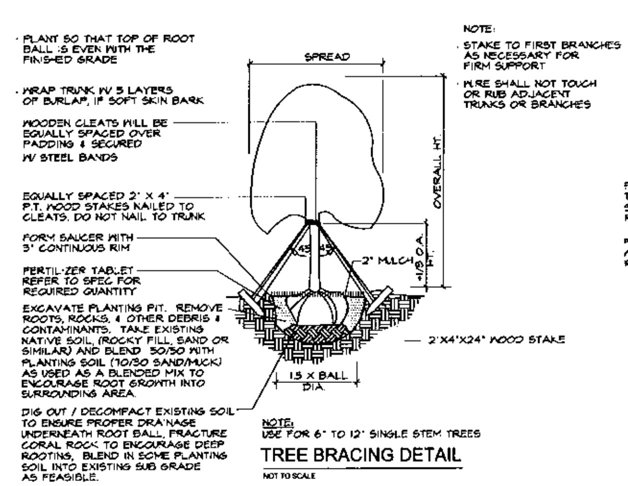
CALIPER	TIES	STRANDS	STAKES
1" - 1 1/2"	2	1 # 12	2 - 2 X 2
1 1/2" - 2"	3	1 # 12	3 - 2 X 2
2" - 3"	3	2 # 12	2 - 2 X 2
3" - 6"	3	2 # 12	3 - 2 X 2



TREE PLANTING - VERTICAL STAKES

NOT TO SCALE

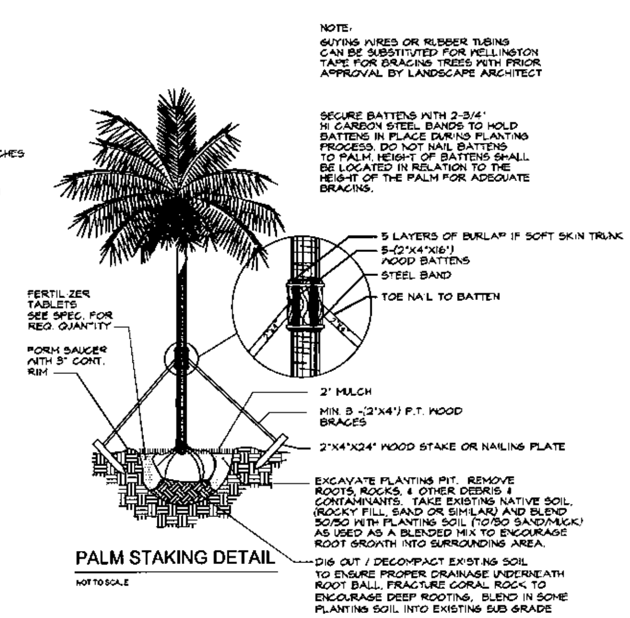
CALIPER	CLEATS	STRAPS	BRACES	NAILS
4" - 8"	2 x 4 x 8"	1 # 12	3 - 2 X 4	2 - 16d
8" - 10"	2 x 4 x 12"	1 # 12	3 - 2 X 4	3 - 16d
10" - 16"	2 x 4 x 12"	2 # 12	4 - 2 X 4	3 - 16d



NOTE:
USE FOR 6" TO 12" SINGLE STEM TREES

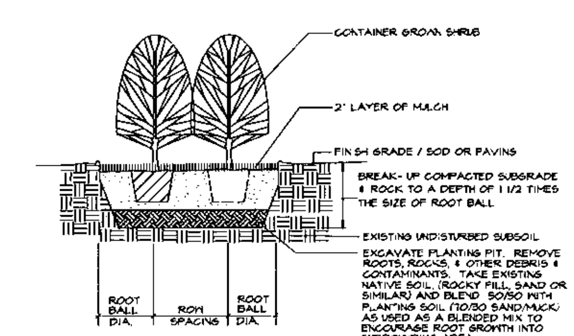
TREE BRACING DETAIL

NOT TO SCALE



PALM STAKING DETAIL

NOT TO SCALE



HEDGE & MASS PLANTING DETAIL

NOT TO SCALE

CIVIL ENGINEER
HOLLAND ENGINEERING INC.
civil engineers
3900 HOLLYWOOD BOULEVARD - HOLLYWOOD, FL - 33021
(954)367-0371 . (954)367-0372 Fax
SUSAN C. HOLLAND, PE
Reg. no. 41831

LANDSCAPE ARCHITECT
GEOMANTIC DESIGNS, INC.
LANDSCAPE ARCHITECTURE
ROBERT PARSLEY A.S.L.A.

STRUCTURAL ENGINEER

MEP ENGINEER

OWNER / DEVELOPER
BEAU RIVAGE, LLC.
10205 COLLINS AVE., SUITE 808
BAY HARBOR ISLANDS, FL 33154

BAY HARBOR RESIDENTIAL DEVELOPMENT
BEAU RIVAGE CONDOMINIUM
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

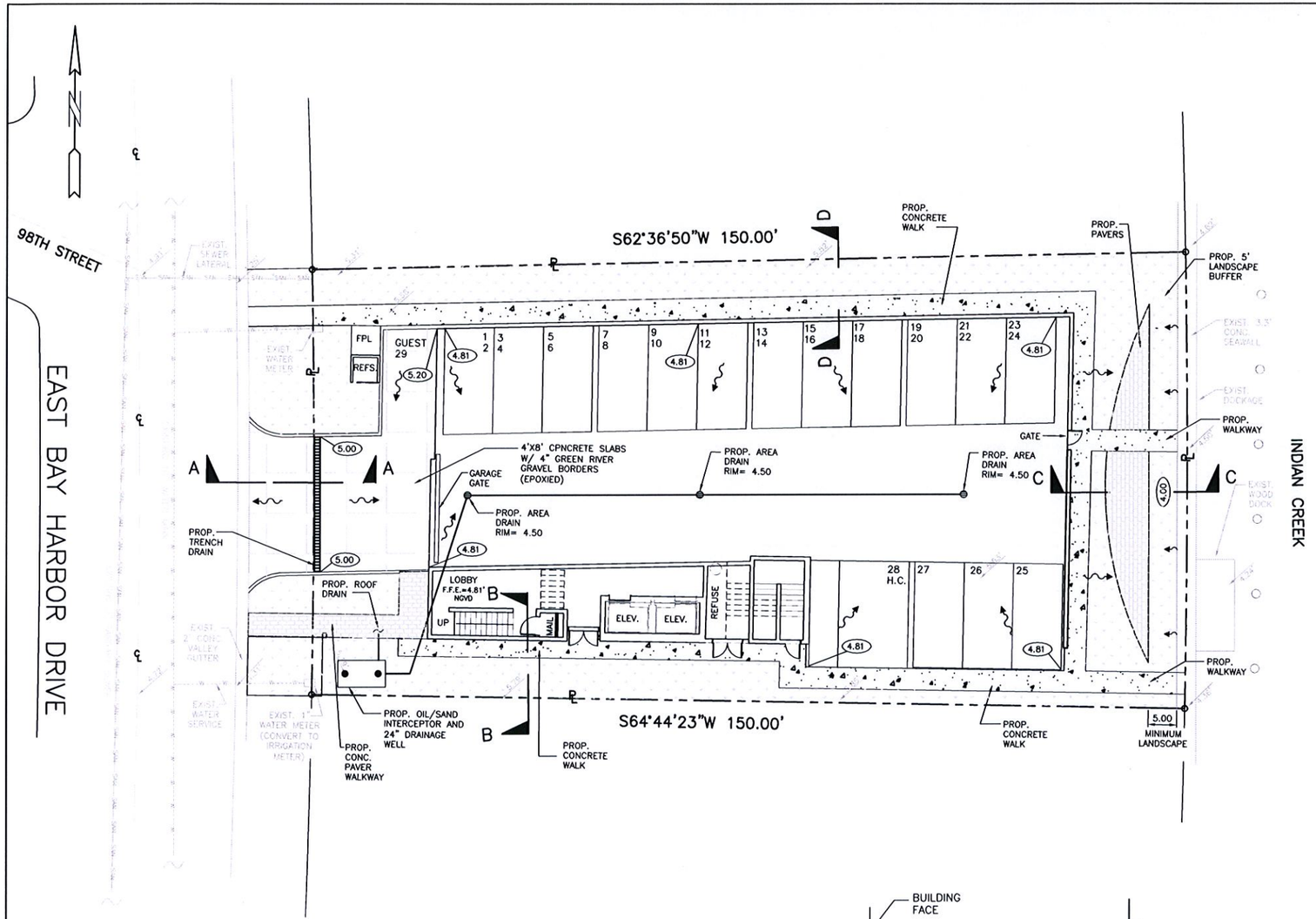
FRANKEL BENAYOUN
A R C H I T E C T S I N C
ARCHITECTS PLANNERS INTERIOR DESIGN
LICENSE NO. AA-C001484
1177 KANE CONCOURSE, SUITE 120
BAY HARBOR ISLANDS, FLORIDA 33154
PH (305) 868 3665
FAX (305) 868 3650

SEAL
DATE

NO	REVISION	DATE	BY

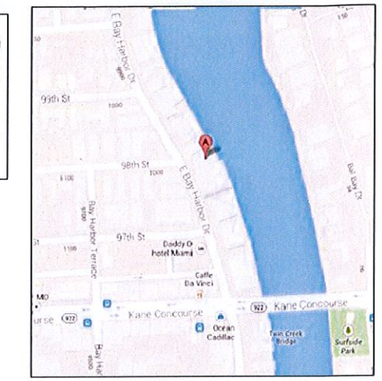
DRAWING TITLE
PLANTING DETAILS
SCALE N.T.S. DATE JUNE 3, 2014
SHEET NUMBER
L - 6
PLOTTED F&Z BOARD SUBMITTAL

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.



FLOOD ZONE: "AE" BASE FLOOD ELEVATION =9.00

SITE ELEVATIONS ARE REFERENCED TO NGVD 1929



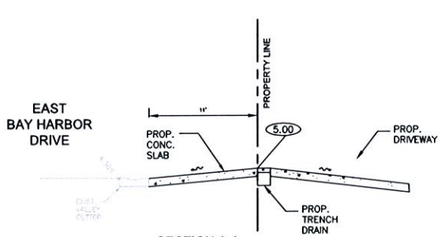
NOTES:

1. EXISTING CURB & GUTTER TO BE REPLACED WHERE CRACKED OR DAMAGED.
2. EXISTING OVERHEAD POWER LINES TO BE REMOVED AND INSTALLED UNDERGROUND. GENERAL CONTRACTOR TO PROVIDE SEPARATE LINE ITEM FOR BID.
3. MAXIMUM CROSS SLOPE ON WALKWAYS TO BE 2%.
4. MAXIMUM LENGTH WISE SLOPE ON WALKWAYS TO BE 5%.
5. CONNECT ALL ROOF DRAINS TO DRAINAGE WELL #2.
6. CONTRACTOR TO COORDINATE CONSTRUCTION OF DRAINAGE SYSTEM WITH WATER, FIRE, IRRIGATION PIPES AND STRUCTURAL FOUNDATION.
7. ALL EXISTING AND PROPOSED ELEVATIONS ARE REFERENCED TO NGVD 1929.
8. MAXIMUM SLOPE ON GARAGE RAMPS TO BE 20%.
9. ALL DRAINAGE PIPE TO HAVE MINIMUM 1% (1 INCH/FT) SLOPE.
10. REFER TO PLUMBING PLANS FOR INFORMATION ON ROOF DRAINS AND CONDENSATE LINES.
11. REFER TO ARCHITECTURAL PLANS FOR DETAILS ON CONCRETE PAVERS.
12. FLOOD BARRIER TO BE PROVIDED AT ALL OPENINGS BELOW 9.0 FT NGVD.

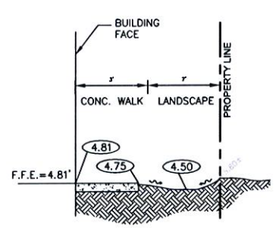
LEGAL DESCRIPTION:

LOT 28, BLOCK 4 OF "BAY HARBOR ISLAND", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 46, PAGE 5 OF THE PUBLIC RECORDS OF MIAMI/DADE COUNTY, FLORIDA.

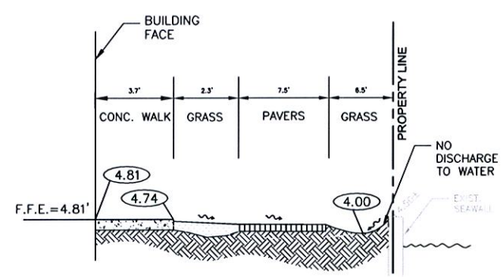
Property Address: 9781 EAST BAY HARBOR DRIVE
BAY HARBOR ISLAND, FLORIDA 33154
MIAMI-DADE COUNTY, FLORIDA.
Tax Folio # 13-2227-046-0050



SECTION A-A
N.T.S.



SECTION B-B
N.T.S.



SECTION C-C
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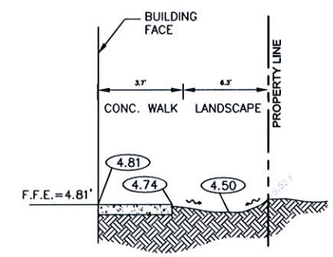


SECTION D-D
N.T.S.

LEGEND

- PROPOSED ASTROTURF
- PROPOSED CONCRETE
- PROPOSED CONCRETE PAVERS
- PROPOSED GRASS PAVER
- 8.60 PROPOSED ELEVATION
- PROPOSED SURFACE FLOW
- PROPOSED AREA DRAIN
- PROPOSED PIPING
- EXISTING PIPING AND APPURTENANCES
- EXISTING CATCH BASIN
- EXISTING ELEVATION
- EXISTING WOOD POWER POLE
- EXISTING MANHOLE (AS DESIGNATED)
- EXISTING WATER METER
- EXISTING WATER

PAVING, GRADING AND DRAINAGE PLAN

SCALE 1" = 10'-0"

LANDSCAPE ARCHITECT

MECHANICAL/ELECTRICAL & PLUMBING ENGINEERS

CONTRACTOR

FRANKEL BENAYOUN ARCHITECTS INC
ARCHITECTS PLANNERS INTERIOR DESIGN
1680 MICHIGAN AVENUE, SUITE 1001
MIAMI BEACH, FLORIDA 33139
TEL (305) 672-7850
FAX (305) 672-7870
E-MAIL: INFO@FRANKELBENAYOUN.COM

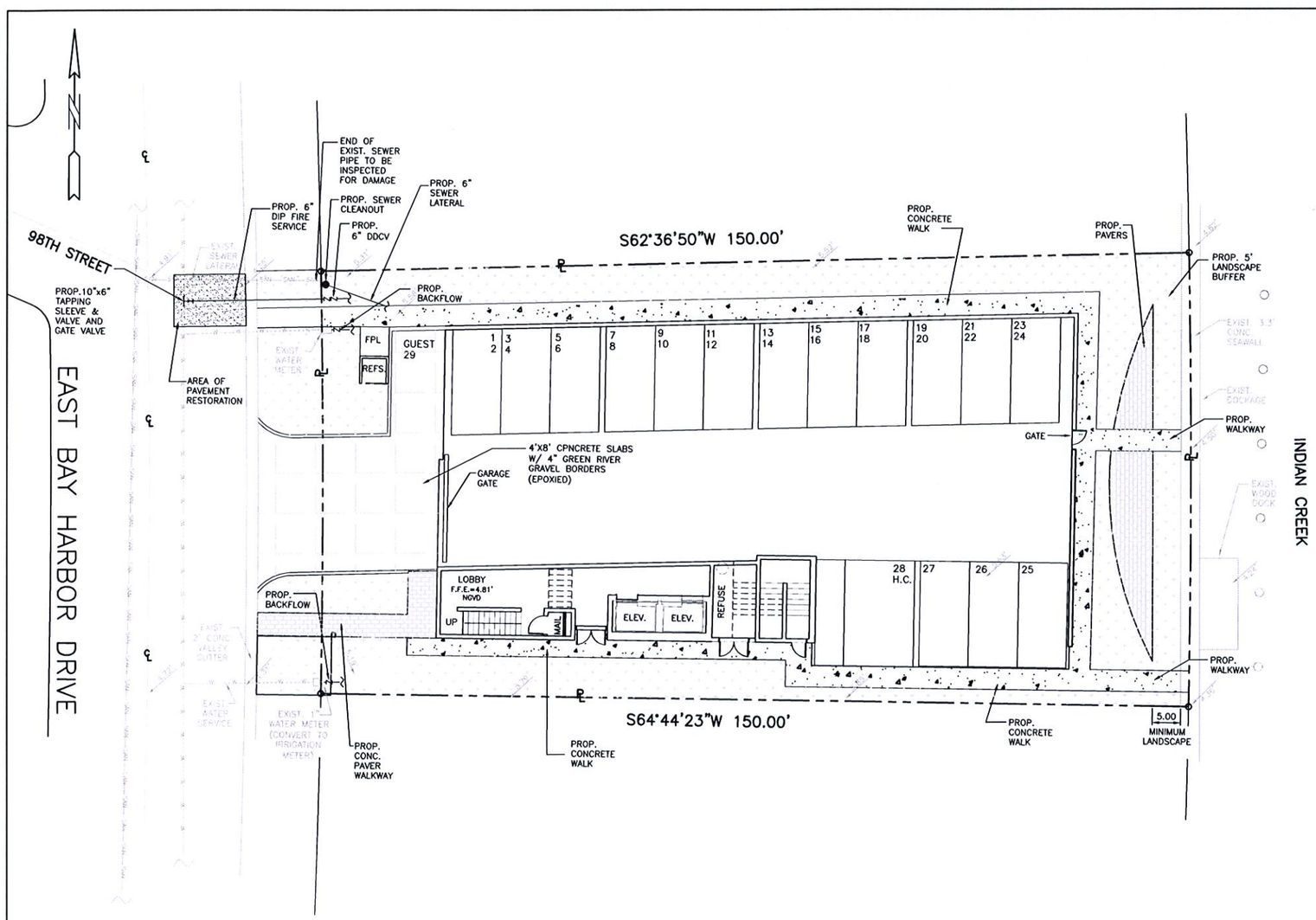
BAY HARBOR RESIDENTIAL DEVELOPMENT
BEAU RIVAGE CONDOMINIUM
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

OWNER/DEVELOPER
BEAU RIVAGE LLC

HOLLAND ENGINEERING INC.
civil engineers
2900 HOLLYWOOD BLVD., STE. 300 • HOLLYWOOD • FL • 33021
(954)967-0371 • (954)967-0376 fax
SUSAN C. HOLLAND, PE
Reg. no. 41831

NO	REVISION	DATE	BY

DRAWING TITLE
PAVING, GRADING AND DRAINAGE PLAN
SCALE 1"=10'
DATE MARCH 19, 2014
SHEET NUMBER
C-1
NOTES: P&Z BOARD SUBMITTAL 3-19-14



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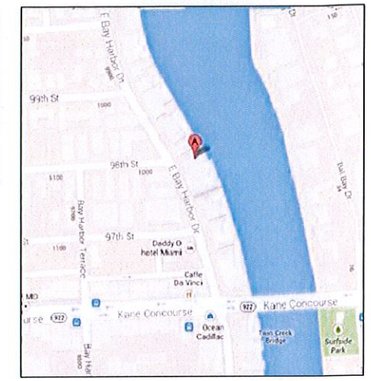

LEGAL DESCRIPTION:

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Property Address: 9781 EAST BAY HARBOR DRIVE
BAY HARBOR ISLAND, FLORIDA 33154
MIAMI-DADE COUNTY, FLORIDA.

Tax Folio # 13-2227-046-0050

NOTES:

1. REFER TO PLUMBING PLANS FOR COORDINATION WITH BUILDING WATER AND SEWER SERVICES.

2. CONTRACTOR TO FIELD LOCATE EXISTING SEWER LATERALS AND CONFIRM DEPTH OF PIPE.

3. CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO CONSTRUCTION.

4. INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO PREVENT PIPE CONFLICTS

LEGEND

- PROPOSED ASTROTURF
- PROPOSED CONCRETE
- PROPOSED CONCRETE PAVERS
- PROPOSED GRASS PAVER
- 8.60 PROPOSED ELEVATION
- PROPOSED SURFACE FLOW
- PROPOSED AREA DRAIN
- PROPOSED PIPING
- EXISTING PIPING AND APPURTENANCES
- EXISTING CATCH BASIN
- EXISTING ELEVATION
- EXISTING WOOD POWER POLE
- EXISTING MANHOLE (AS DESIGNATED)
- EXISTING WATER METER
- EXISTING WATER

WATER AND SEWER PLAN

SCALE 1" = 10'-0"

LANDSCAPE ARCHITECT

MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

CONTRACTOR

FRANKEL BENAYOUN ARCHITECTS INC

BAY HARBOR RESIDENTIAL DEVELOPMENT
BEAU RIVAGE CONDOMINIUM
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

OWNER DEVELOPER
BEAU RIVAGE LLC

HOLLAND ENGINEERING INC.
civil engineers
SUSAN C. HOLLAND, PE
Reg. no. 41831

NO	REVISION	DATE	BY

DRAWING TITLE: WATER AND SEWER PLAN
SCALE 1"=10'
DATE MARCH 19, 2014
SHEET NUMBER C-2
NOTE: F&Z BOARD SUBMITTAL 3-19-14

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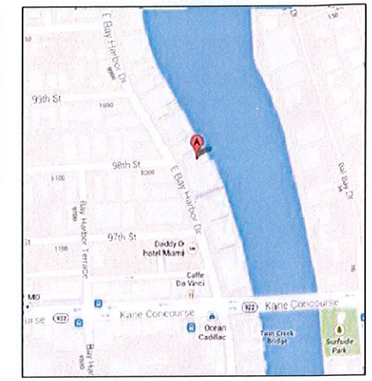

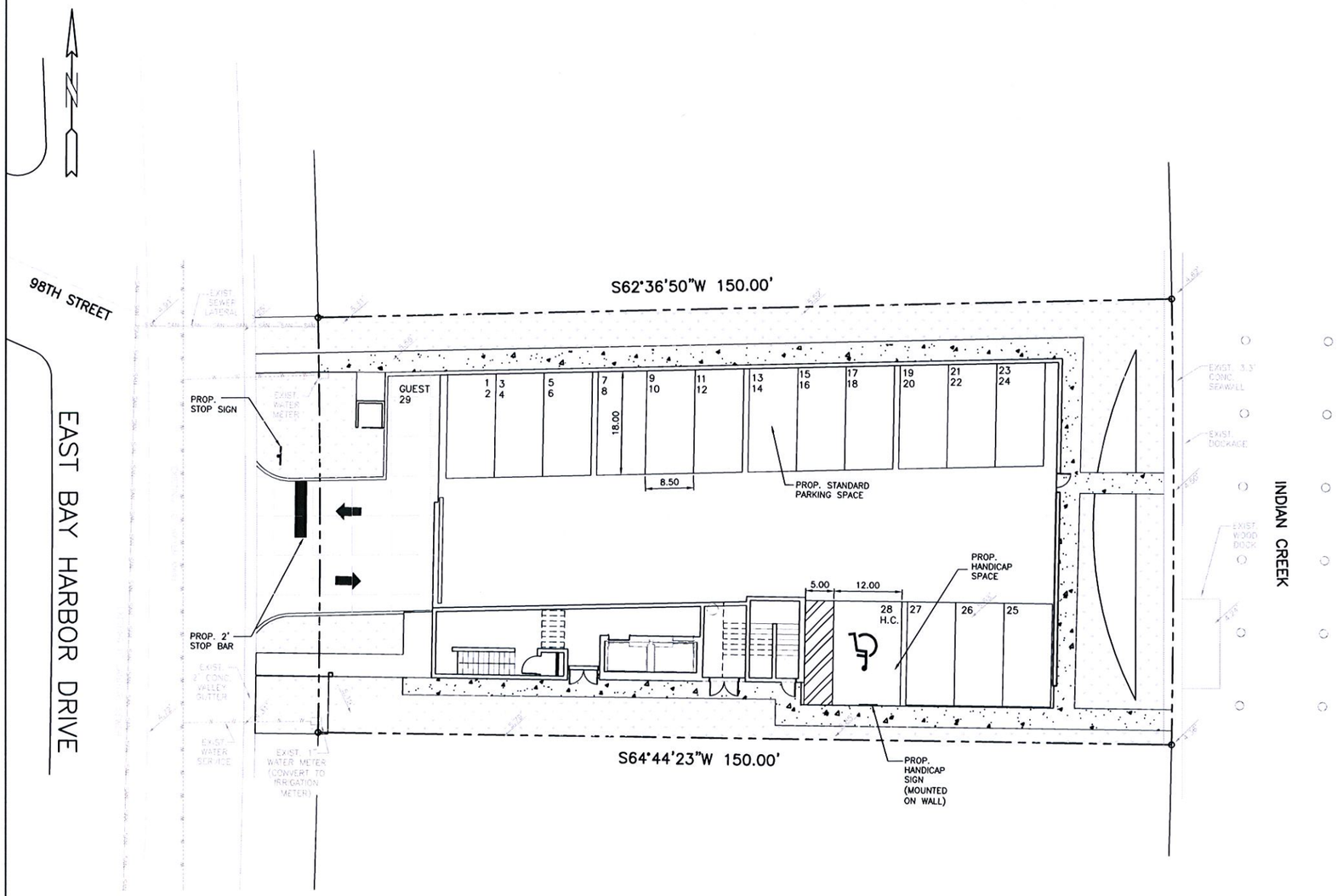

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Property Address: 9781 EAST BAY HARBOR DRIVE
BAY HABOR ISLAND, FLORIDA 33154
MIAMI-DADE COUNTY, FLORIDA.
Tax Folio # 13-2227-046-0050

LEGEND

- PROPOSED ASTROTURF
- PROPOSED CONCRETE
- PROPOSED CONCRETE PAVERS
- PROPOSED GRASS PAVER
- 8.60 PROPOSED ELEVATION
- PROPOSED SURFACE FLOW
- PROPOSED AREA DRAIN
- PROPOSED PIPING
- EXISTING PIPING AND APPURTENANCES
- EXISTING CATCH BASIN
- 7.10 EXISTING ELEVATION
- EXISTING WOOD POWER POLE
- EXISTING MANHOLE (AS DESIGNATED)
- EXISTING WATER METER
- EXISTING WATER

PAVEMENT MARKING AND SIGNAGE PLAN

SCALE 1" = 10'-0"

LANDSCAPE ARCHITECT

MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

CONTRACTOR

FRANKEL BENAYOUN ARCHITECTS INC
ARCHITECTS PLANNERS INTERIOR DESIGNERS
17101 BISCAYNE BLVD., N.E. PENTHOUSE
EAST ELEVATOR TOWER, SUITE 1201
BAY HARBOR ISLANDS, FLORIDA 33154
TEL: (305) 868-2600
FAX: (305) 868-2650
E-MAIL: INFO@FRANKELBENAYOUN.COM

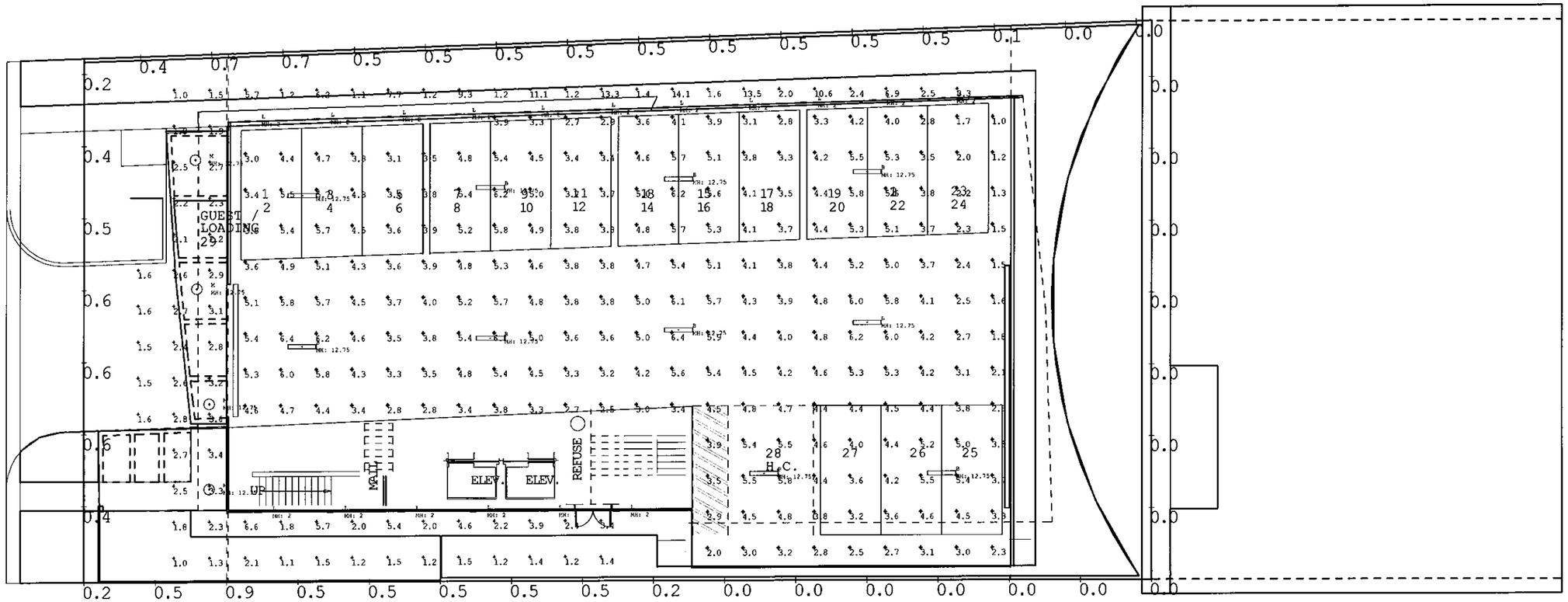
BAY HARBOR RESIDENTIAL DEVELOPMENT
BEAU RIVAGE CONDOMINIUM
9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

OWNER-DEVELOPER
BEAU RIVAGE LLC

HOLLAND ENGINEERING INC.
civil engineers
2900 NE PARKER BLVD. PH. 305 - 1 - TELEPHONE - FL - 33001
SPACE-FIRST - SPACE-FIRST FM
SUSAN C. HOLLAND, PE
Reg. no. 41831

NO.	REVISION	DATE	BY

DRAWING TITLE
PAVEMENT MARKING AND SIGNAGE PLAN
SCALE 1"=10'
DATE MARCH 19, 2014
SHEET NUMBER
C-3
PLOTTED: P&Z BOARD SUBMITTAL 3-19-14



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	10	B	SINGLE	5600	0.750	LITHONIA DMW 2 32
	37	L	SINGLE	N.A.	0.840	BEGA 2084LED
	4	M	SINGLE	3400	0.855	BEGA 5518F

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Egress	Illuminance	Fc	3.26	14.1	1.0	3.26	14.10
Garage_Floor	Illuminance	Fc	4.20	6.4	1.0	4.20	6.40
Property Horizontal	Illuminance	Fc	0.31	0.9	0.0	N.A.	N.A.

LEVEL ONE PHOTOMETRIC PLAN

3/16" = 1'-0"

CIVIL ENGINEER

HOLLAND ENGINEERING INC.
civil engineers

3900 HOLLYWOOD BOULEVARD- HOLLYWOOD, FL - 33021
(954)367-0371 . (954)367-0372 Fax

SUSAN C. HOLLAND, PE
Reg. no. 41831

LANDSCAPE ARCHITECT

GEOMANTIC DESIGNS, INC.
LANDSCAPE ARCHITECTURE

ROBERT PARSLEY A.S.L.A.

FRANKEL BENAYOUN ARCHITECTS INC
ARCHITECTS PLANNERS INTERIOR DESIGN

LICENSE NO. AA-0001584
1680 MICHIGAN AVENUE, SUITE 120
BAY HARBOR ISLANDS, FLORIDA 33154
PH: (305) 868-3883
FAX: (305) 868-3880
E MAIL: INFO@FRANKELBENAYOUN.COM

BAY HARBOR RESIDENTIAL DEVELOPMENT

BEAU RIVAGE CONDOMINIUM

9781 E. BAY HARBOR DRIVE

BAY HARBOR ISLANDS, FLORIDA 33154

OWNER/DEVELOPER

BEAU RIVAGE LLC

9781 E. BAY HARBOR DRIVE
BAY HARBOR ISLANDS, FLORIDA 33154

SIGNATURE DATE

NO	REVISION	DATE	BY

DRAWING TITLE

SITE PHOTOMETRIC PLAN

SCALE

DATE JUNE 3, 2014

SHEET NUMBER

E-1.01

PLOTTED P&Z SUBMITTAL 06/03/14

MICHAEL MILLER PLANNING ASSOCIATES, INC.
Land Design Municipal Planning Services Transportation Planning

TOWN OF BAY HARBOR ISLANDS COMMUNITY DEVELOPMENT MEMORANDUM

To: Planning and Zoning Board
Town of Bay Harbor Islands

From: Michael J. Miller, AICP
Consultant Town Planner

Date: May 27th, 2014

Subject: Site Development Plan Application
Beau Rivage Condominium – PZB Requested Revisions
9781 East Bay Harbor Drive
Bay Harbor Islands Acct. No. MB2014-XXX
MMPA Acct. No. 01-0702-0906B

RECOMMENDED ACTION

On May 6th, 2014 the PZB reviewed / deferred the application and instructed the applicant to make several minor changes. On May 23rd, 2014 MMPA received a set of revised plans that appears to address the PZB design comments. MMPA reviewed the revised plans and determined the PZB requested changes had been made; therefore, MMPA recommends the PZB review the **most recent revised plans** dated May 21st, 2014 and, if found acceptable, **APPROVE** the proposed Site Development Plan application subject to the following:

(1) The Board finds the proposed increased density (9 Base DU / 4 TDR Units = 13 DU) "fits" within the building envelope without alterations or variances; and

(2) The Board finds the location, size, materials, design and overall appearance of the proposed "covered pedestrian walkway" is desirable and meets the vision of the Town (PZB has sole approval discretion – no Code criteria); and

(3) The Board reviews / approves the applicant's request to not fully close-in the sides / rear of the above grade parking garage as specified in Section 23-24(d)(4) by providing a "green screen" in lieu thereof; and

(4) The Board approves the applicant's request to narrow a drive isle (22'-10" in rear of garage) than specified in Section 23-30(c); and

(5) Subject to any staff recommended conditions listed herein.

7522 Wiles Road Suite B-203 Coral Springs, Florida 33067 Telephone: 954-757-9909

PROJECT HISTORY

In 2005, the Town received a Site Development Plan application to allow for the construction of a proposed twelve (12) unit mid-rise development located on the subject site. The proposed dwelling units at that time ranged in size from about 1,354 - 3,300 square feet of A/C space. The proposed building at that time was 7-stories in height with one level of partially recessed parking. That project was reviewed and approved by the Town in July 2005; however building permits were never requested within the prescribed Code timeframe and the Site Development Plan approval expired. In 2007, an updated / revised Site Development Plan application was submitted to allow for the construction of a proposed thirteen (13) unit mid-rise development. The proposed dwelling units at that time ranged in size from about 1,560 - 3,342 square feet of A/C space. Again, that proposed building was 7-stories in height with one level of parking in a garage beneath the building. Our office records indicate that this project was reviewed twice by the Town's DRC but it never went before the Planning and Zoning Board. If it had, any approval would have expired long ago. On March 3rd, 2014 the Town / MMPA received a new application for the same site. A DRC meeting was held on March 13th, 2014, at which time the item was allowed to move forward subject to several minor revisions. In late March 2014 revised plans were submitted / reviewed and further refinements were made. On May 6th, 2014 the Planning and Zoning Board reviewed the application but deferred action and advised the applicant to make several changes. On May 23rd, 2014 MMPA received a set of revised plans that appears to address the previous PZB design comments. MMPA reviewed the revised plans and determined the PZB requested changes had been made.

GENERAL PROJECT INFORMATION

Land Use Designation:	MH – Medium-High Density Residential
Zoning District:	RM-1 Multiple Family District
General Location:	9781 East Bay Harbor Drive
Legal Description:	Lot 28, Block 4, "Bay Harbor Island" according to the plat thereof, as recorded in Plat Book 46, at Page 5 of the Public records of Miami-Dade County.

PROJECT DESCRIPTION

The project architect, Frankel Benayoun Architects, Inc., as agent for the owner, Beau Rivage, LLC, has submitted a new Site Development Plan application to allow for the construction of a proposed thirteen (13) unit mid-rise development located at 9781 East Bay Harbor Drive. The proposed dwelling units will range from 1,303 to 3,300 square feet of A/C space plus balconies, etc. The proposed site design incorporates one (1) rectangular-shaped building positioned east / west on top of a one-story parking garage structure at grade. One (1) two-way driveway connection to East Bay Harbor Drive is proposed. The driveway provides access to the parking garage / guest parking space / main entrance / common areas. On the building rooftop is a recreational facility with a swimming pool / spa, sundeck, covered fitness area, a joint men's / women's restroom, and a private terrace with spa for the penthouse unit.

The proposed new building is 8-stories in height - seven (7) floors of residential over a one (1) story parking garage / common areas @ max. 75-feet above BFE (measured to main roof deck). The survey submitted, indicates there is currently a two-story apartment building on the site with a total of 6 DU. Therefore, the net increase in DU would be seven (7) DU.

The Town's Historic Structure Survey refers to the site as the "Melody Manor" site and lists it as being built in 1950. The architectural style is listed as Miami Modern. The current lot area is 11,286+/- sq. ft. / 0.26 acres in size. This would allow a maximum of nine (9) dwelling units on the property at the maximum allowable base density (34 DUA). The developer is proposing to build thirteen (13) DU (50 DUA) which would require the developer to obtain four (4) TDR units.

The current site is deemed legal non-conforming, as it was developed with no on-site parking spaces. Seven (7) perpendicular parking spaces exist today adjoining the site in the Town's roadway swale area. Under the current Town Code requirement twelve (12) parking spaces are required (6 DU x 2 per DU = 12). Therefore, the existing site is five (5) parking spaces short of meeting current day Zoning Code requirements. The redevelopment of the site will remove all of the existing on-street parking spaces as required by Town Code and place all required parking spaces within the building site. All existing asphalt in the roadway swales will be removed with landscaping added for improved storm-water management and aesthetics. Based on 13 DU at least 26 parking spaces are required. A total of twenty-nine (29) parking spaces are shown on the latest plans, which exceeds the minimum Town Code requirements.

The adjoining development sites include the 5-story Elegant Eight Condo to the immediate north @ 8 DU / 30.1 DUA. To the immediate south is the Carroll Walk 15-story PRD complex @ 42 DU / 80.8 DUA. To the west across East Bay Harbor Drive on both sides of 98th Street are two multifamily complexes owned by this same developer (Bay Harbour Holdings, LLC). The site to the north of 98th Street is a 2-story apartment complex @ 16 DU / 26.7 DUA while the site to the south of 98th Street is a 1-story apartment complex @ 17 DU / 34 DUA. To the east of the subject site is the Indian Creek Waterway – the community of Bal Harbour Village lies east of this wide waterway. This waterfront area of the Town is predominated by older low-rise (1-3 story), newer mid-rise (4-7 story) and two high-rise (14-15 story) PRD residential complexes. The Town's 2002 Community Vision Master Plan identifies this area as being preferred for mid-rise residential complexes of 7+/- stories in height. Therefore, the proposed development is deemed generally consistent with the Town's future vision.

BACKGROUND INFORMATION

The Town completed major amendments to the Town's adopted Comprehensive Plan and Land Development Regulations (LDRs) in the last 10+/- years. The former RE zoned lands located on waterfront lots are now zoned RM-1, while interior (non-waterfront lots) are zoned RM-2. Also, the Town adopted numerous other modifications to several Code provisions that affect yard encroachments, parking lot designs, building height limits and exceptions as well as other building design standards. The plans generally adhere to the adopted Code provisions.

COMPREHENSIVE PLAN / ZONING

Comprehensive Plan – The property has a Future Land Use Map (FLUM) designation of "Medium-High Density Residential". The maximum allowable base density is 34 DUA. Additional dwelling units may be acquired to increase density if approved by the Town Commission. Since the developer is seeking to build 13 DU, and only 9 DU are allowed by right, 4 additional TDR units must be acquired by the developer prior to construction commencing. If the Town Council approves the acquisition of the requested 4 additional TDR units the proposed development would be consistent with the applicable FLUM designation.

Land Development Regulations / Zoning Code –The subject property has a Zoning classification of RM-1 Multiple Family Zoning District. The proposed use of the property is consistent with this zoning classification; however, unless the Town Council allows the additional TDR units, the density would not be consistent.

PLATTING

The site will not require re-platting, as the site is currently platted as described above. It does not appear (survey) that the 11-foot area for head-in parking was ever deeded to the Town.

RIGHT-OF-WAY / ACCESS DESCRIPTION / PARKING

As stated above, the Site Development Plan depicts access to the site from East Bay Harbor Drive via one (1) two-way driveway connection to East Bay Harbor Drive is proposed. The driveway provides access to the parking garage / guest parking space / main entrance / common areas. The Town requires at least 23 feet width pavement for 2-way driveways and 12 feet width pavement for one-way driveways. The driveway is 23 feet in width at the street and through most of the building narrowing slightly to 22'-10" at the rear of the site in the garage (MMPA does not oppose). The Code requires at least 26 parking spaces (2 spaces per DU), which the plan exceeds (29). Twenty-eight (28) parking spaces are provided in the parking garage (3 standard, 1 ADA spaces, and 12 parking lifts (24 total spaces)) and one (1) guest parking space in the front yard area.

TRANSFER OF DEVELOPMENT RIGHT (TDR) ANALYSIS

The process of TDR allocation is discretionary on the part of the Town. The TDR system was established in 2004 with the consent of the state planning agency, due to problems with existing development characteristics, density calculation errors in the 1989 Comprehensive Plan and desired development scale / types by the community. The TDR system ensures that all sites can be developed to at least the base density (34 DUA) but additional density can be allocated if found to be acceptable in design and compatibility. It was found that when the Comprehensive Plan was updated / TDR system was established in 2004, over 1/3 of the existing multi-family development sites in the Town exceeded the 34 DUA limit. Since 2004 several additional developments have been approved by the Town with TDR units. There is a very limited amount of Town TDR units. Many older underdeveloped sites have many more private TDR units. Since the Planning and Zoning Code establishes the maximum building envelope (height / setbacks / parking spaces / open space) it is incumbent on the developer / designers to keep within the regulatory framework

to provide for the number of dwelling units requested and convince the Town Council / Planning and Zoning Board that the building is attractive and not congested. In our opinion, this site design meets all Code requirements, is self-contained, and does not appear to increase the building volume significantly, but it is up to the Town to decide.

BUILDING DESIGN / BUILDING LENGTH / BREEZEWAY

The building design is typical "South Florida" retro modern with prominent horizontal design elements and abundant use of concrete and painted stucco banding as well as backlit colored glass.

The building does not exceed two hundred five (205) feet in length; therefore, a "building break" is not required.

The building does not exceed one hundred twenty (120) feet in length (110'+/-); therefore, a formal "breezeway" is not required.

On the earlier plan submission MMPA identified one minor design detail issue that appears to have been corrected. Once the maximum building height is reached, in this instance 75 feet above BFE, the Code allows certain limited structures to be placed on top of the main roof. These accessory structures are listed in Section 23-12(25), as well as limitations on heights and setbacks from the edge of the main building façade. One of the allowable rooftop accessory structures is a raised swimming pool deck, which cannot exceed five (5) feet above the main roof deck. If there is a raised pool deck and a safety railing is provided at the edge of the raised pool deck, the railing cannot be located closer than five (5) feet to the edge of the "roof" (Sec. 23-12(25)(e). Otherwise, the appearance could be a taller parapet wall versus the normally allowed five (5) foot tall parapet wall. This Code provision was intended specifically to address building height appearances – those building features above the main roof must step back. The latest plans show an intent to extend the roof deck out 2 feet past the face of the building to construct a landscape planter, which is allowed. The planter edge will function as a parapet wall. A five (5) foot wide landscape planter / setback area will be created between the outer planter wall / parapet wall (edge of roof) and the raised pool deck, which has a railing around its edge.

PLANNING AND ZONING BOARD REQUESTED CHANGES

The PZ Board met on May 6th, 2014 and reviewed / deferred action and instructed the applicant to consider several design changes. The applicant has addressed / attempted to address all of the requests. Below is a summary of the requested changes:

1. Generator location / screening.
2. A/C unit locations / screening.
3. Roof structures (per staff comments - setbacks).
4. Fitness area definition.

5. Covered pedestrian walkway to street – do not extend to side property line.

6. Front stairs (not sure of comment).

SUGGESTED CONDITIONS OF APPROVAL / SITE PLAN COMMENTS

Following are suggested conditions of approval and/or comments on the latest plans dated May 21st, 2014 submitted to the Town for consideration:

1) This approval is based on the revised Site Development Plans prepared by Frankel Benayoun Architects, Inc. dated May 21st, 2014. Any substantial changes requested after the PZB approval requires a separate approval from staff / Planning and Zoning Board, as specified in the Code.

2) Coordinate with the Miami-Dade County School Board staff through the Town's Building Department staff to address any public school concurrency deficiencies at public schools that serve the Town. If mitigation is required, an agreement / mitigation payment must be finalized prior to the issuance of building permits.

3) This approval is subject to the Town Council granting the developer / property owner the ability to allocate four (4) additional TDR dwelling units to the site from either the Town or private property owners. If the number of DU requested is not approved by the Town Council the development approval shall be deemed null and void and must be re-designed.

4) The Board approves the applicant's request for a "covered pedestrian walkway" (no design criteria in Code). The Code states a "covered pedestrian walkway" is allowed in the front yard area. MMPA believes the purpose of such a structure is to cover a pedestrian walkway from sun light / rain. MMPA believes as the structure is designed it exceeds the Code intent (also covers adjoining landscaped area). The portion of the structure extending out past the walkway edge is more of a heavy concrete trellis – such design / structures are prohibited in front yard areas. In general, streetscapes (20-foot setback) should be free of structures – open landscaped space. PZ Board approval is required.

5) The PZB has reviewed / approves the applicant's request to not completely close-in the sides / rear facades of the parking garage. Per Section 23-24(d)(4), the sides / rear facades of all parking garages must be completely closed-in, unless otherwise approved by the PZB. Open sides or "green screens" are generally not acceptable without other substantial screening (completely closed-in / louvers / decorative block / etc.). PZ Board approval is required.

6) The Board reviews / approves the applicant's request for a slightly narrower drive isle than specified in Section 23-30(c) in one location (22' 10" vs. 23').

7) If the Miami-Dade Fire Department requires substantial site modifications, such as an alternative staging area / building exiting modifications into yard areas / etc. that affect the site design subsequent to the Town's approval this may cause the plans to be re-submitted to the DRC / PZB.

When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don=t turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

TOWN OF BAY HARBOR ISLANDS
PLANNING AND ZONING BOARD

June 3, 2014

FINAL AGENDA

ITEM NUMBER: 4.

ITEM: Request for approval for exterior changes to the "St Regis Condominium" located at 9500 W. Bay Harbor Drive, Lots 4-6 of Block 2. The Condo applied for a concrete restoration permit and it was issued to the contractor on January 2014. During the construction it was found that the balcony railings are not to code and extremely dangerous. They have removed the concrete portion of the balcony to eliminate the danger and weight on the aging balconies. The new railings will be similar to the existing one. They have replaced the color from gold to silver on the railings so it can match the new window frames. Enclosed please find a photo of the existing building, a letter from the Association and Elevation.

DESCRIPTION:

RECOMMENDED ACTION:
Design meets Town Code and was approved by Michael Miller Planning Associates Representative, Mr. Scott Marks, Community Planner.

FINANCIAL ANALYSIS:

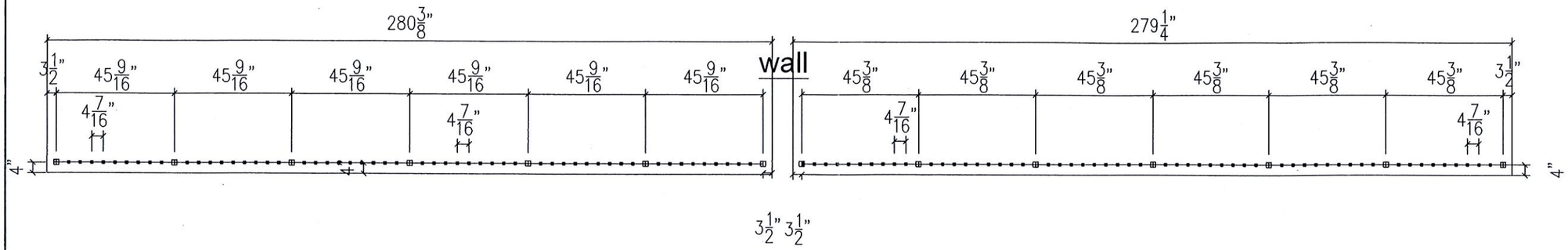
BUDGET IMPACT:

Submitted By: Ayanidys Marante

ATTACHMENTS

1.	Elevation	St.RegisPNZ6.3.14.pdf
2.	Letter/Picture	St.RegisPicture.pdf

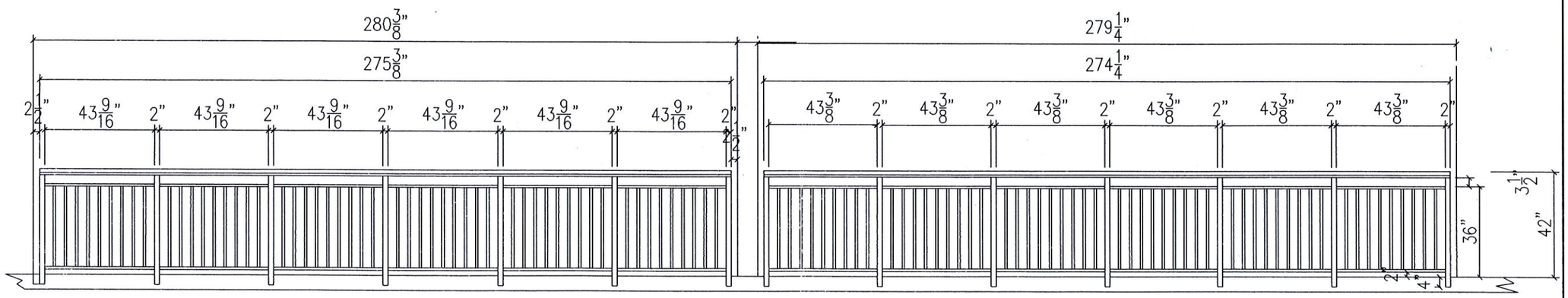
Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.



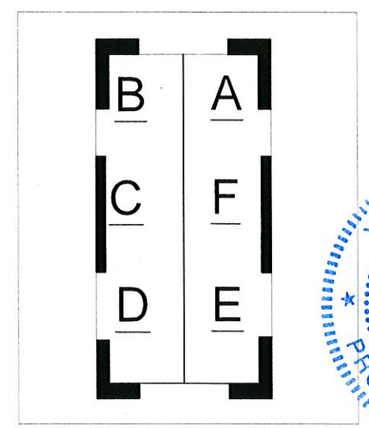
LAYOUTS BALCONY EXT. VIEW

LEVEL 2 THROUGH 7
Plan View

LAYOUTS BALCONY EXT. VIEW



ELEVATION SECTIONS C & F(mirror)



TITAN GLASS & ALUMINUM, LLC.
450 NW 27 STREET, HIALEAH FLORIDA 33010
PHONES: (305) 888-0911

NO.	DESCRIPTION	DATE	APP'D

DATE :
PM :
DRAWN BY :
DESIGNED BY :
CHECKED BY :
JOB NO. :
SCALE :

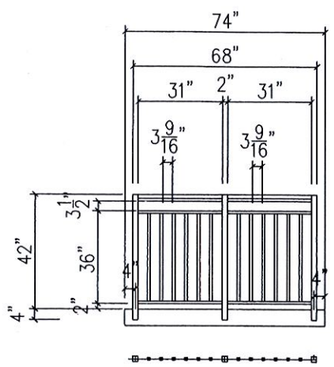
JOB: ST. REGIS
ADDRESS: 9500 W BAY HARBOUR DR. BAY HARBOUR ISLES FL 33154

Y. P. Wang & Associates, Inc.
Civil Engineering Consultants
4101 S.W. 74th Court
Miami, FL 33155
P. 305.271.0117 F. 766.572.0583
www.ypwang.com
YIPING WANG, P.E.
FLORIDA REGISTRATION
PE #55983
C.A.N. 28677

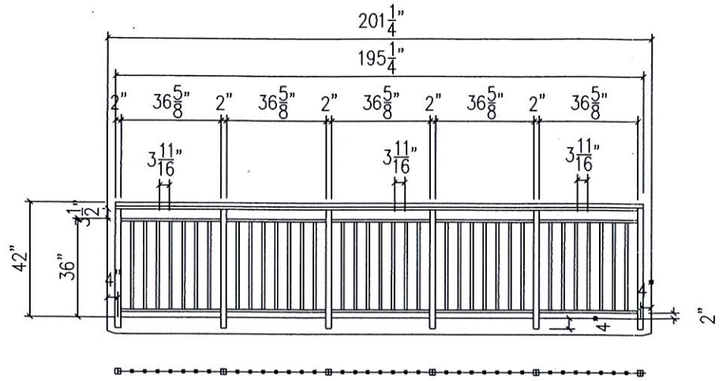
YIPING WANG LICENSE No. 55983 STATE OF FLORIDA PROFESSIONAL ENGINEER

SHEET 2 OF 4

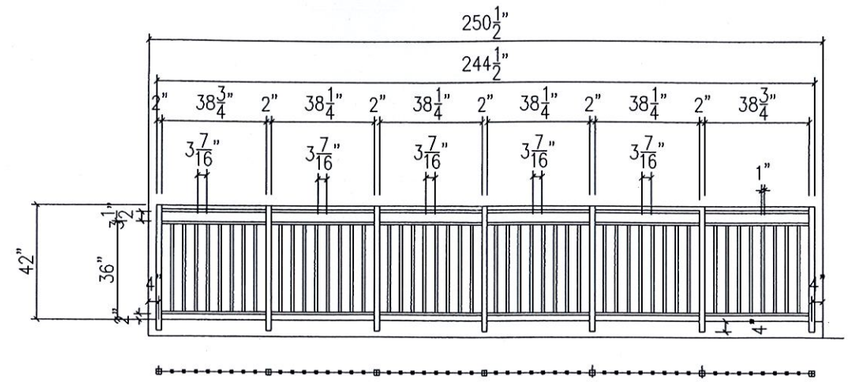
MAR 11 2014



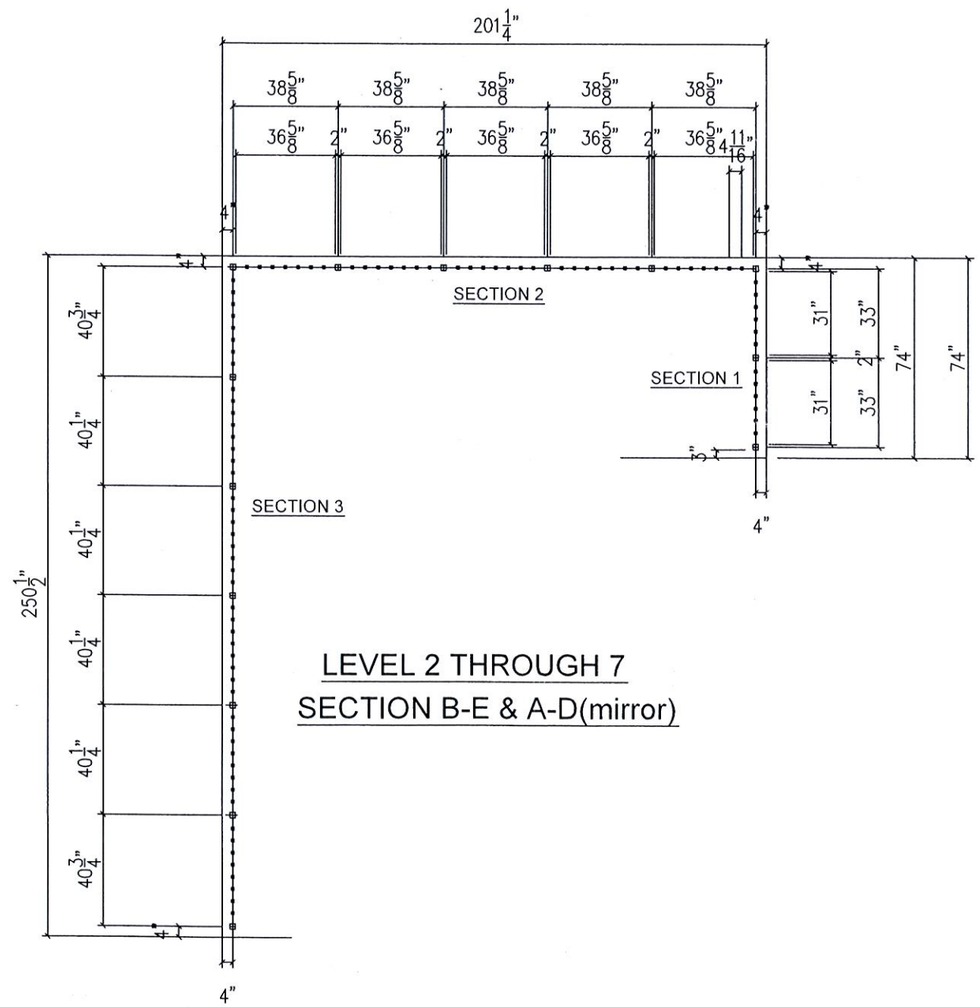
SECTION 1



SECTION 2

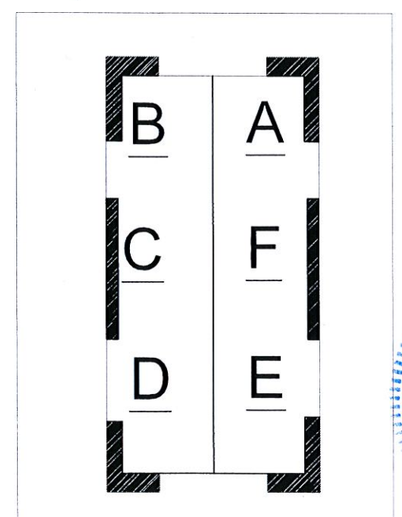


SECTION 3



LEVEL 2 THROUGH 7

SECTION B-E & A-D(mirror)



TITAN GLASS & ALUMINUM, LLC.
450 NW 27 STREET. HIALEAH FLORIDA 33010
PHONES: (305) 888-0911

NO.	DESCRIPTION	DATE	APP'D

DATE :
PM :
DRAWN BY :
DESIGNED BY :
CHECKED BY :
JOB NO. :
SCALE :

JOB: ST. REGIS
ADDRESS: 9500 W BAY HARBOUR DR. BAY HARBOUR ISLES FL 33154

YIPING WANG, P.E.
FLORIDA REGISTRATION
PE #55983
C.A.N. 28677

STATE OF FLORIDA
PROFESSIONAL ENGINEER
YIPING WANG
LICENSE No. 55983

SHEET 3 OF 4

MAR 11 2014

the St. Regis
9500 W. BAY HARBOR DRIVE
BAY HARBOR ISLANDS
MIAMI BEACH, FLORIDA 33154

April 30, 2014

Dear member of Planning and Zoning Department of Bay Harbor Islands,

We, at The St. Regis Apartments Association Inc., started back in January a process of concrete restoration. Our engineers and our concrete restoration company realized that the concrete railings in our property were out of code and extremely dangerous to our residents, since they were not attached to the slab at all. Our Association had to make a quick decision on this matter and we have decided to replace all concrete railing with anodized aluminum, similar to the existing ones. We did present the plans for approval to the Building Department, and got approved to use anodized railings throughout the balconies, eliminating the danger and a lot of weight to our aging balconies slabs that have a lot of concrete restoration. Please find attached, for your consideration the new railing that will be used at our property. We wish to implement these changes to our building not because we want, but because we need to do so. This is not an esthetical update but a necessary one and the only option that is economically viable to our Association. We are trying our best to ensure the structural integrity and security to our property, bringing it to code as much as we can.

Therefore we would very much appreciate your collaboration in this matter by approving the changes in our property. We are fighting for a better quality of life and to ensure security to all of our residents and members of our community.

We thank you very much in advance for your time and consideration,

Best regards,

Andre Reuter
President
St. Regis Apartments Association, Inc.

When you speak, you must come to the podium in the front and clearly state your name and address for the record. Please turn off or mute your cell phone or pager at the start of the meeting. Please be advised that if you don=t turn off your cell phone or pager and it rings, you will be asked to leave the chambers.

TOWN OF BAY HARBOR ISLANDS
PLANNING AND ZONING BOARD

June 3, 2014

FINAL AGENDA

ITEM NUMBER: 5.

ITEM: Approval of minutes of the Board meeting held on April 2, 2014.

DESCRIPTION:

RECOMMENDED ACTION:

FINANCIAL ANALYSIS:

BUDGET IMPACT:

Submitted By: Ayanidys Marante

ATTACHMENTS

1.	Minutes	PNZMinutesApproval4.2.14.pdf

Pursuant to Florida Statutes 286.0105, the Town hereby advises the public that should any person decide to appeal any decision of the Planning and Zoning Board with respect to any matter to be considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purposes he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

MINUTES OF A PLANNING & ZONING BOARD MEETING

TOWN OF BAY HARBOR ISLANDS

A Planning & Zoning Board meeting was held on Wednesday, April 2, 2014 at 6:07 p.m. in the Council Chambers. The meeting was opened with the Pledge of Allegiance. Upon roll call, the following Board Members responded:

Board Member Roberto Gambach	Board Member Steven Hurwitz
Board Member Oscar Sklar	Board Member Thomas Telesco

Quasi-Judicial Public Hearing

At this time Town Clerk Marante asked the Board to designate a temporary Chair to lead the meeting. Consensus was to designate Board Member Sklar as the temporary Chair for the meeting.

Item 1. **Administration of oath of office to newly appointed Board member, Jed Frankel. (The oath will be administered by Town Clerk Marante).**

Town Clerk Marante swore in newly appointed Board Member Jed Frankel.

Assistant Town Attorney Simone swore in everyone speaking at the meeting.

Item 2. **Request for approval of a new multi-family dwelling for "Bay Harbor Holdings" located at 10201 - 10231 E. Bay Harbor Drive, Lots 6-7-8 of Block 4. The developers are proposing to construct a forty-three (43) dwelling unit multi-family residential development. The proposed units range from 1,135 to 2,289 sq. ft. of a/c plus balconies, etc. The proposed design incorporates one rectangular shaped building positioned north / south on top of a two-story parking garage structure that is depressed 1'8" below grade. The building has 8 stories in height (6 floors of residential over two floors of parking garage @ max. 75 feet above BFE. The developer will be required to obtain 14 Transfer of Development Rights (TDR). Enclosed please find the site plan and elevations.**

At this time Board Member Gambach left the meeting.

Board Member Frankel stated that his law firm was working with the developers but did not have any knowledge of the proposed project.

Attorney Jeffrey Bercow, 200 S. Biscayne Blvd. came forward to address the Board and stated that he represented the applicant Bay Harbor Holding, LLC. He explained that the applicant was proposing a forty-three (43) dwelling multi-family residential development, called The Palms. He added that the applicant was proposing a waterfront development with units ranging 1200 square feet for the interior and 1700 square feet for the waterfronts, seven floors of parking, and no required mechanical parking lifts. He also stated that the applicant would seek to obtain the Transfer of Development Rights through the private market and not Town owned. He further explained that the development met all of the Town Code requirements.

Architect Humberto Cordova, 4210 Laguna Street, Coral Gables, came forward to address the Board. He stated the applicant was proposing 43 dwelling units located on 3 quarters of an acre. He explained that the proposed units ranged from 1400 to 1700 square feet. He further explained the amenities that included a 2 level roof top with pool overlooking the bay, semi private elevators to most units, and further articulation was provided to the front and rear of the building. He added that warm elements were added to provide a contemporary feel. He added that 81 parking spaces were proposed, 4 of those for visitors.

There was a brief discussion by the Board about the parking garage, elevation, site plan, floor plan, breezeway, white bands on the south and north elevations, setbacks, structure elements, materials, units size, density, traffic circulations, loading zone and the clear glass for the breezeway.

Landscaping Architect Barry Miller came forward to address the Board. He explained the concept was to create a coastal hammock and he added that all the trees met the Town Code requirement of 1 tree every 35 feet. He stated that the larger garden was to provide depth and the west elevation included royal palms, live oaks, mahogany and sable palms. He also explained that on the east elevation alot of vegetation was added with coconut palms and small native trees. He also stated that on the pool deck coconut palms, native trees, blue sky palm and jasmine would be added.

Attorney Bercow stated that the project complied with all of the Town Code requirements and the applicant was not requesting a variance. He added that the applicant would be obtaining all of the TDR's from the private market and not the Town owned TDR's. He respectfully asked that the Board approve the project with conditions as stated in the Town Planner's report.

PUBLIC COMMENT - For the purpose of hearing any public comment with respect to an application for site plan approval at 10201 - 10231 E. Bay Harbor Drive.

Victor Maya, 1155 103 Street, and Cesar Martinez, 10143 E. Bay Harbor Drive, were both concerned residents with regards to the exhaust fans, vents and construction process.

Paul Basile, 9240 W. Bay Harbor Drive, came forward to address the Board and liked the proposed development.

Joseph Healey, 10231 E. Bay Harbor Drive, came forward to address the Board. He asked what would be the notice for the current tenants and could the developers provide notice ahead of the time for current tenants? Project Manager Victor Vallesas stated that construction for the new development would not start until the end of the year, if approved, and that they would provide a 60 to 90 day notice to the current tenants.

CLOSED PUBLIC COMMENT

ACTION: Board Member Hurwitz made a motion to approve the proposed project with the conditions outlined in Town Planner Miller's report. Board Member Telesco seconded the motion and it passed unanimously.

Item 3. **Request for approval of a new multi-family dwelling for "Bay Harbor Holdings" located at 10150-10191 E. Bay Harbor Drive, Lots 1-2, 19-20 of Block 6. The developers are proposing to construct a forty-nine (49) dwelling unit multi-family residential development. The proposed units range from 991 to 1,663 sq. ft. of a/c plus balconies, etc. The proposed design incorporates two rectangular shaped building positioned north / south on top of a two-story parking garage structure that is depressed 1'8" below grade. The building has 7 stories in height (6 floors of residential over two floors of parking garage @ max. 65 feet above BFE. The developer will be required to obtain 15 Transfer of Development Rights (TDR).**

Attoney Matthew Armster, 200 S. Biscayne Blvd., came forward to address the Board. He explained that the applicant was proposing a 49 dwelling unit multi-family residential development with 9 of those units being 2 story Townhouses. He added that no parking lifts would be required and an extensive landscape plan was prepared.

Architect Alberto Cordova, came forward to address the Board. He stated that the applicant was proposing 49 dwelling units, 30 flat units and 9 of those units would be townhouse units, called the Palm of Bay Harbor West. He explained that the garage at ground level provided front and rear access to the units. He also added that the second level would have a complete pool area and third level would have a distinct breezeway. He also explained the multi planes of 20 feet separation using stones and wood for a warmer feeling. He stated that the front of the building would have a water feature and a retaining wall.

Landscape Architect Barry Miller came forward to address the Board. He explained that the theme was for a dense landscaping and a retainer wall that would provide elevation for the slope. He added that the water fountain feature had a very unique entry to the building. He explained that fruit trees and sable palms would be placed in the front. Also, in the rear there would be a row of ball cypress, royal palms and native trees. Architect Cordova added that on the west side of the pool coco plums and peach would be added to provide privacy.

PUBLIC COMMENT - For the purpose of hearing any public comment with respect to an application for site plan approval at 10150-10190 E. Bay Harbor Drive.

Victor Maya, 1155 103 Street, came forward to address the Board. He asked if the wiring for FPL would be done underground. Assistant Town Attorney Simone stated that all new developments must build up to the Town Code and it required that they underground wiring. He added that developers have to pay impact fee to help with the funds to build underground.

CLOSED PUBLIC COMMENT

ACTION: Board Member Hurwitz made a motion to approve the proposed project subject to the conditions outlined in Town Planner Miller's report and placing an additional planter in the pool area. Board Member Telesco seconded the motion and it passed unanimously.

CONCLUSION OF QUASI-JUDICIAL PUBLIC HEARING

Item 4. Approval of minutes of the Board meetings held on December 17, 2013, January 21, 2014 and February 4, 2014.

ACTION: Board Member Hurwitz made a motion to approve the minutes. Board Member Sklar seconded the motion and it passed unanimously.

There being no further business the meeting was adjourned at 8:13 p.m.

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CHAIR

ATTEST:

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TOWN CLERK